



CITY OF SARATOGA SPRINGS  
DESIGN REVIEW COMMISSION

City Hall - 474 Broadway  
Saratoga Springs, New York 12866  
Tel: 518-587-3550 fax: 518-580-9480  
[www.saratoga-springs.org](http://www.saratoga-springs.org)

Steven Rowland, *Chair*  
Tamie Ehinger, *Vice Chair*  
Richard Martin  
Karen Cavotta  
Cynthia Corbett  
Leslie DiCarlo  
Chris Bennett  
Robert West, *Alternate*

Design Review Commission Meeting – Wednesday, November 16, 2016

City Council Room – 7:00 P.M.

DRC Applications under Consideration

**A. 2016.075 Obstarczyk Garage Demolition**

147 Spring Street, Advisory Opinion to ZBA on the demolition of a contributing structure and reconstruction of a garage within the Urban Residential-3 District.

Documents:

[2016.075 OBSTARCZYKGARAGE\\_MATERIALSRECVD10-25-16\\_REDACTED.PDF](#)  
[2016.075 OBSTARCZYKGARAGE\\_SSPSCORR.PDF](#)  
[2016.075 OBSTARCZYKGARAGE\\_ZBAREQADVISOPIN.PDF](#)  
[2016.075 OBSTARCZYKGARAGE\\_APPCORR\\_REDACTED.PDF](#)

**B. 2016.074 Legends Café External Modifications**

102 Congress Street, Architectural Review of external modifications within the Transect 6 Urban core District.

Documents:

[2016.074 LEGENDSCAFE\\_APP\\_REDACTED.PDF](#)

**C. 2014.109.4 Rite Aid Signage**

90 West Ave & 242 Washington Street, Architectural Review of multiple signage within the Transect 5 Neighborhood Center District.

Documents:

[2014.109.4 RITEAIDSIGNAGE\\_APP\\_REDACTED.PDF](#)

Approve Meeting Minutes:

Salute to the Flag

**A. Upcoming Meeting(s):**

December 7, 2016 (Caravan: Tuesday, November 29, 2016 at 4:00 pm)

January 4, 2017 (Caravan: Tuesday, December 27, 2016 at 4:00 pm)

NOTE: This agenda is subject to change. Please check [www.saratoga-springs.org](http://www.saratoga-springs.org) for latest version.

# ENGINEERING AMERICA CO.

76 WASHINGTON ST. SARATOGA SPRINGS, NY 12866



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## TRANSMITTAL SHEET

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|   |  |
|---|--|
| TO:<br>Design Review Commission                                   | FROM:<br>Tonya Yasenchak                 |
| COMPANY:<br>City of Saratoga Springs                              | DATE:<br>October 12, 2016                |
| FAX NUMBER:   | TOTAL NO. OF PAGES INCLUDING COVER:<br>1 |
| PHONE NUMBER:   | SENDER'S REFERENCE NUMBER:               |
| RE:<br>Obstarczyk Garage<br>#147 Spring St., Saratoga Springs, NY | YOUR REFERENCE NUMBER:                   |

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URGENT     FOR REVIEW     PLEASE COMMENT     PLEASE REPLY     AS REQUESTED

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City of Saratoga DRC Members,  
Engineering America Co. is currently representing the Obstarzyks at the City of Saratoga Springs Zoning Board of Appeals for the request of several variances relating to the demolition of their existing barn and the construction of a new 2 car garage at 147 Spring St.

A recent letter from the Saratoga Springs Preservation Foundation noted that the existing accessory structure was a "contributing building" to the East Side Historic District. In response, the ZBA, has requested that the DRC provide an advisory opinion about the proposed demolition of the existing structure.

EACo. would like to preface that the Owners original thought, when they purchased the property earlier this year, was to renovate the structure. However, after discussions with several contractors and review by a licensed engineer, it appears that the best option (logistically and financially) to meet their needs of vehicle storage is to remove the current structure and rebuild a new 2 car garage for the following reasons:

- 1) Current Structural Condition:
    - a) The existing structure is twisted in several directions and is not square or plumb. Repair of this condition would require extensive re-construction / replacement of the majority of the first floor walls.
    - b) Lack of foundation along most of the structure has resulted in rotted sill plates. There is a lack of sill plates in a good portion of the structure. Repairs would require a new foundation and lifting of the existing structure (difficult to impossible with the limited space and close proximity of the property line).
- 
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- 2) Location of Structure:
  - a) Difficulty in Lifting the Structure: The existing structure is currently at 0.2' – 1.7' from the side property lines. The lack of space does not allow room for the building to be lifted without significant imposition on the neighbor to the left.
  - b) Close proximity to the neighbors' house: Lifting the house & installing a new foundation and structure so close to the neighbors' existing house could pose logistic issues as well as potential structural issues.
  
- 3) Use of Structure:
  - a) Wall Ht: The 1<sup>st</sup> floor wall ht of the structure is at 7' 4". This height is not adequate for the storage of vehicles or a garage door. The wall ht. would have to be increased to allow for vehicular storage; requiring the reconstruction of the entire first floor walls of the structure.
  - b) Building Size: The current structure is only 16' (+/-) in depth. This depth is not sufficient for parking a car. In order to meet the Owners' needs, an addition would be required along the back of the existing structure; this being possible but difficult.
  - c) Other Use: Any other use of this structure, beyond vehicle storage is not allowed by the City of Saratoga Springs zoning. A variance would be required to use this structure, if renovated, in any other manner.
  
- 4) Costs: The costs involved in lifting & renovating the existing structure to meet the needs of the Owners' vehicular storage is significantly more than that of a new structure.

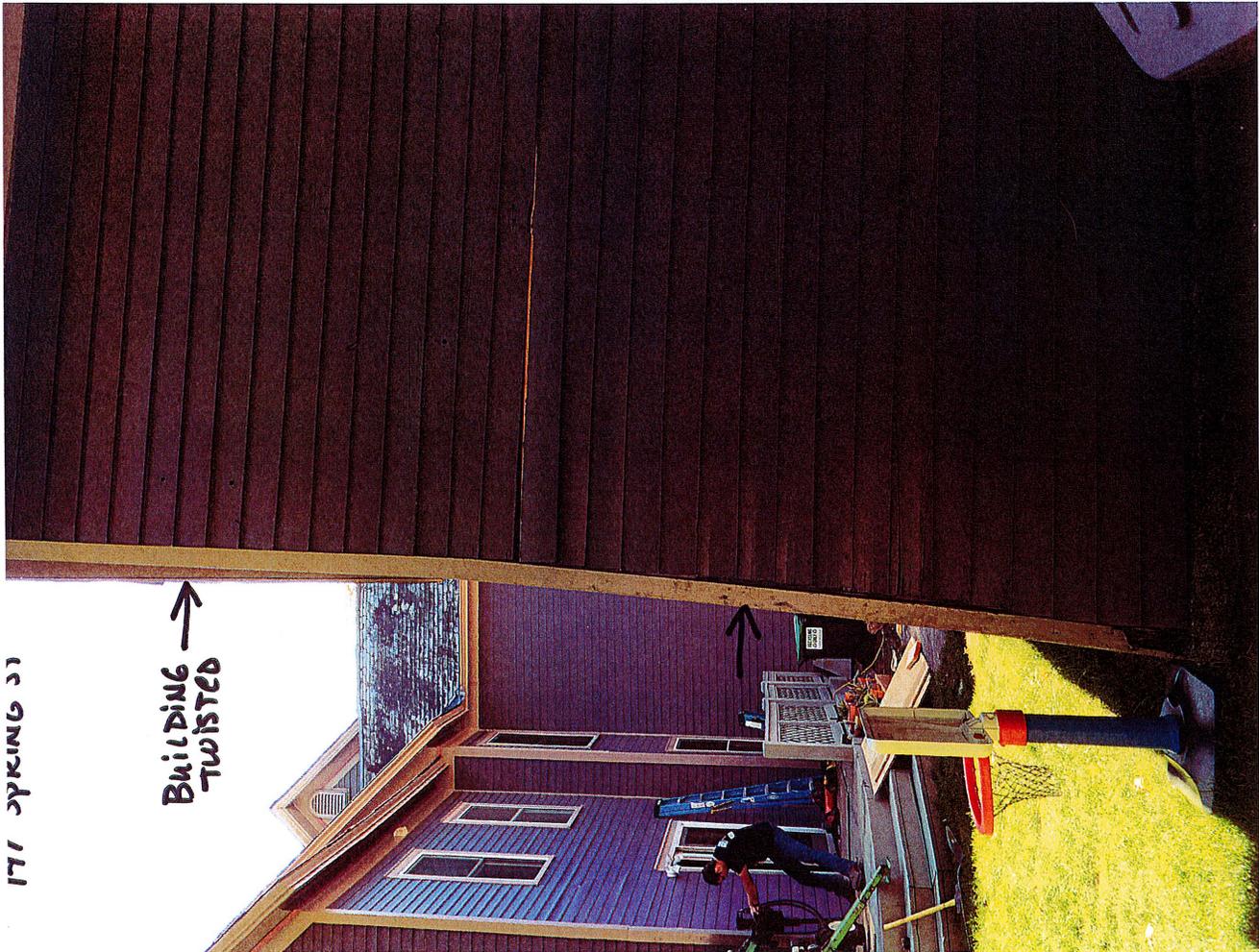
It is the opinion of EACo. and the Home Owners that this particular accessory structure has outlived its usefulness and its original intent as a barn. The structure itself is not designed in a Queen Anne style and does not appear to have much architectural significance. The removal of this structure and construction of a new 2 car garage will be consistent with the existing community character and style.

We look forward to discussing this matter with the DRC further at the October 19<sup>th</sup> meeting. Please feel free to contact the EACo. office with any additional questions.  
Thank you for your review and consideration.

Sincerely,



Tonya Yasenchak, PE



171 6444 171

1471 SPRING ST



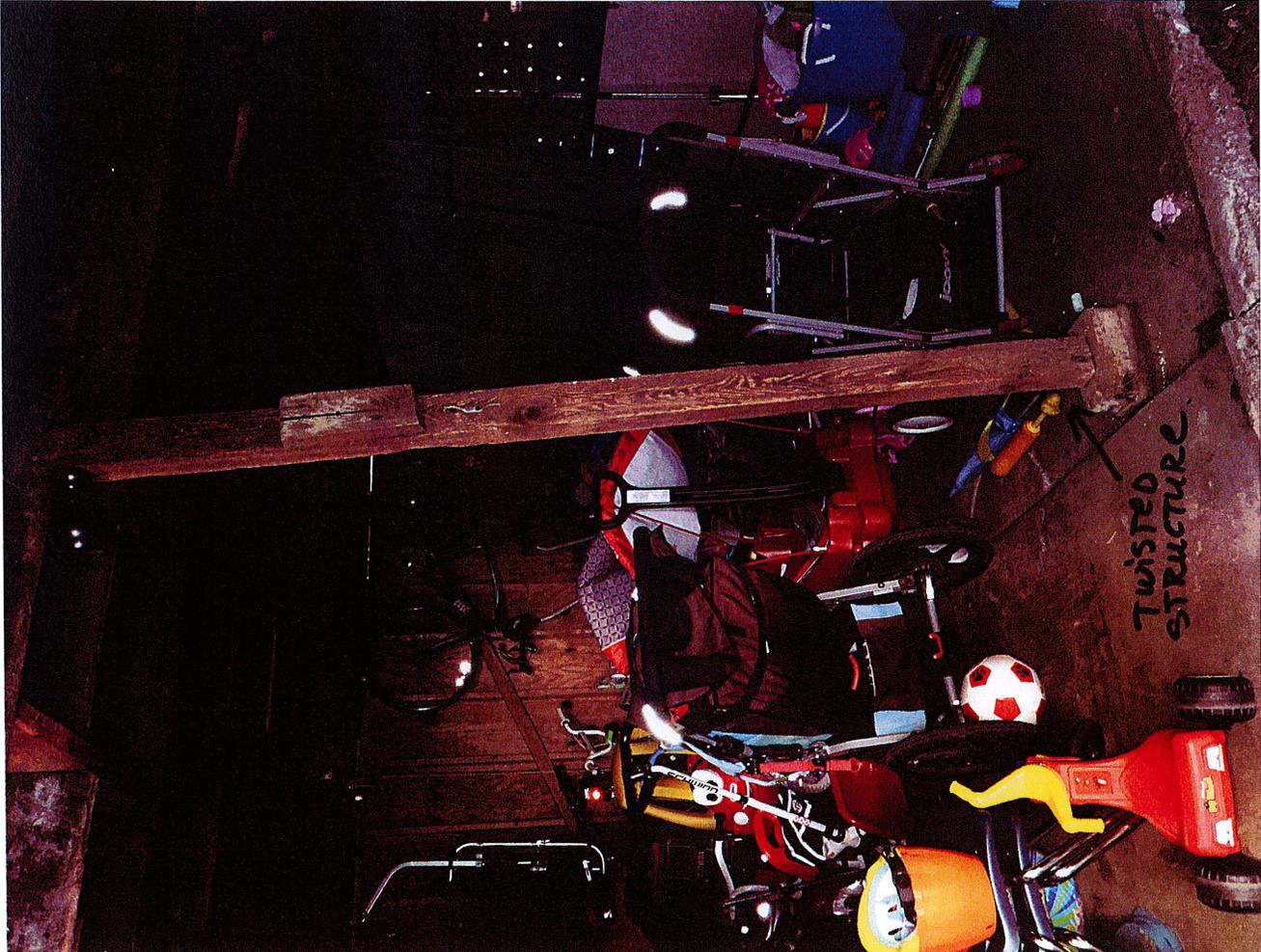
1471 SPRING ST.



1477 SPRING ST.



← LACK OF SILL PLATE AT WALL



TWISTED  
STRUCTURE

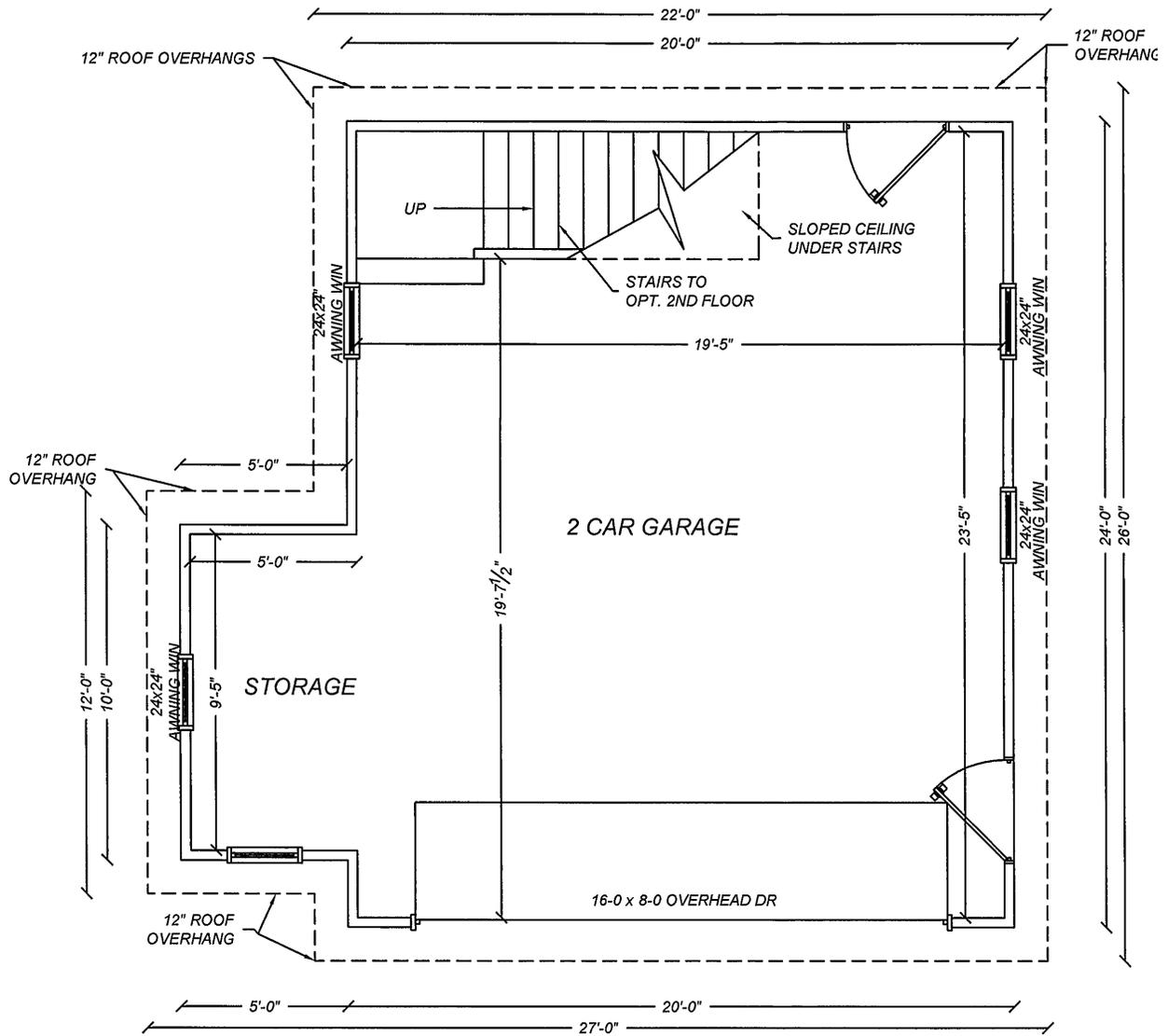


CORNER OF STRUCTURE  
of STRUCTURE  
skewed



THIS PORTION  
of wall  
framed straight

THIS PORTION  
of wall skewed  
TO MATCH TWISTED  
STRUCTURE



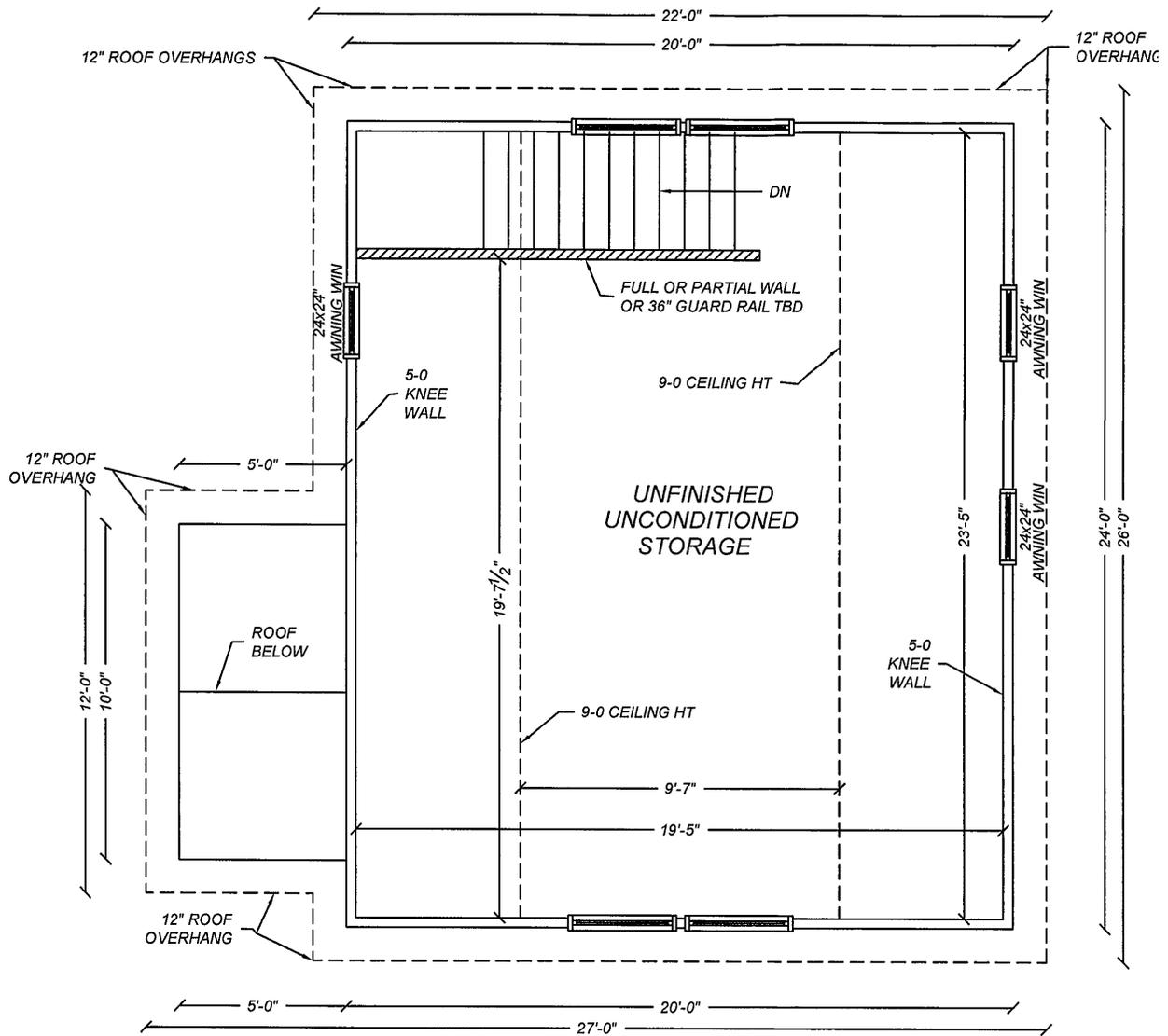
OBSTARCZYK GARAGE  
 #147 SPRING ST.  
 SARATOGA SPRINGS, NY

**PROPOSED  
 MAIN FLOOR PLAN**

9/21/2016

SCALE: 3/16" = 1' 0"

DESIGN BY:  
 ENGINEERING AMERICA CO.  
 76 WASHINGTON ST., SARATOGA SPRINGS, NY



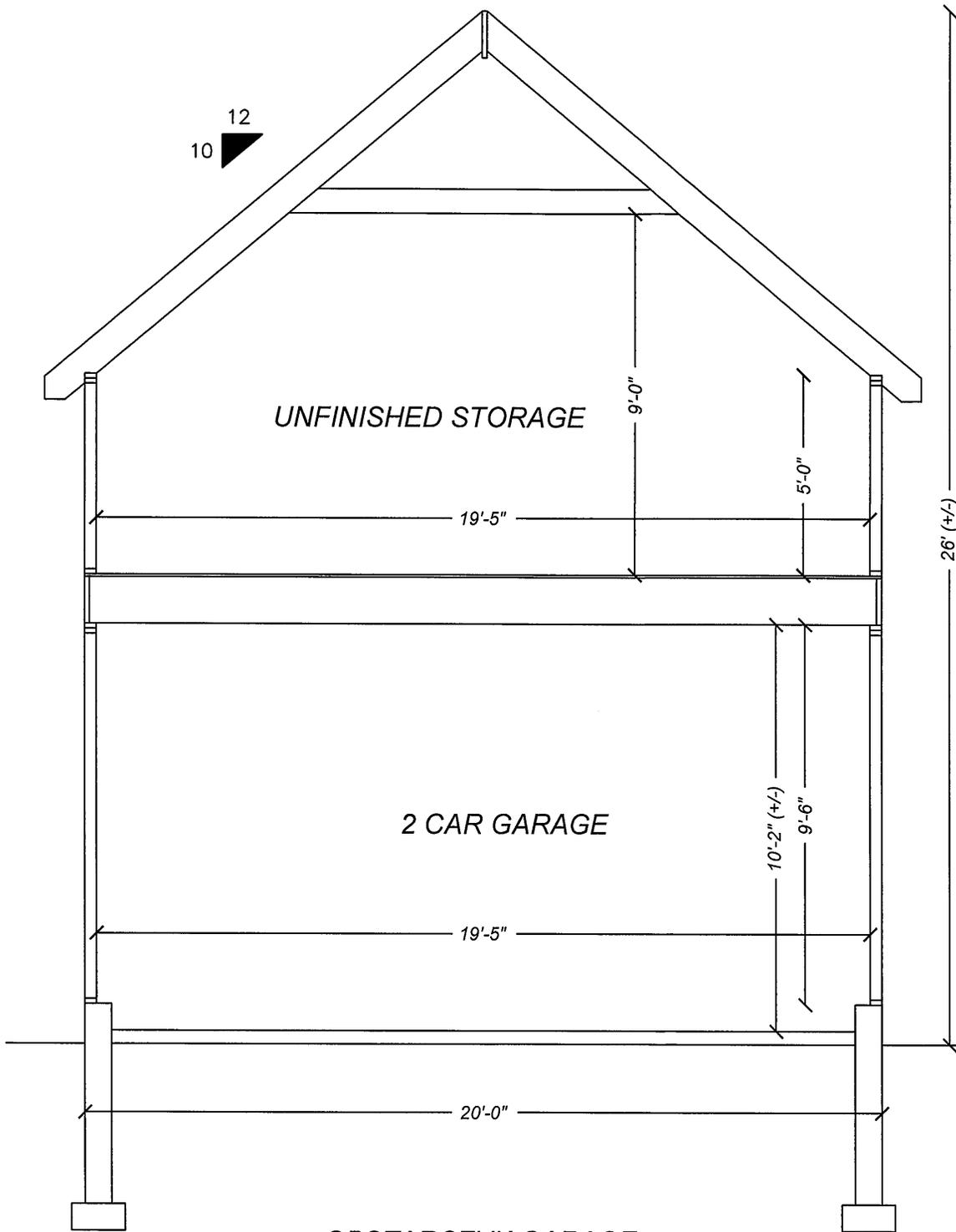
OBSTARCZYK GARAGE  
 #147 SPRING ST.  
 SARATOGA SPRINGS, NY

**PROPOSED  
 UPPER FLOOR PLAN**

9/21/2016

SCALE: 3/16" = 1' 0"

DESIGN BY:  
 ENGINEERING AMERICA CO.  
 76 WASHINGTON ST., SARATOGA SPRINGS, NY



OBSTARCZYK GARAGE  
 #147 SPRING ST.  
 SARATOGA SPRINGS, NY

**PROPOSED  
 SECTION**

9/21/2016

SCALE: 1/4" = 1' 0"

DESIGN BY:  
 ENGINEERING AMERICA CO.  
 76 WASHINGTON ST., SARATOGA SPRINGS, NY



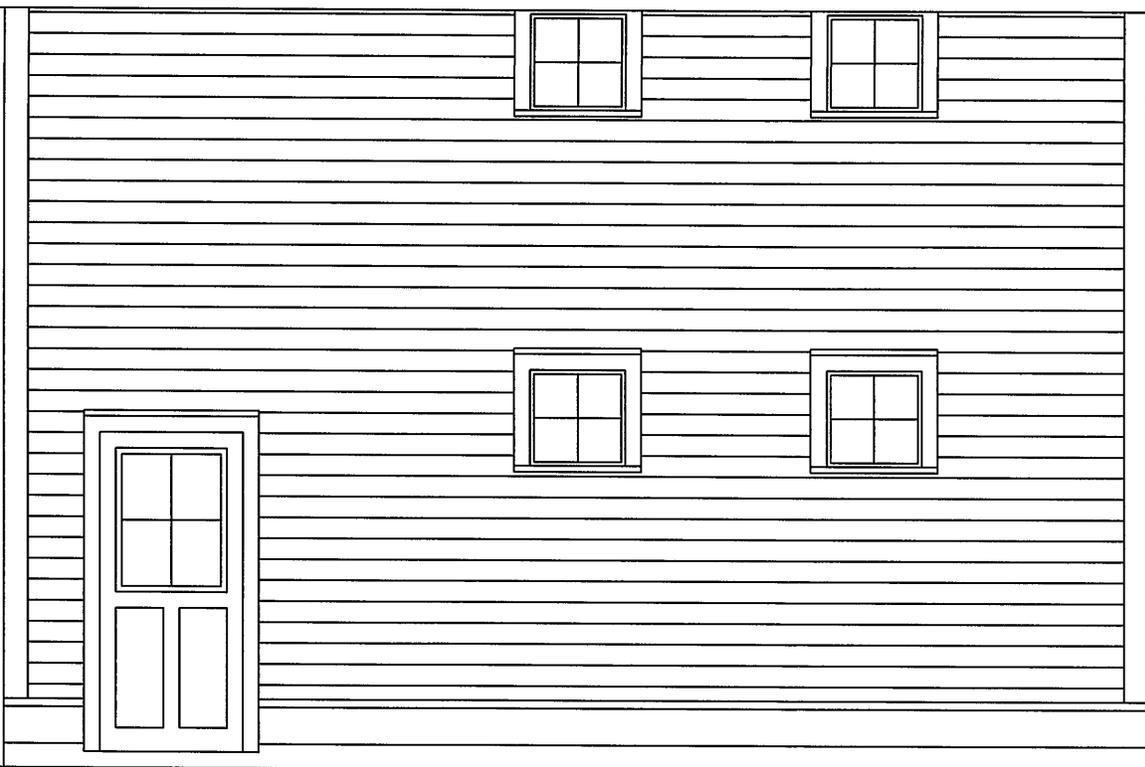
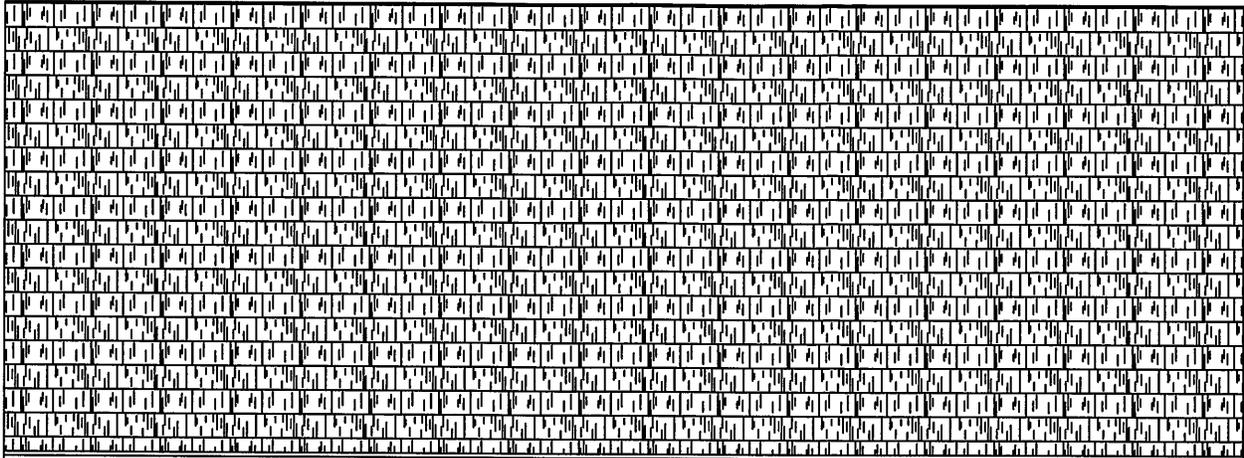
OBSTARCZYK GARAGE  
#147 SPRING ST.  
SARATOGA SPRINGS, NY

**PROPOSED  
FRONT ELEVATION**

9/21/2016

SCALE: 1/4" = 1' 0"

DESIGN BY:  
ENGINEERING AMERICA CO.  
76 WASHINGTON ST., SARATOGA SPRINGS, NY



OBSTARCZYK GARAGE  
#147 SPRING ST.  
SARATOGA SPRINGS, NY

**PROPOSED  
RIGHT ELEVATION**

9/21/2016

SCALE: 1/4" = 1' 0"

DESIGN BY:  
ENGINEERING AMERICA CO.  
76 WASHINGTON ST., SARATOGA SPRINGS, NY



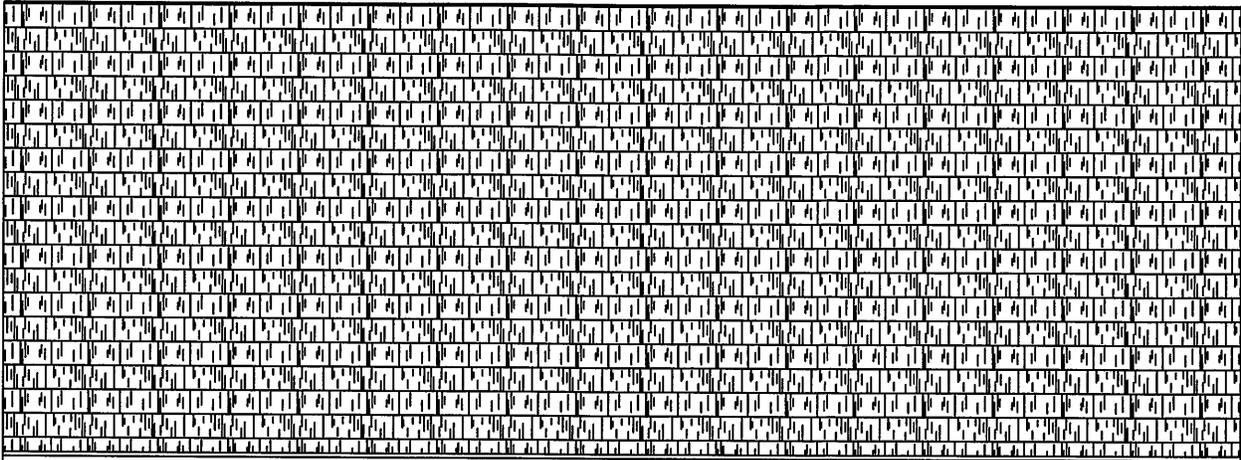
OBSTARCZYK GARAGE  
#147 SPRING ST.  
SARATOGA SPRINGS, NY

**PROPOSED  
REAR ELEVATION**

9/21/2016

SCALE: 1/4" = 1' 0"

DESIGN BY:  
ENGINEERING AMERICA CO.  
76 WASHINGTON ST., SARATOGA SPRINGS, NY



OBSTARCZYK GARAGE  
#147 SPRING ST.  
SARATOGA SPRINGS, NY

**PROPOSED  
LEFT ELEVATION**

9/21/2016

SCALE: 1/4" = 1' 0"

DESIGN BY:  
ENGINEERING AMERICA CO.  
76 WASHINGTON ST., SARATOGA SPRINGS, NY

November 2, 2016

*A Voice*  
FOR  
PRESERVATION



Mr. Steve Rowland, Chair  
Design Review Commission  
City Hall  
474 Broadway  
Saratoga Springs, NY 12866

**RE: 147 Spring Street – Demolition of Accessory Structure and New Construction**

Dear Mr. Rowland,

The Saratoga Springs Preservation Foundation has reviewed the ZBA application for variances to construct a new two-car garage at 147 Spring Street and the additional materials provided for the Design Review Commission.

The Queen Anne style house located at 147 Spring Street was constructed circa 1867. Research indicates that the house originally shared the lot with 143 Spring Street and had three accessory buildings, including a large stable. The structure that the applicant is proposing to demolish was constructed between 1876 and 1888 when it first appears on the 1888 Burleigh Bird's Eye View Map. Please see enclosed documentation. The accessory structure at 147 Spring Street is the *only one* of the accessory structures that remains from the two properties. Both the house and the accessory structure are "contributing buildings" to the East Side Historic District listed on the National Register of Historic Places.

The Foundation objects to the demolition of the historic accessory structure. Historic carriage houses, stables, and other accessory structures throughout Saratoga Springs are threatened with demolition-by-neglect and removal. They are important cultural resources of the history and development of our community and should be preserved to the fullest extent possible.

The documentation provided for demolition by the applicant is insufficient and does not meet the demolition requirements of a structure with architectural or historic significance as outlined in Section 7.4.11 B. of the Historic Review Ordinance:

1. The applicant shall document "good faith" efforts in seeking an alternative that will result in the preservation of the structure including consultation with the Commission and the Saratoga Springs Preservation Foundation. The relocation of structures may be permitted as an alternative to demolition;
2. The applicant shall document efforts to find a purchaser interested in acquiring and preserving the structure;
3. The applicant shall demonstrate that the structure cannot be adapted for any other permitted use, whether by the current owner or by a purchaser, which would result in a reasonable return; and
4. The applicant shall submit evidence that the property is not capable of earning a reasonable return regardless of whether that return represents the most profitable return possible. "Dollars and cents proof" shall be required to demonstrate such hardship.

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emeritus

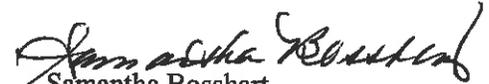
5. Application for demolition of a structure with historic or architectural significance shall include acceptable post-demolition plans for the site. Such plans shall include an acceptable timetable and guarantees which may include performance bonds/letters of credit for demolition and completion of the project. The Commission may condition the issuance of a demolition approval on the applicant's receipt of all other necessary approvals and permits for the post demolition plan.

The Foundation strongly opposes the demolition of the historic accessory structure unless the applicant can meet all of the above requirements and encourages the Design Review Commission to not provide an advisory opinion to the Zoning Board of Appeals until all of the requirements of the Historic Review Ordinance have been met.

Thank you in advance for your thoughtful consideration.

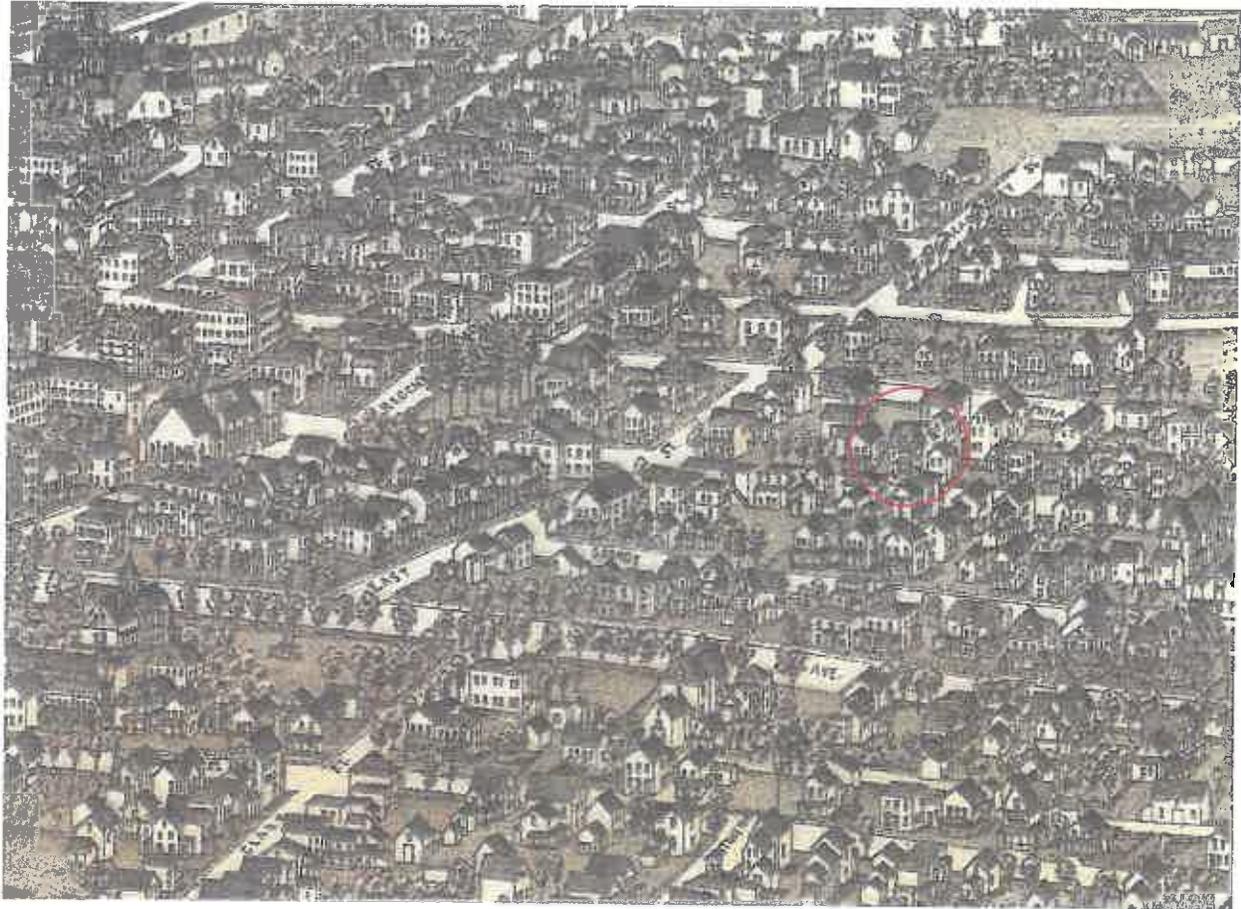
Sincerely,

  
Linda Harvey-Opiteck  
President

  
Samantha Bosshart  
Executive Director

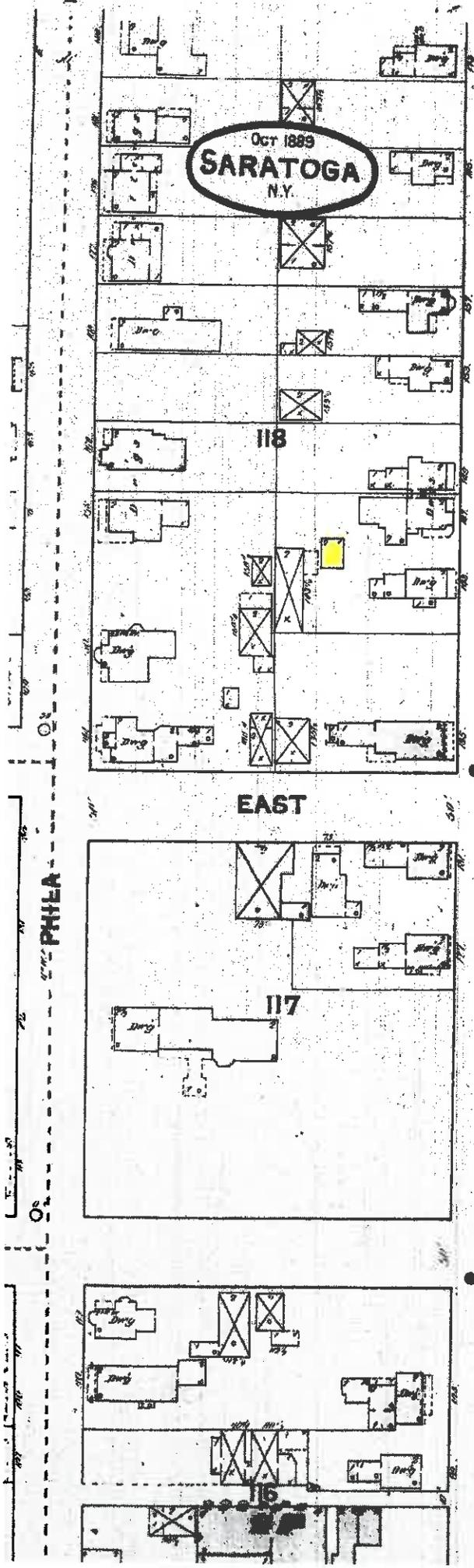
Cc: Chris Obstarczyk, Owner  
Tonya Yasenchak, Agent  
Susan Barden, Senior Planner  
Bradley Birge, Administrator of the Office of Planning and Economic Development





**147 Spring Street**

**1888 Burleigh Birdseye View**



18

SHEET

SEE

NR 18

SHEET

SEE

1889 P. 18  
SANBORN MAP

MAY 1895  
SARATOGA  
N.Y.

18

26

118

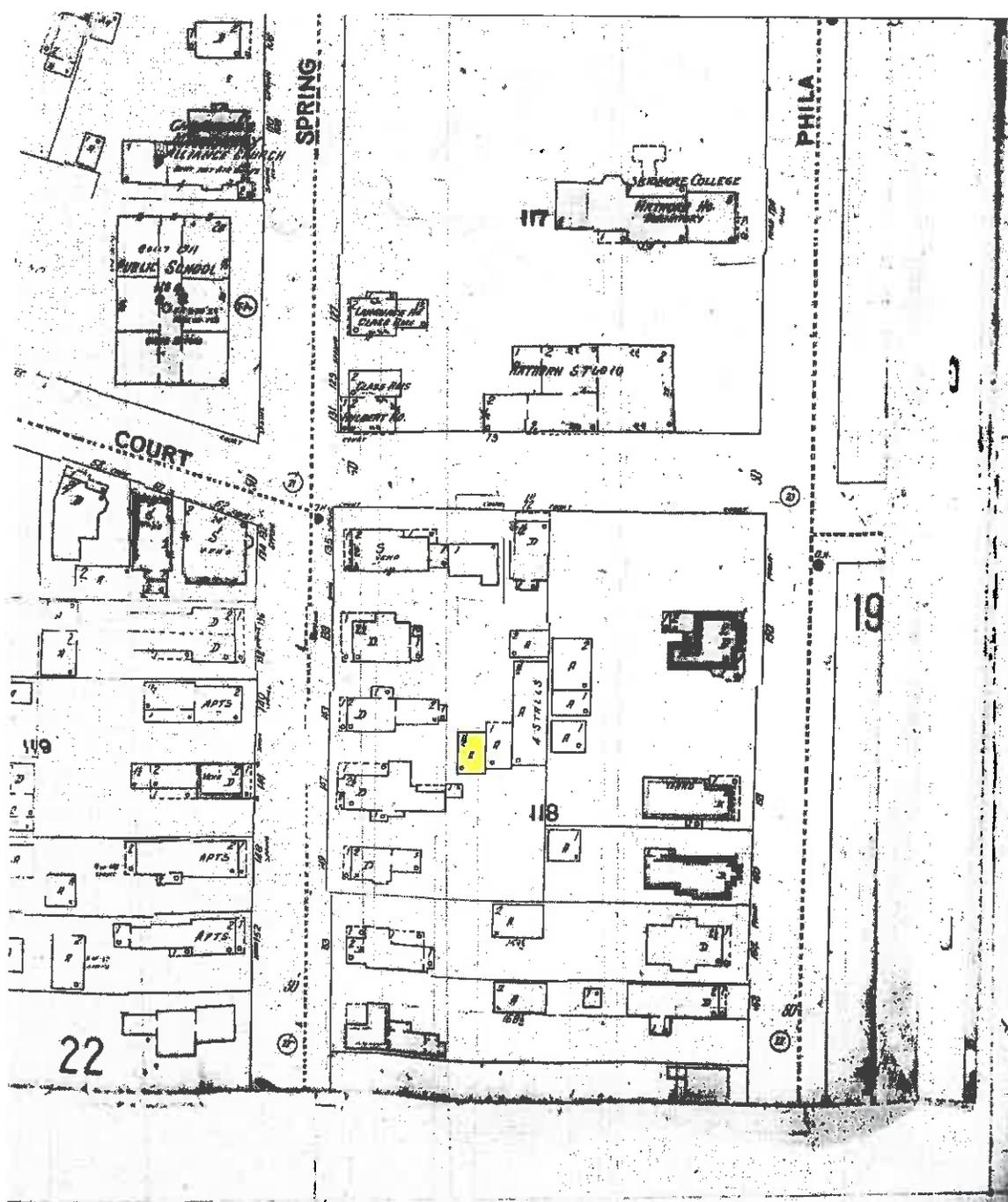
COURT (EAST)

117

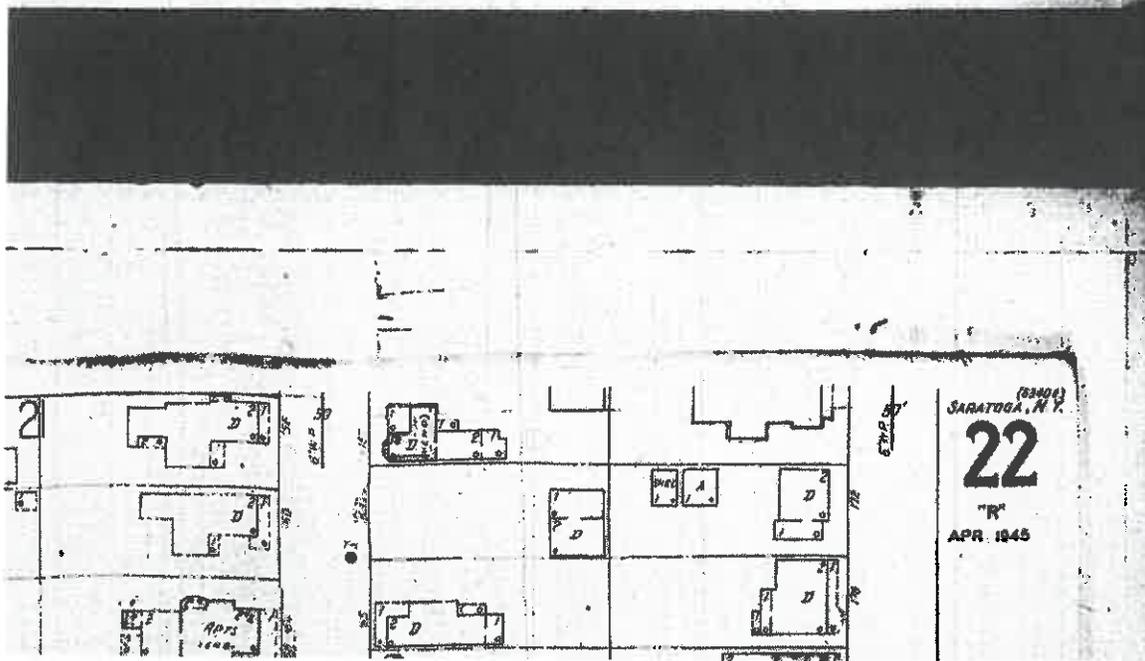
SPRING

19

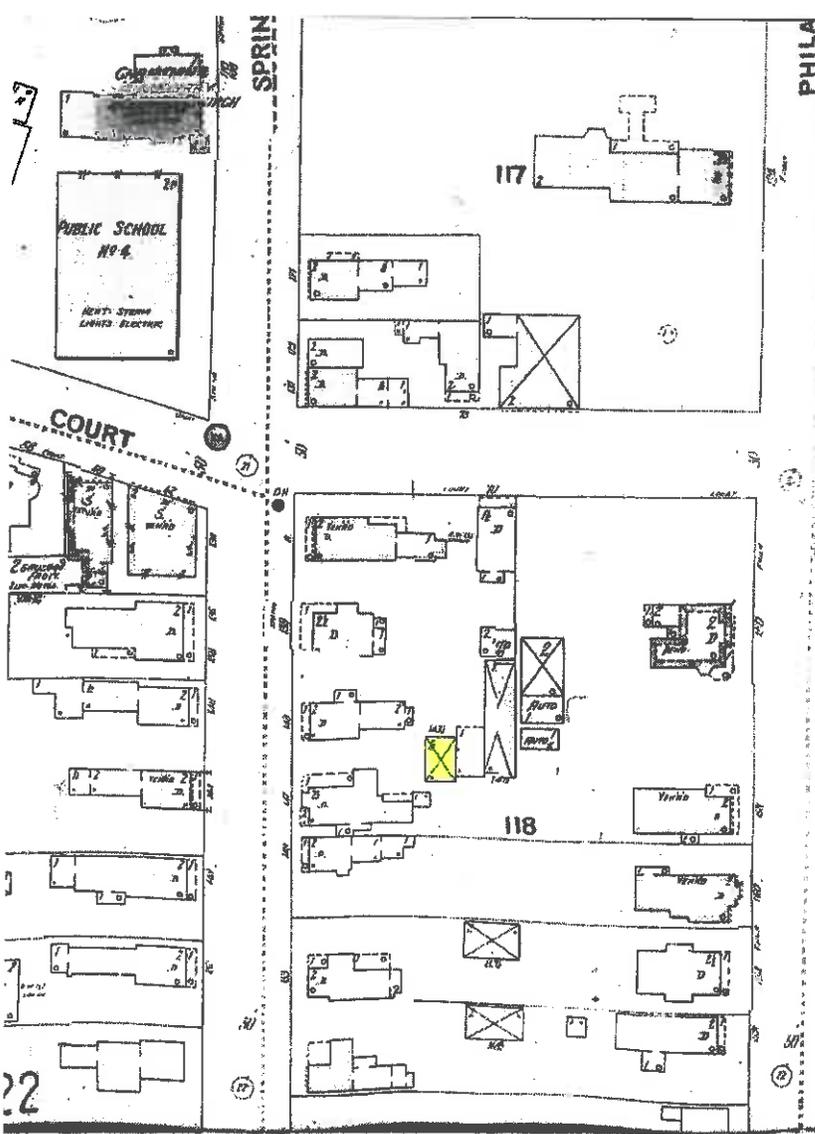
1895 18  
SANBORN MAP



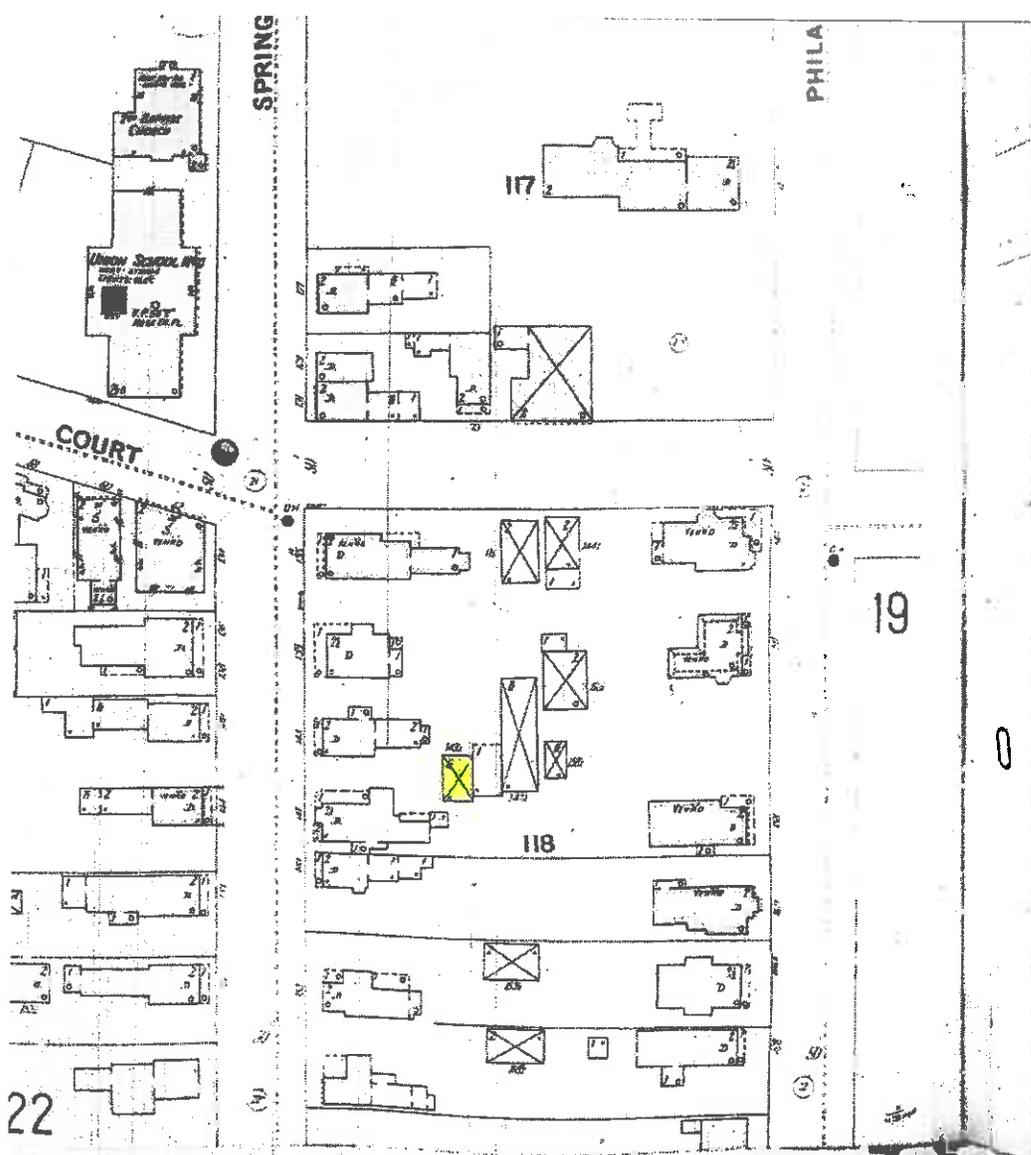
A - AUTO



SANBORN MAP  
1900  
21

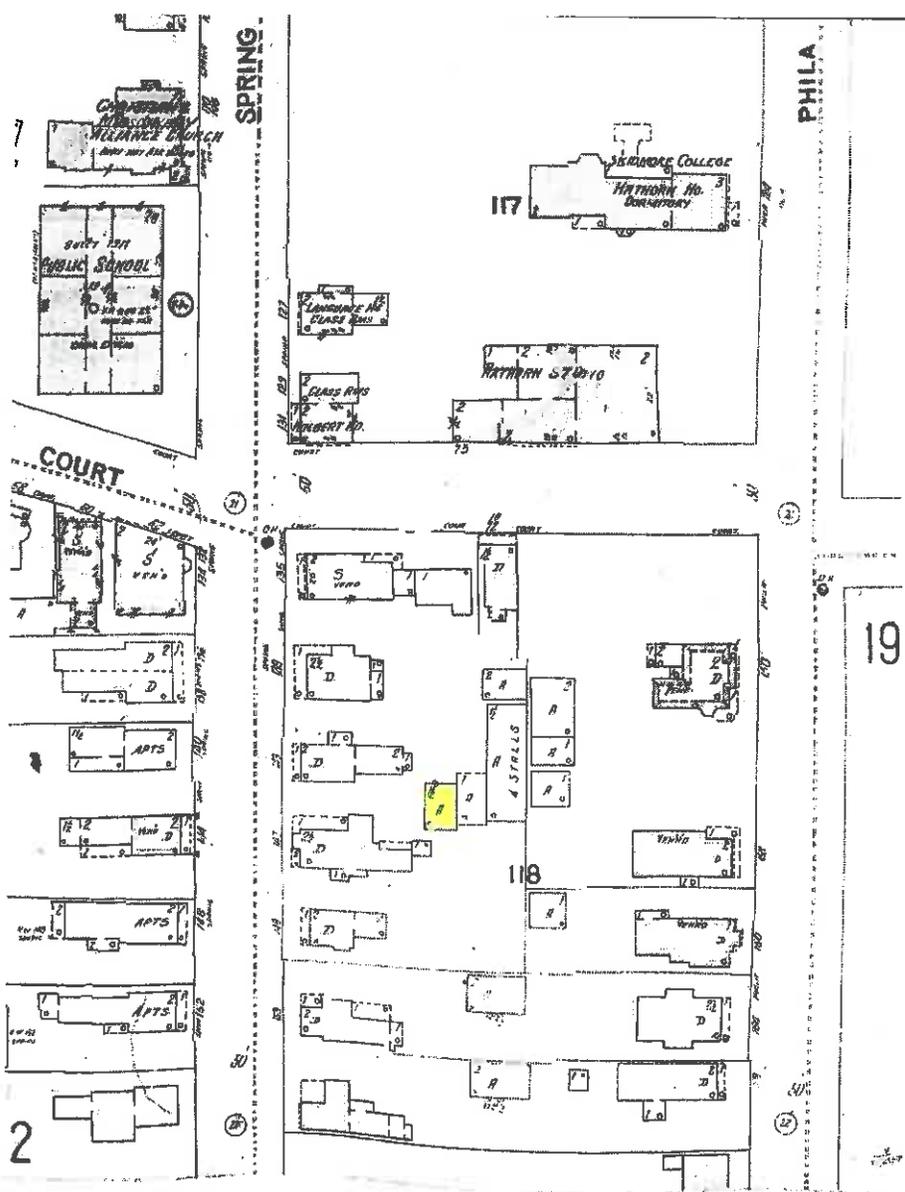


SANBORN MAP  
1926 21

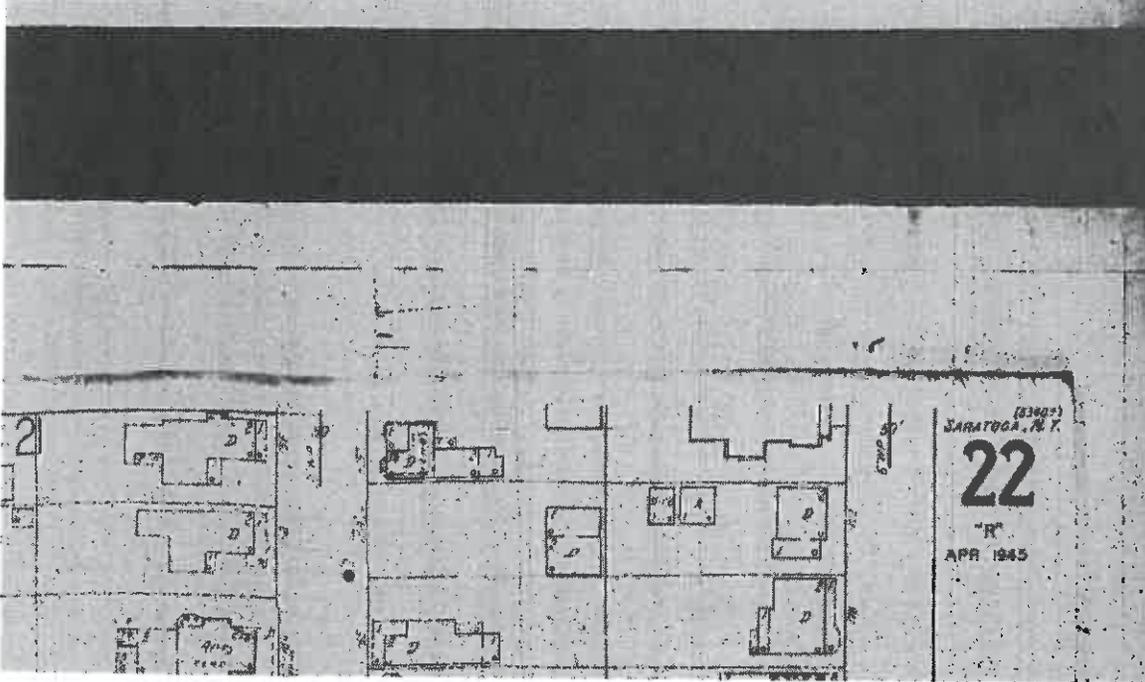
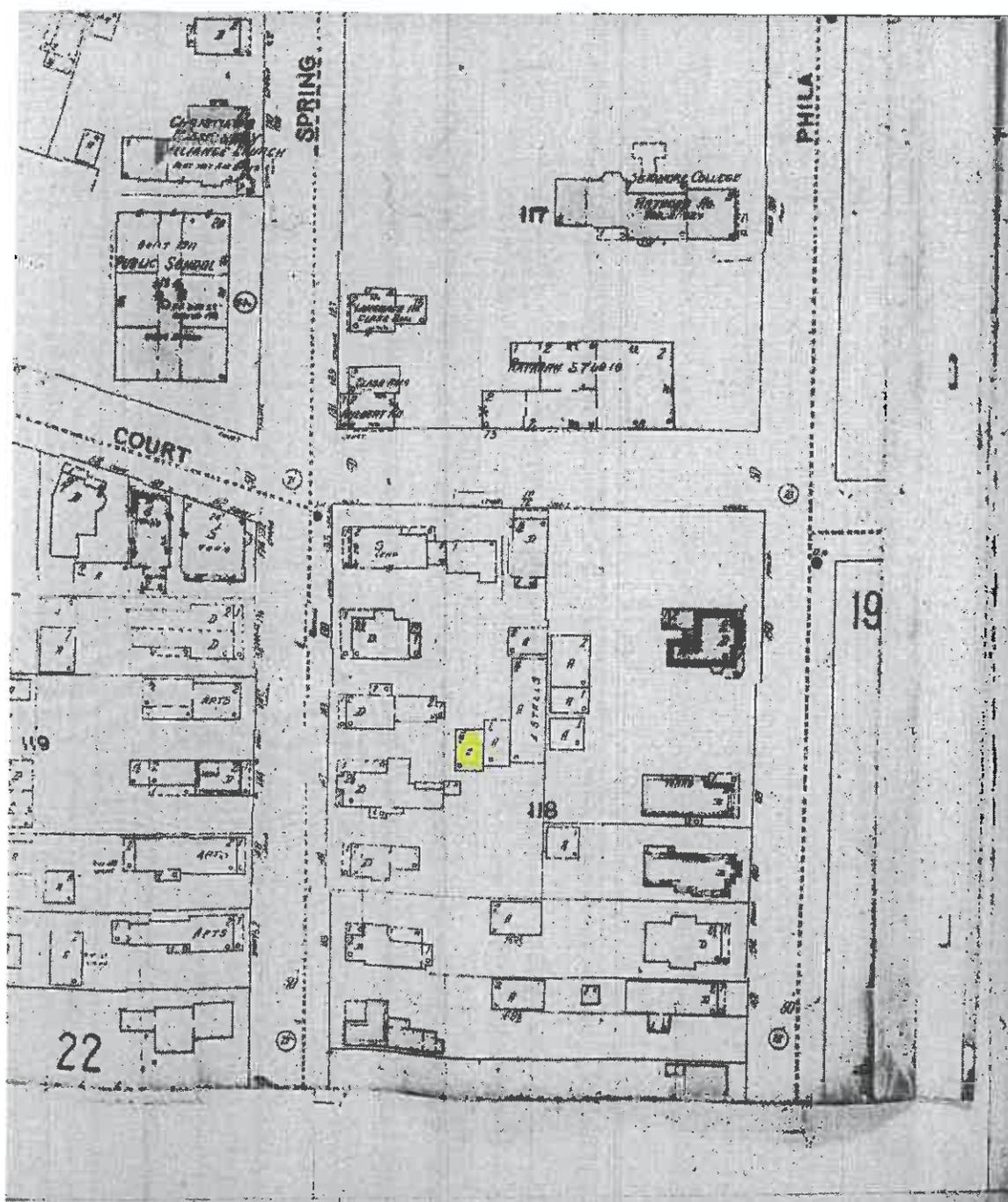


SANBORN MAP  
1909

21



SANBORN MAP  
1933 21



SANBORN MAP

1950

21





## CITY OF SARATOGA SPRINGS

### ZONING BOARD OF APPEALS

□  
CITY HALL - 474 BROADWAY  
SARATOGA SPRINGS, NEW YORK 12866  
PH) 518-587-3550 FX) 518-580-9480  
WWW.SARATOGA-SPRINGS.ORG

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Adam McNeill, *Secretary*  
Gary Hasbrouck  
George "Skip" Carlson  
James Helicke  
Susan Steer  
Cheryl Grey, *alternate*  
Oksana Ludd, *alternate*

September 28, 2016

Steve Rowland, Chair  
Design Review Commission  
City Hall - 474 Broadway  
Saratoga Springs, NY 12866

Re: Advisory opinion request for Obstarczyk Garage

Dear Steve,

On September 26, 2016 the Zoning Board of Appeals (ZBA) passed a motion to seek an advisory opinion from the Design Review Commission (DRC) for the following application:

**#2915 OBSTARCZYK GARAGE**, 147 Spring Street, area variance to construct a detached, two-car, two-story garage, seeking relief from the minimum side yard setback and minimum distance between accessory and principal structure in the Urban Residential – 3 District.

In addition to the variances sought, this project requires historic review to demolish the existing garage structure and for the proposed new construction. The ZBA respectfully requests an advisory opinion on the proposed demolition prior to any further consideration of an area variance for new construction.

Thank you for your consideration of this request and we look forward to your input.

Respectfully yours,

Bill Moore, Chair  
Zoning Board of Appeals

**ENGINEERING AMERICA CO.**

76 WASHINGTON ST. SARATOGA SPRINGS, NY 12866

████ | ██████████ █████ | ██████████ ( F A X )

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**TRANSMITTAL SHEET**

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|---|--|
| TO:<br>Design Review Commission                                 | FROM:<br>Tonya Yasenchak                 |
| COMPANY:<br>City of Saratoga Springs                            | DATE:<br>November 9, 2016                |
| FAX NUMBER:   | TOTAL NO. OF PAGES INCLUDING COVER:<br>2 |
| PHONE NUMBER:   | SENDER'S REFERENCE NUMBER:               |
| RE:<br>Obstarczyk Demo<br>#147 Spring St., Saratoga Springs, NY | YOUR REFERENCE NUMBER:                   |

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URGENT     FOR REVIEW     PLEASE COMMENT     PLEASE REPLY     AS REQUESTED

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Dear DRC Members,

Engineering America Co, on behalf of the Obstarczyk's, the owners of #147 Spring St., has submitted a variance application to the City of Saratoga Springs Zoning Board of Appeals for the removal of the existing accessory structure and construction of a new accessory structure to meet their garage and storage needs. The project, located within a Historic District, requires DRC review as part of the process for the removal of the existing structure and new construction. However, due to the correct City process, the project needs to go before the ZBA prior to the DRC due to the proposed new building location requiring setback variances. Currently, the ZBA has requested that the DRC provide an advisory opinion regarding the removal of the accessory building.

Engineering America Co. presented information to the DRC for discussion at their 11/2/16 meeting. Following the correct City review process, EACo. is not able to make a formal application for demolition until any variances are granted. We understand that should the project receive the requested variances, a fully complete application for demolition & new construction, with supporting materials, will be provided to the DRC for further review. This correspondence is intended to answer questions and comments which arose during the meeting by DRC and the Saratoga Springs Preservation Foundation as follows:

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- 1) Historic Review Ordinance: Demolition request requirements
  - a. Applicant shall document “good faith” efforts in seeking an alternative that will result in the preservation of the structure including consultation with the DRC and Saratoga Springs Preservation Foundation. The relocation of structures may be permitted as an alternative to demolition.
    - i. The DRC has been to the site twice to review the project and the condition of the existing structure. At the most recent site meeting of 11/7/16, the DRC was able to walk thru the building to observe structural elements of the structure as well as view the location of the building relative to the neighbors’ home.
    - ii. The alternative of lifting the structure, installing a foundation and rebuilding / repairing the structure in it’s existing location is not feasible.
      1. The current structure is less than 1’ from the property line & less than 6’ from the neighboring house.
      2. The neighbors are not amenable to this option as it would include construction vehicles, workers, and structural blocking which may cause substantial disturbance to their property.
      3. The current condition of the existing structure, with rotted studs & few or no sill plates, would substantially limit the ability to safely lift the structure.
    - iii. The alternative of lifting the structure and moving it to another location within the site is also not feasible.
      1. The current structure is less than 1’ from the property line & less than 6’ from the neighboring house.
      2. The neighbors are not amenable to this option as it would include construction vehicles, workers, and structural blocking which may cause substantial disturbance to their property.
      3. The current condition of the existing structure, with rotted studs & few or no sill plates, would substantially limit the ability to safely lift & move the structure.
      4. The existing house deck and lot width would limit safe relocation of the structure.
  
- 2) The applicant shall document efforts to find a purchaser interested in acquiring and preserving the structure.
  - a. The Obstarczyk’s purchased the property in April 2016 with the intention of preserving the structure. However, costs for such a preservation project, as well as site logistics, have made such a project very difficult, if not impossible. They do not desire to sell their new home & have thus not placed their home on the market to find a purchaser to preserve the structure. Any new owner would be faced with the same limitations.

- b. The Ostarczyk's have not made any efforts to find a purchaser for just the structure due to the deteriorated condition of the building's structural elements.
- 3) The applicants shall demonstrate that the structure cannot be adapted for any other permitted use, whether by the current owner or by a purchaser, which would result in a reasonable return.
  - a. Current Saratoga zoning regulations do not allow for any use of an accessory structure for habitable or conditioned space without a variance.
  - b. The current size of the structure at 16' depth would not adequately allow for the storage of vehicles (typically requiring 18' min).
- 4) The applicant shall submit evidence that the property is not capable of earning a reasonable return with "dollar & cents proof provided." The applicant will be providing this information at the time of the DRC application. However, the following additional costs for attempted preservation should adequately provide a preliminary sense of hardship:
  - a. Cost of lifting the structure in place for construction and relocation: \$7,000 (+/-)
  - b. Cost of repairs to neighbor's fence, landscaping, etc.: \$1,000 (+/-)
  - c. Additional construction costs (to be determined at time of DRC application) would also be involved when removing or sistering studs, removing existing roofing for replacement of sheathing, removing & replacing siding, etc.
- 5) Acceptable Post- Demolition plans for the new building and site will be provided at the time of formal DRC application. Preliminary plans have been submitted for review. The following elements will be included in the proposed plans:
  - a. The proposed building is intended for the storage of 2 vehicles.
  - b. Relocating a new structure 3' from the property line would allow for wood siding & materials instead of non-combustible materials and fiber cement board siding.
  - c. More than 50% of the existing structure needs to be replaced to meet NYS Building Codes. This not only involves additional costs (if attempting preservation), but also results in a renovated structure that holds no semblance to the original structure:
    - i. The 1<sup>st</sup> floor walls need to be either sistered or replaced. This constitutes over 75% of the walls being replaced
    - ii. 100% of the wall sheathing is required; the current siding acts as sheathing but does not meet NYS Code
    - iii. 100% of the siding needs to be replaced due to it's condition.
    - iv. 100% of the roof sheathing needs to be replaced
    - v. At best 50% of the roof finish needs to be replaced. The old tin roof is not salvageable. Some of the slate may be salvageable.

- d. The Owners are open for continued discussion with the DRC regarding options for the design of a new accessory structure to be consistent with the character of the existing home and the historic nature of the neighborhood. Additional options will be submitted during the DRC review process.

We thank the DRC for your time and advisory opinion. We respect the review process and will be submitting a formal application with supporting documentation after determination from the ZBA.

Thank you for your time and cooperation.

Sincerely,

Tonya Yasenchak, PE



# CITY OF SARATOGA SPRINGS

DESIGN REVIEW COMMISSION

City Hall - 474 Broadway  
Saratoga Springs, New York 12866  
Tel: 518-587-3550 x.515 fax: 518-580-9480  
www.saratoga-springs.org

[FOR OFFICE USE]

(Application #)

(Date received)

## ARCHITECTURAL / HISTORIC REVIEW APPLICATION

|         | <u>APPLICANT(S)*</u> | <u>OWNER(S) (If not applicant)</u> | <u>ATTORNEY/AGENT</u>    |
|---------|----------------------|------------------------------------|--------------------------|
| Name    | TIM CAROTA           | SAME                               | BALZER+TUCK ARCHITECTURE |
| Address | [REDACTED]           |                                    | 468 BROADWAY             |
|         |                      |                                    | SARATOGA SPRINGS, NY     |
| Phone   | [REDACTED]           | /                                  | [REDACTED]               |
| Email   | [REDACTED]           |                                    | [REDACTED]               |

Identify primary contact person:  Applicant  Owner  Attorney/Agent

\* An applicant must be the property owner, lessee, or one with an option to lease or purchase the property in question.

Applicant's interest in premises:  Owner  Lessee  Under option to lease or purchase

### PROPERTY INFORMATION

Property Address/Location: 102 CONGRESS STREET Tax Parcel #: 165.66 . 2 - 108  
(for example: 165.52 - 4 - 37)

Current Zoning District: T-6 Property use:  Residential  Non-residential/mixed-use

Type of Review:  Architectural  Historic  Extension/modification (of current approval)

Summary description of proposed action: \_\_\_\_\_

WORK CONSISTS REMOVING EXISTING OUTDOOR DINING DECK AND EXISTING KITCHEN ACCESS STAIR. SIDING WILL BE REMOVED TO ALLOW FOR NEW WORK THEN REPLACED TO MATCH EXISTING COLOR AND STYLE. NEW WORK CONSISTS OF A NEW KITCHEN ACCESS STAIR AND A NEW, ENLARGED DINING DECK WITH STAIRS AND EXTERIOR CHAIR LIFT TO MEET ADA ACCESSIBILITY REQUIREMENTS.

Has a previous application been filed with the DRC for this property?  No  Yes - date(s)? \_\_\_\_\_

- App. No.(s)? \_\_\_\_\_

APPLICATION FEE (payable to "Commissioner of Finance"):

|   |      |  |       |
|---|------|--|-------|
| Residential Structures (principal, accessory) | \$25 | Non-residential / mixed-use structures (principal)   | \$300 |
| Residential approval – extension              | \$25 | Non-residential signs, awnings, accessory structures | \$100 |
| Residential - administrative action           | \$25 | Non-residential approval – extension                 | \$100 |
|   |      | Non-residential - administrative action              | \$100 |

\*\*A "complete" application consists of 2 hard copies (1 original) , and 1 electronic copy of application & ALL other materials as required below:

New Construction / Additions

- Color photographs showing site/exterior details of existing structures and adjacent properties
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- Installation, removal or change in material of drive- and walkways
- Installation or removal of architectural, sculptural or vegetative screening over 3' in height
- Installation of accessory utility structures or radio/satellite transmission/reception devices (more than 2' diameter)

For any of above:

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- Color photographs showing site/exterior details of existing structures, and adjacent properties
- Plan showing location of proposed sign/awning structure on building/premises: no larger than 11"x17"
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- Color photographs showing site/exterior details of existing structures, and of adjacent properties
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  - For structures of "architectural/historical significance", demonstrate "good cause" why structure cannot be preserved
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- Identify date of original DRC approval: \_\_\_\_\_ Current expiration date: \_\_\_\_\_ Org. App. No. \_\_\_\_\_
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- Construction or expansion of a multi-family residential structure (4 units +)
- Construction or expansion (exceeding 4,000 sq. ft. gross floor area) of a principal or accessory non-residential structure
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- Demolition

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Does any City officer, employee or family member thereof have a financial interest (as defined by General Municipal Law Section 809) in this application?

- No  Yes - If yes, a statement disclosing the name, residence, nature, and extent of this interest must be filed with this application.

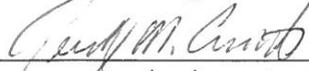
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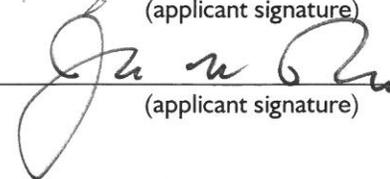
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I/we hereby authorize the members of the Design Review Commission and designated City staff to enter the property associated with this application for purposes of conducting any necessary site inspections relating to this application.

Furthermore, I/we agree to meet all requirements under Article VII for Historic Review or Article VIII for Architectural Review of the Zoning Code of the City of Saratoga Springs.

  
\_\_\_\_\_  
(applicant signature)

Date: 10/19/16

  
\_\_\_\_\_  
(applicant signature)

Date: 10/19/16

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Owner Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Owner Signature: \_\_\_\_\_

Date: \_\_\_\_\_

FOR OFFICE USE ONLY

This application has been reviewed by the Zoning Enforcement Officer and is being forwarded to the Commission.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Additional Comments: \_\_\_\_\_

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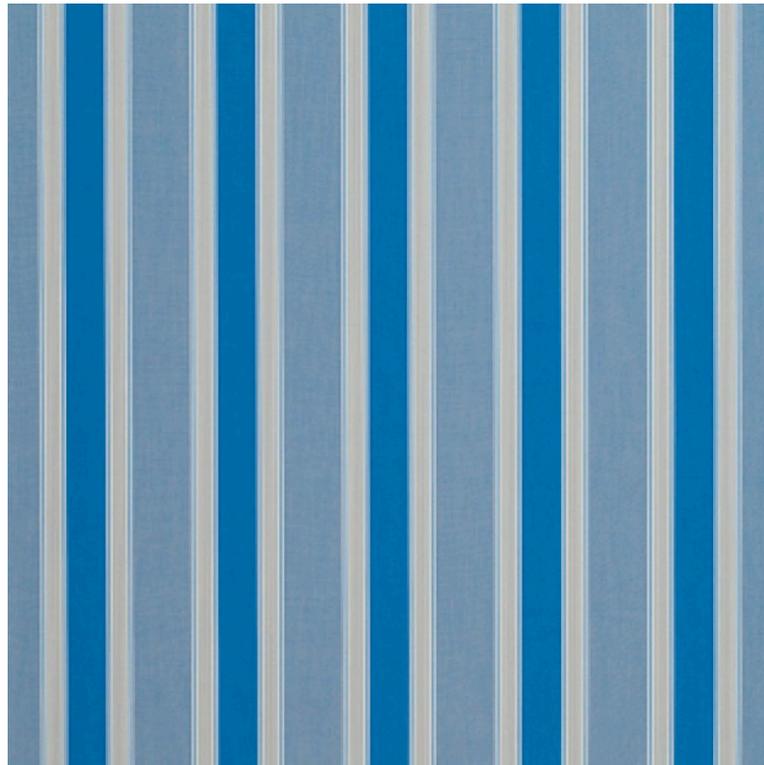
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# Legends Cafe

102 Congress Street  
Saratoga Springs, New York

Architectural Review Application

Sun Shade Fabric  
"Baycrest Pacific" by  
Sunbrella



# Legends Cafe

102 Congress Street  
Saratoga Springs, New York

Architectural Review Application

Precast Service Stair  
by  
J.B. Concrete Products

With painted steel pipe railing in black.

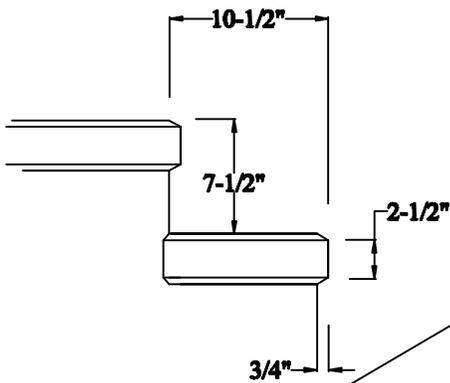


# J.B. CONCRETE PRODUCTS, INC.

## PRECAST FRONT ENTRANCE STEPS

DATE:  
Jan. 3, 2007

Drawing I.D.  
Steps

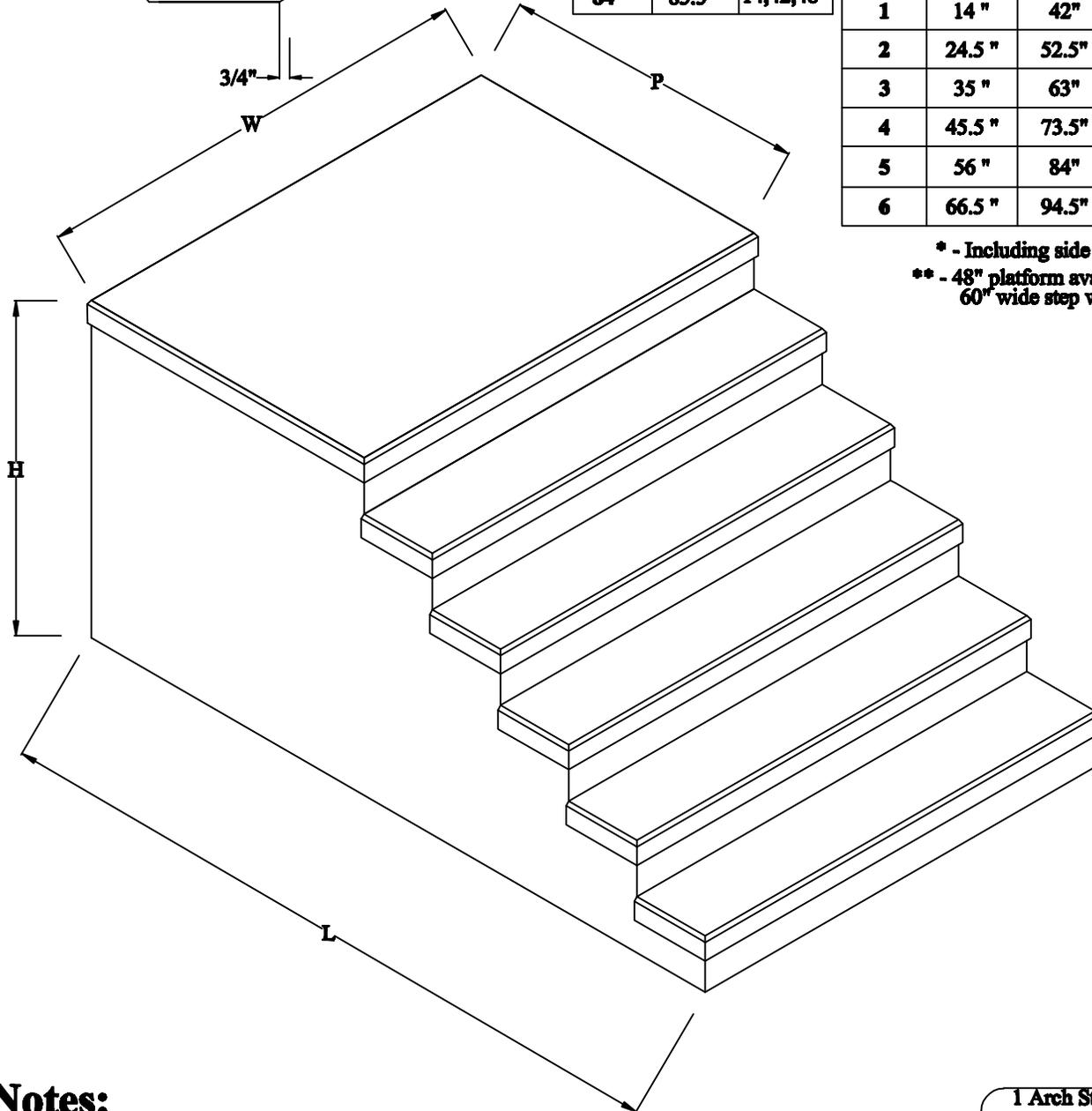


| Step Measurements |              |                 |
|-------------------|--------------|-----------------|
| W                 | Total Width* | P               |
| 60"               | 61.5"        | 12,42,48"<br>** |
| 72"               | 73.5"        | 12,42"          |
| 84"               | 85.5"        | 14,42,48"       |

| Step Measurements |              |              |              |       |
|-------------------|--------------|--------------|--------------|-------|
| # Risers          | L            | L            | L            | H     |
|                   | 14" Platform | 42" Platform | 48" Platform |       |
| 1                 | 14"          | 42"          | 48"          | 7.5"  |
| 2                 | 24.5"        | 52.5"        | 58.5"        | 15"   |
| 3                 | 35"          | 63"          | 69"          | 22.5" |
| 4                 | 45.5"        | 73.5"        | 79.5"        | 30"   |
| 5                 | 56"          | 84"          | 90"          | 37.5" |
| 6                 | 66.5"        | 94.5"        | 100.5"       | 45"   |

\* - Including side nosing

\*\* - 48" platform available on 60" wide step with closed back



### Notes:

1. WROUGHT IRON RAILINGS OPTIONAL.
3. MINIMUM CONCRETE COMPRESSION STRENGTH 5,000 PSI AFTER 28 DAYS.
4. TREADS AND PLATFORM BROOM FINISHED.
5. SOLID BACK OPTIONAL TO ALLOW FOR SIDE ENTRY (60" WIDE ONLY).

1 Arch St  
PO Box 387  
Putnam, CT 06260

[www.jbconcreteproducts.com](http://www.jbconcreteproducts.com)

# Legends Cafe

102 Congress Street  
Saratoga Springs, New York

Architectural Review Application

Access Chair Lift  
"Multilift" by  
Savaria



# MULTILIFT

# PROVISIONS BY OTHERS

ELEVATION VIEW TYPE-4

TOP VIEW TYPE-4

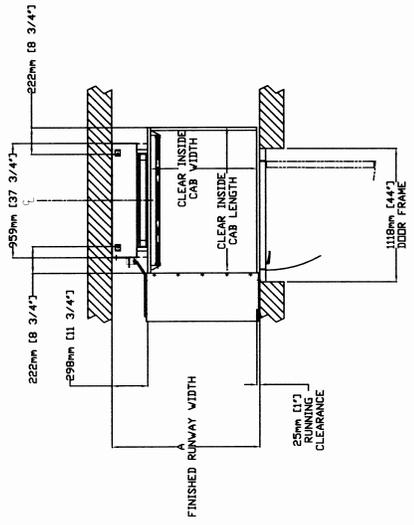
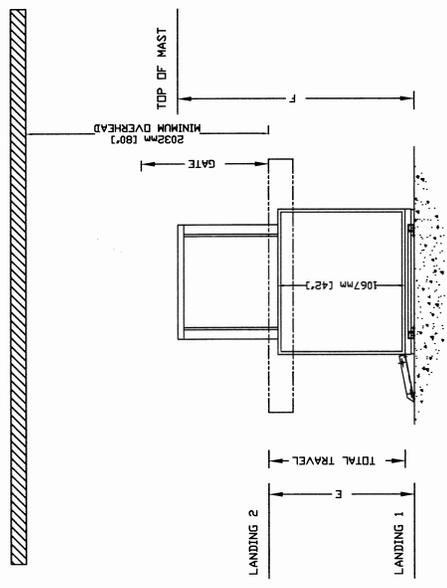


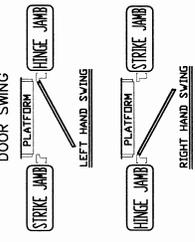
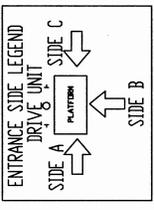
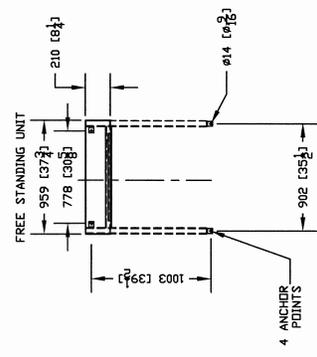
TABLE 1 - MAST HEIGHT

| E           | Max. Travel | Mast Height with 2" CAP | F           |
|-------------|-------------|-------------------------|-------------|
| mm (Inches) | mm (Inches) | mm (Inches)             | mm (Inches) |
| 1219 (48)   | 2032        | 2642                    | 104         |

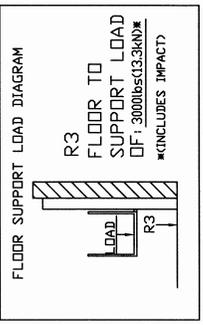
TABLE 2 - HOISTWAY DIMENSION

| CLEAR INSIDE CAB WIDTH | CLEAR INSIDE CAB LENGTH | A  |        | B   |        | C   |        | D   |        |
|------------------------|-------------------------|----|--------|-----|--------|-----|--------|-----|--------|
|                        |                         | mm | Inches | mm  | Inches | mm  | Inches | mm  | Inches |
| 889                    | 1194                    | 27 | 48 3/4 | N/A | N/A    | N/A | N/A    | N/A | N/A    |
| 889                    | 1498                    | 27 | 59     | N/A | N/A    | N/A | N/A    | N/A | N/A    |

## ANCHOR POINTS



## FORCES

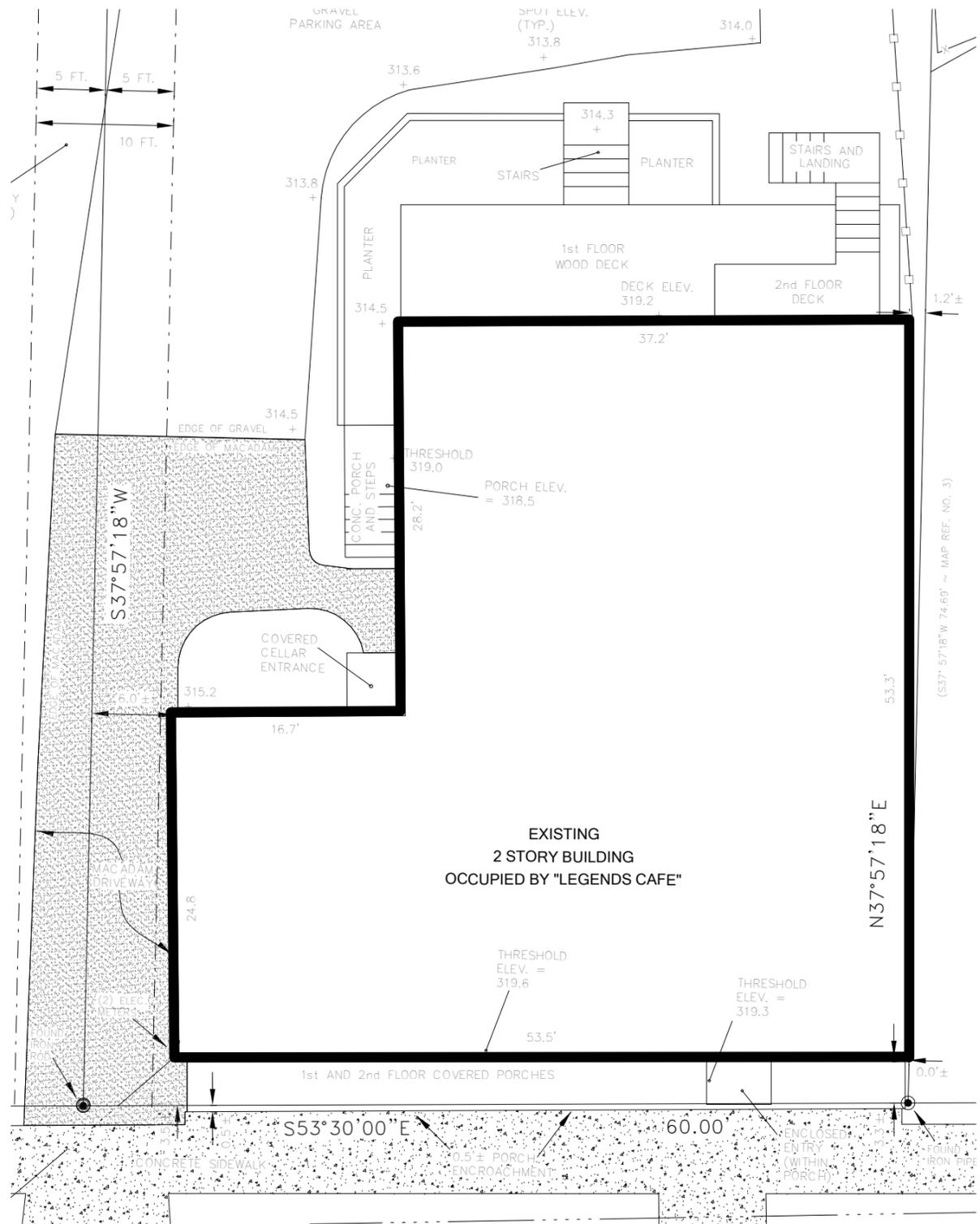


**GENERAL**  
**HOISTWAY** - THE HOISTWAY MUST BE DESIGNED AND BUILT IN ACCORDANCE WITH "SAFETY STANDARD FOR PLATFORM LIFTS AND STAIRWAY CHAIRLIFTS" OR "SAFETY CODE FOR ELEVATORS AND ESCALATORS" AND ALL STATE/LOCAL BUILDING CODES.  
**DOOR** - THE DOOR MUST BE DESIGNED TO MAINTAIN CLEARANCES IN ACCORDANCE WITH THE DIMENSIONS IN THESE DRAWINGS. MINIMUM OVERHEAD CLEARANCE- DIMENS/AGENT MUST ENSURE MINIMUM OVERHEAD CLEARANCE IS IN COMPLIANCE WITH CODES.  
**CONSTRUCTION SITE**- DIMENS/AGENT TO PROVIDE ALL MASONRY, CARPENTRY AND DRYWALL WORK AS REQUIRED AND SHALL PATCH AND MAKE GOOD INCLUDING FINISH PAINTING ALL SURFACES TO MATCH EXISTING SURFACES. DIMENS/AGENT OR ALTERED IN ANY WAY TO PERMIT THE PROPER INSTALLATION OF THE LIFT.  
**DIMENSIONS**- CONTRACTOR/CUSTOMER TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO OUR OFFICE IMMEDIATELY.  
**STRUCTURAL**  
**FLOOR/SUPPORT WALL LOADS**-STRUCTURAL ENGINEER TO ASSURE THAT BUILDING AND SHFT WILL SAFELY SUPPORT ALL LOADS IMPROSED BY THE LIFT EQUIPMENT. REFER TO THE LOAD DIAGRAM ON THIS DRAWING.  
**MAST** TO BE SECURELY FASTENED- WHERE REQUIRED THE MAST MUST BE SECURELY FASTENED TO THE STRUCTURAL SUPPORT WALL. REFER TO WALL/FLOOR SUPPORT LOAD DIAGRAM FOR MAST FASTENING DETAILS. DIMENSIONS MUST BE PROVIDED BY DIMENS/AGENT. DOOR FRAMES ARE NOT DESIGNED TO SUPPORT OVERHEAD WALL LOADS.

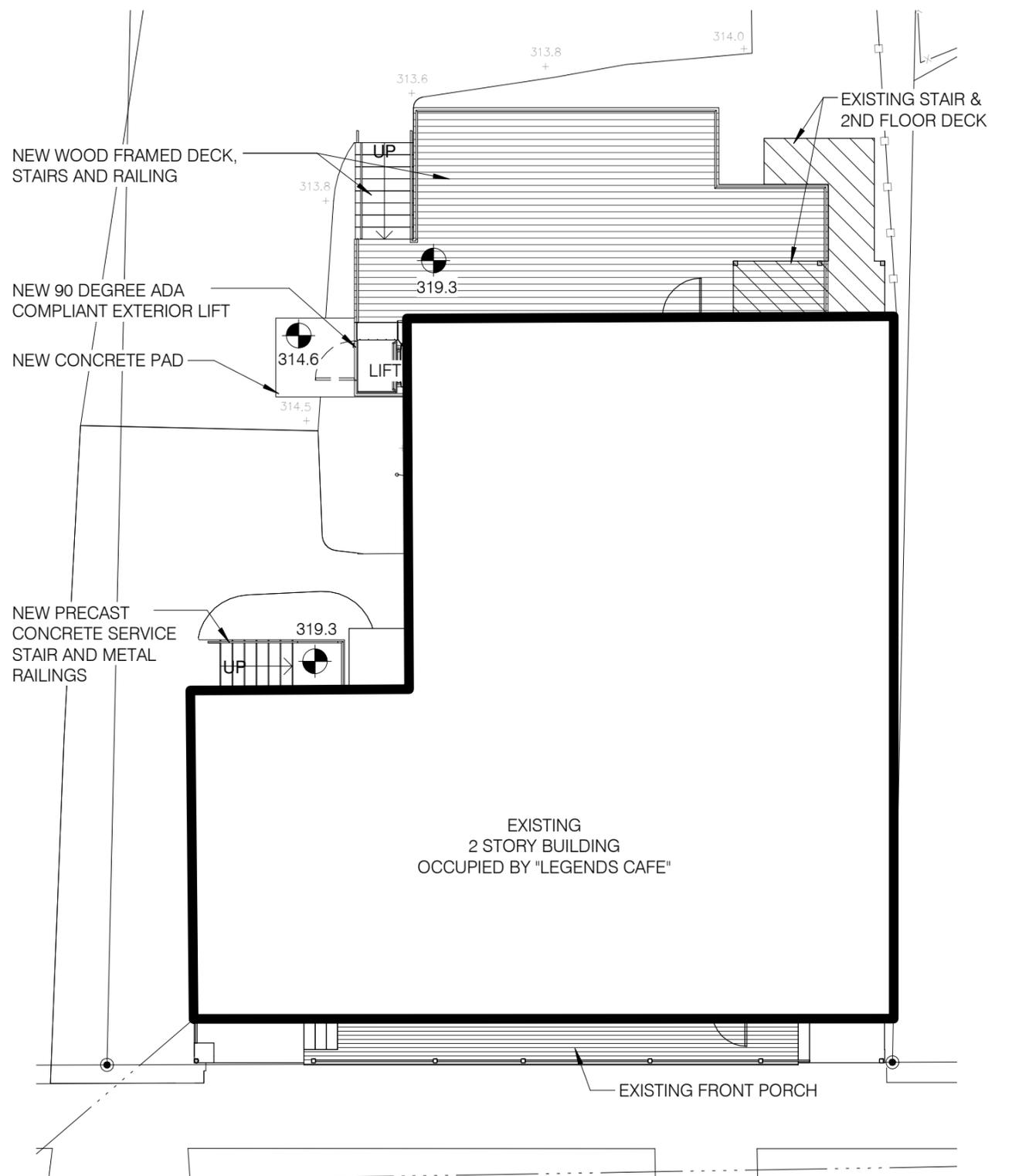
**ELECTRICAL**  
**GENERAL**- ELECTRICAL EQUIPMENT AND WIRING TO COMPLY WITH SECTION 38 OF CSA C221 (CANADA) OR SECTION 680 OF NEC (USA).  
**POWER SUPPLY**-SERVAC 20A 60HZ 1PH CIRCUIT THROUGH A FUSE DISCONNECT WITH AUXILIARY CONTACT ON MAIN POWER SUPPLY. PROVIDE TWO 18 AWG CONDUCTORS BETWEEN CONTACT LIGHTING WITH SWITCH AND ELECTRICAL GFCI OUTLET IN HOISTWAY PIT.  
**ADDITIONAL BRANCH CIRCUIT**- BRANCH CIRCUIT WITH DISCONNECT SWITCH TO BE PROVIDED FOR THE LIGHTING BY DIMENS/AGENT. BRANCH CIRCUIT WITH DISCONNECT FOR VENTILATION SYSTEM OF EQUIPPED (SERVAC, 15A, 60HZ, 1PH)  
**ENTRANCES**  
**UPPER LANDING GATES**- WHERE REQUIRED, SMOOTH SOLID BARRIERS ARE TO BE SUPPLIED AND INSTALLED ON BOTH SIDES OF EACH FLOOR ENRANCE ASSEMBLY. DIMENS/AGENT MUST PROVIDE THIS PROVISION.  
**FASCIA PANEL BELOW UPPER LEVEL ENTRANCE**- WHERE REQUIRED, FASCIA PANEL MUST BE FASTENED TO A SOLID WALL AND BE PERPENDICULAR TO THE FLOOR AND WALLS. HOISTWAY ENTRANCE ASSEMBLY MUST BE SECURELY FASTENED TO THE WALLS. RETURN WALLS AT ENTRANCES MUST BE BUILT-IN BY OTHERS AFTER ENTRANCE ASSEMBLY ARE IN PLACE. ENTRANCE ASSEMBLY MUST BE SECURELY FASTENED TO WALLS.

THE INFORMATION DISCLOSED HEREIN IS THE EXCLUSIVE PROPERTY OF **savaria**™  
 AND MAY NOT BE USED BY OTHERS WITHOUT PRIOR WRITTEN CONSENT

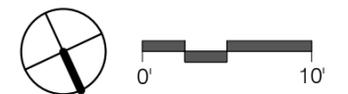
CUSTOMER: \_\_\_\_\_  
 PROJECT: \_\_\_\_\_  
 LOCATION: \_\_\_\_\_  
 DATE: 09/23/2009  
 SCALE: 1:1  
 DRAFTER: VINDI C  
 REVISION: 000  
 09/23/2009  
 SHEET 1 OF 1  
 DRAWING NO: \_\_\_\_\_  
 MULTILIFT UNENCLOSED HOISTWAY

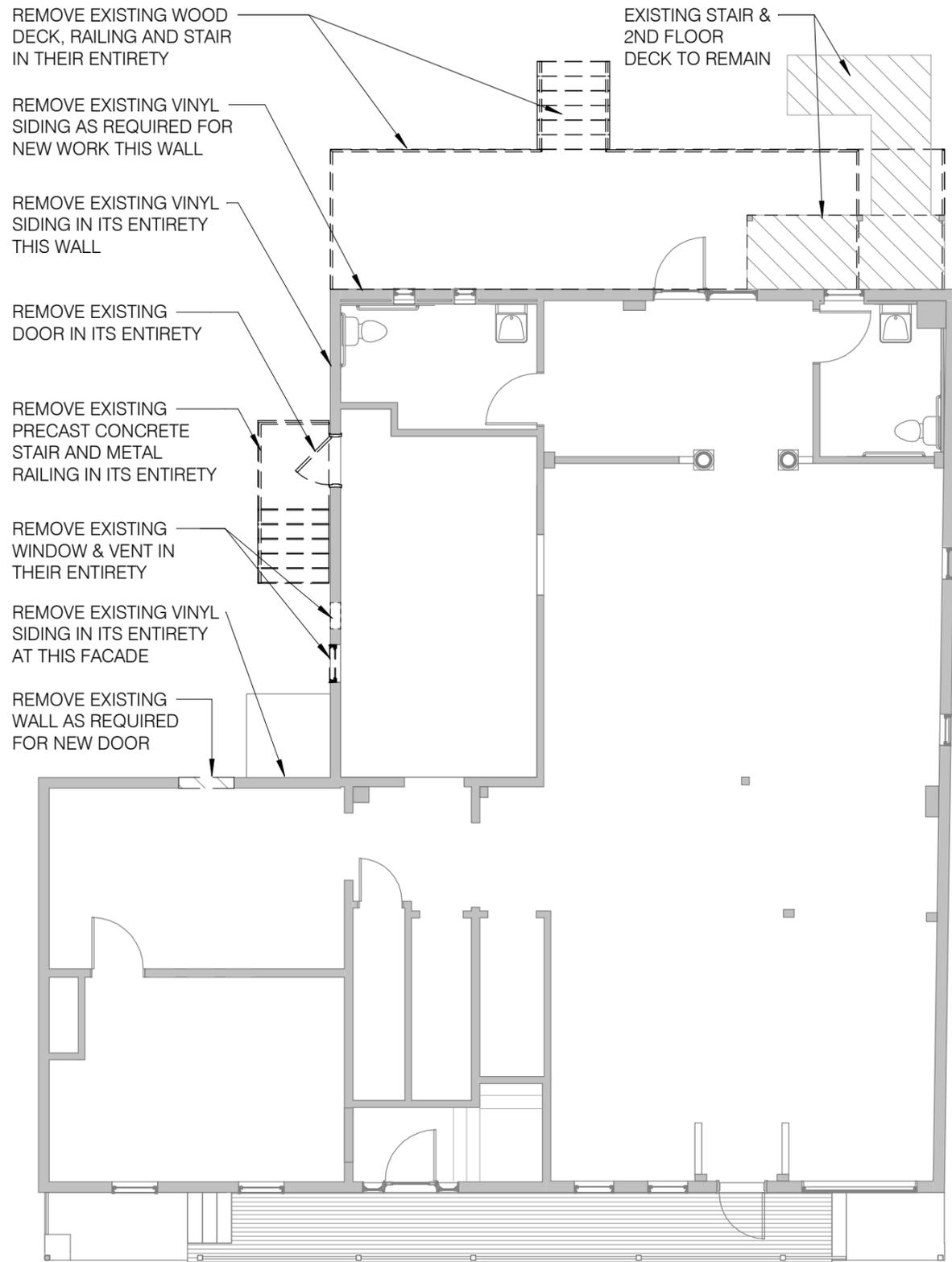


EXISTING SITE PLAN

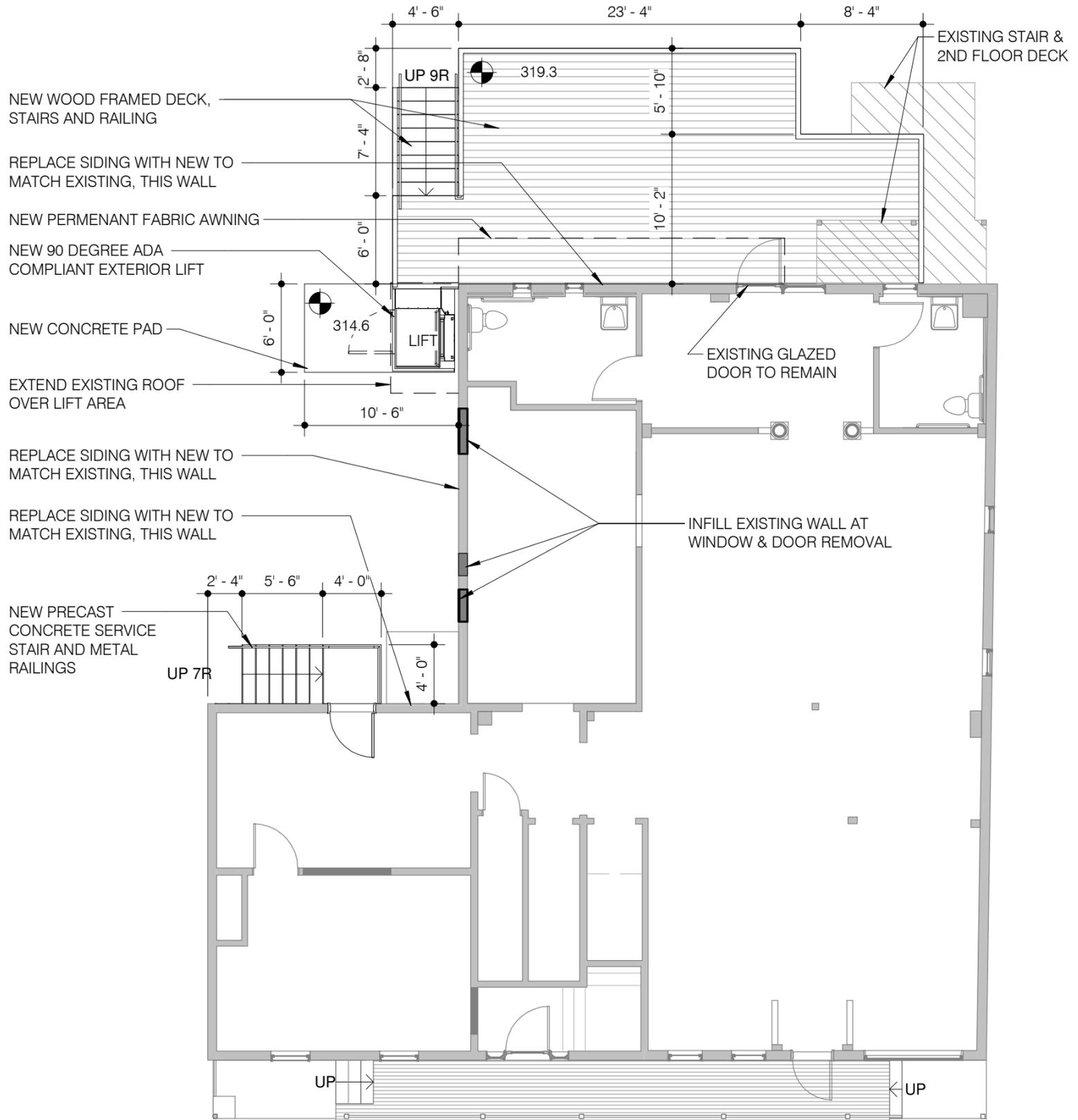


PROPOSED SITE PLAN

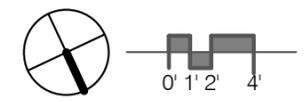




REMOVALS PLAN

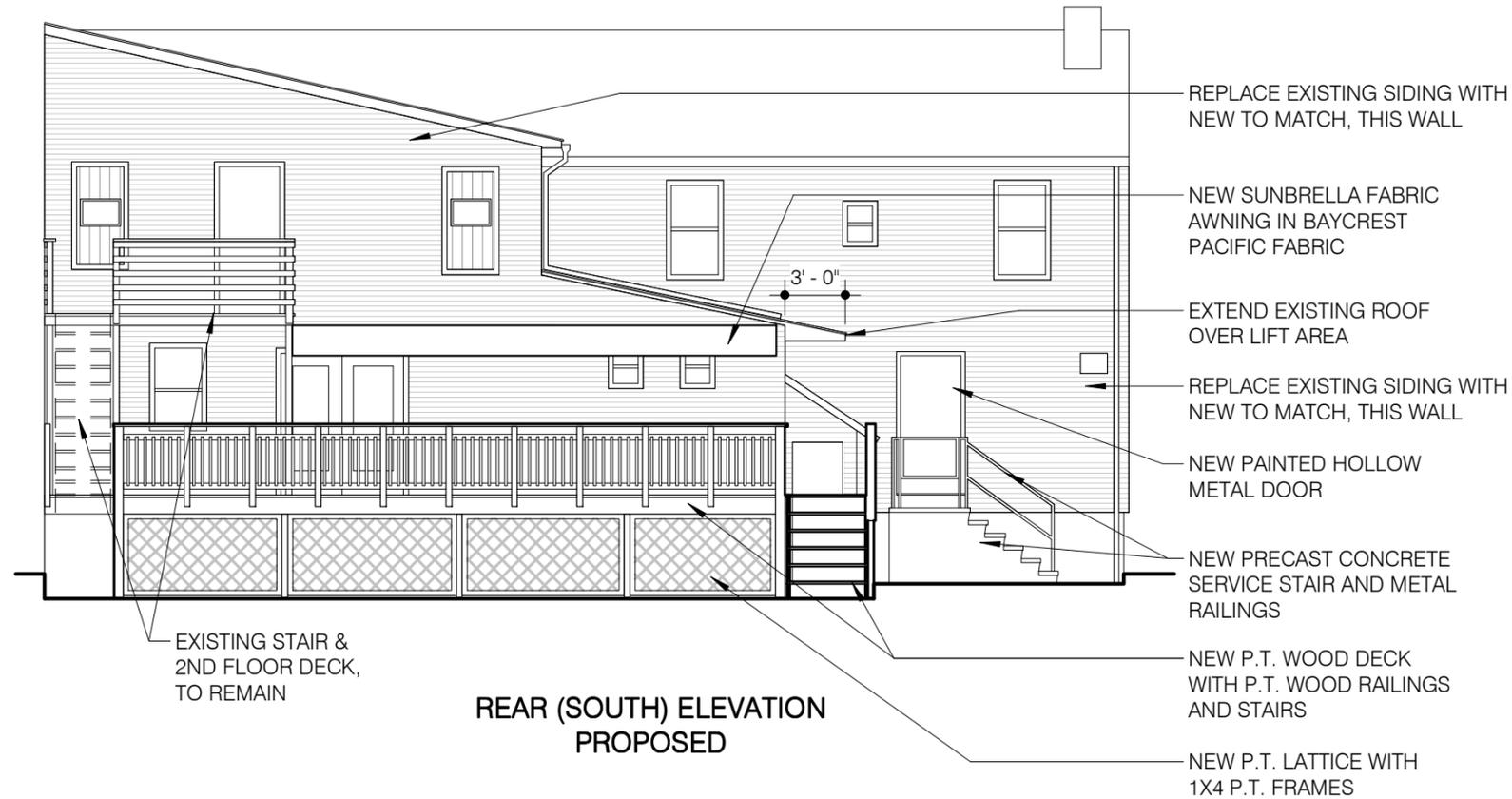


PROPOSED PLAN





REAR (SOUTH) ELEVATION  
EXISTING



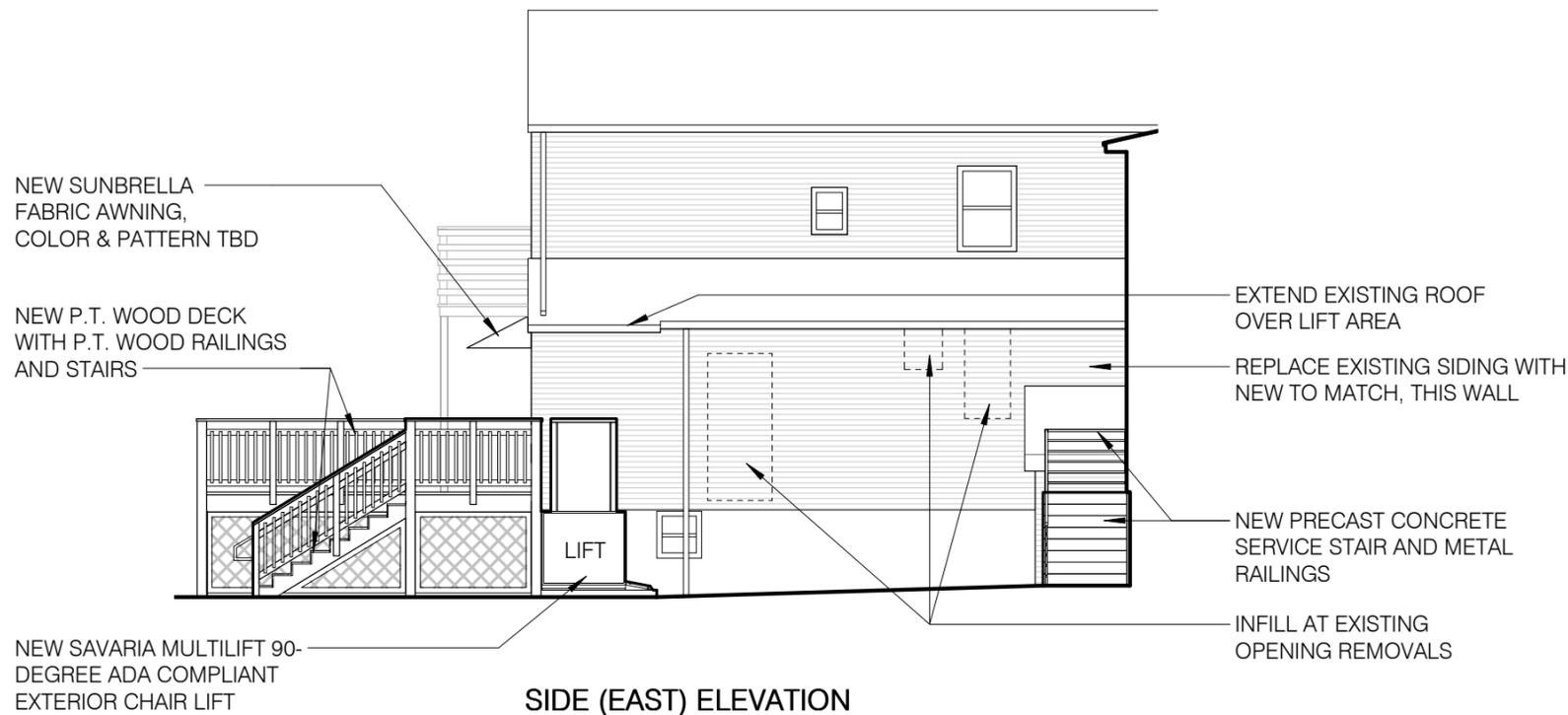
REAR (SOUTH) ELEVATION  
PROPOSED

REPLACE EXISTING VINYL SIDING THESE WALLS



EXISTING PRECAST CONCRETE STAIR  
AND METAL RAILINGS TO BE REMOVED  
EXISTING WINDOW, DOORS, AND FAN TO BE REMOVED AND INFILLED

SIDE (EAST) ELEVATION  
EXISTING



SIDE (EAST) ELEVATION  
PROPOSED



# CITY OF SARATOGA SPRINGS

## DESIGN REVIEW COMMISSION

City Hall - 474 Broadway  
Saratoga Springs, New York 12866  
Tel: 518-587-3550 x.515 fax: 518-580-9480  
www.saratoga-springs.org

[FOR OFFICE USE]  
  
\_\_\_\_\_  
(Application #)  
  
\_\_\_\_\_  
(Date received)

### ARCHITECTURAL / HISTORIC REVIEW APPLICATION

|         | <u>APPLICANT(S)*</u>                               | <u>OWNER(S) (If not applicant)</u> | <u>ATTORNEY/AGENT</u>                        |
|---------|--|------------------------------------|--|
| Name    | National Retail Properties, Inc.                   |                                    | Matthew J. Jones                             |
| Address | 450 S. Orange Ave., Suite 900<br>Orlando, FL 32801 |                                    | 68 West Avenue<br>Saratoga Springs, NY 12866 |
| Phone   | [REDACTED]   | /                                  | [REDACTED]                                   |
| Email   |  |                                    | [REDACTED]                                   |

Identify primary contact person:  Applicant  Owner  Attorney/Agent

\* An applicant must be the property owner, lessee, or one with an option to lease or purchase the property in question.

Applicant's interest in premises:  Owner  Lessee  Under option to lease or purchase

#### PROPERTY INFORMATION

Property Address/Location: 90 West Avenue and 242 Washington St Tax Parcel #: 165 . 14 - 2 - 2.2  
165 . 14 - 2 - 1  
*(for example: 165.52 - 4 - 37)*

Current Zoning District: T-5 Property use:  Residential  Non-residential/mixed-use

Type of Review:  Architectural  Historic  Extension/modification (of current approval)

Summary description of proposed action: \_\_\_\_\_

Approval of signage plan for to-be-constructed Rite Aid Pharmacy as approved by DRC.

SEQRA negative declaration on file with the City Planning office.

Has a previous application been filed with the DRC for this property?  No  Yes - date(s)? 10/1/2015

- App. No.(s)? 2014.109

**APPLICATION FEE** (payable to "Commissioner of Finance"):

|   |      |  |       |
|---|------|--|-------|
| Residential Structures (principal, accessory) | \$25 | Non-residential / mixed-use structures (principal)   | \$300 |
| Residential approval – extension              | \$25 | Non-residential signs, awnings, accessory structures | \$100 |
| Residential - administrative action           | \$25 | Non-residential approval – extension                 | \$100 |
|   |      | Non-residential - administrative action              | \$100 |

**\*\*A "complete" application consists of 2 hard copies (1 original) , and 1 electronic copy of application & ALL other materials as required below:**

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- Color photographs showing site/exterior details of existing structures and adjacent properties
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Certification

I/we, the property owner(s), or purchaser(s)/lessee(s) under contract, of the land in question, hereby request an appearance before the Design Review Commission.

By the signature(s) attached hereto, I/we certify that the information provided within this application and accompanying documentation is, to the best of my/our knowledge, true and accurate. I/we further understand that intentionally providing false or misleading information is grounds for immediate denial of this application.

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Furthermore, I/we agree to meet all requirements under Article VII for Historic Review or Article VIII for Architectural Review of the Zoning Code of the City of Saratoga Springs.

\_\_\_\_\_  
(applicant signature) Date: \_\_\_\_\_

\_\_\_\_\_  
(applicant signature) Date: \_\_\_\_\_

If applicant is not the currently the owner of the property, the current owner must also sign.

*National Retail Properties, Inc.*

Owner Signature: *Bj: David J. Reif* Date: *10-13-16*

*David J. Reif, its Senior Vice President,  
Leasing + Construction*

Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_

FOR OFFICE USE ONLY

This application has been reviewed by the Zoning Enforcement Officer and is being forwarded to the Commission.

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Additional Comments: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

# NON-ILLUMINATED

**REVISION HISTORY:**

| REV | DATE     | REQUESTED BY | UPDATED BY |
|-----|----------|--------------|------------|
| A   | 08/30/16 | TL           | BS         |

REVISION DESCRIPTION  
INITIAL DRAWING

**PARTS LIST:**

| ITEM | DECORATION             |
|------|------------------------|
| A    | WHITE                  |
| B    | PAINT TO MATCH PMS 424 |
| C    |                        |
| D    |                        |
| E    |                        |
| F    |                        |

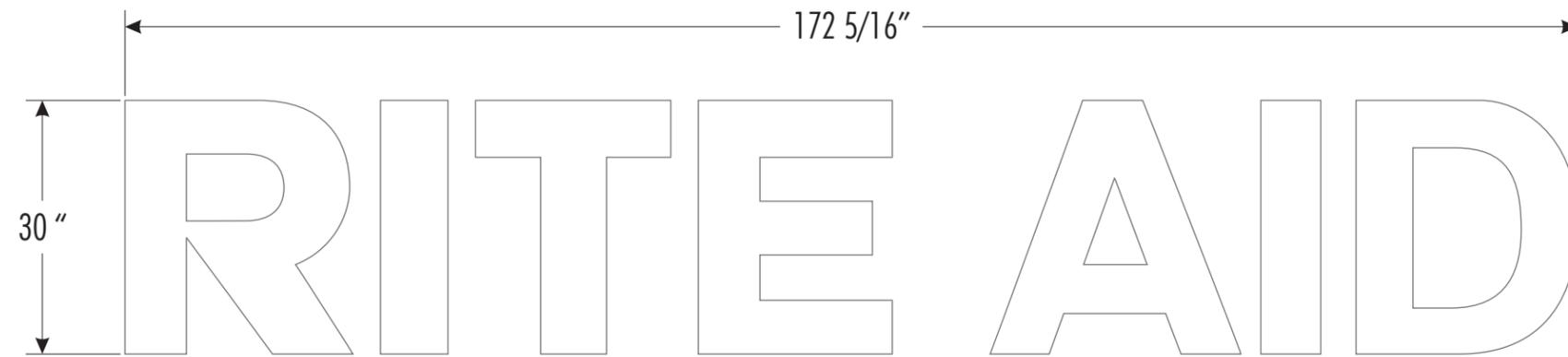
**MATERIAL LIST**

|   |        |
|---|--------|
| 1 | SINTRA |
| 2 |        |
| 3 |        |
| 4 |        |
| 5 |        |

**THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN**

**GENERAL NOTES**

1. TOLERANCE ( UNLESS NOTED )  
• GRAPHICS +/- 1/8" • FACE SIZE + 1/16" - 1/4"  
• CABINET +/- 1/8" • VINYL OVERLAP + 1/8" +/- 1/16"  
• ALL COPY LEVEL UNLESS NOTED OTHERWISE
2. VIEWING DISTANCE 25' TO 50' UNLESS NOTED OTHERWISE
3. PMS COLOR CALLOUT INDICATES USE OF SPRAYLAT MIX SYSTEM
4. NO DEVIATION OR MATERIAL SUBSTITUTION WITHOUT ECN.
5. ALL ELECTRICAL SIGNS TO COMPLY WITH UL 48



FRONT VIEW



SIDE VIEW

DESCRIPTION  
**RITEAID**  
**30" X 172 5/16" SF NL**  
**SINTRA LETTERS**

VOLTAGE:      CIRCUIT:      CURRENT:      DESIGN LOAD:

DRAWN BY:      CHECKED BY:  
**BRIAN S.**

CLIENT:      **RITEAID**

LOCATION:

QUOTE:      DATE:

DRAWING/PART #      REV.      SHEET #  
A      7 OF 41

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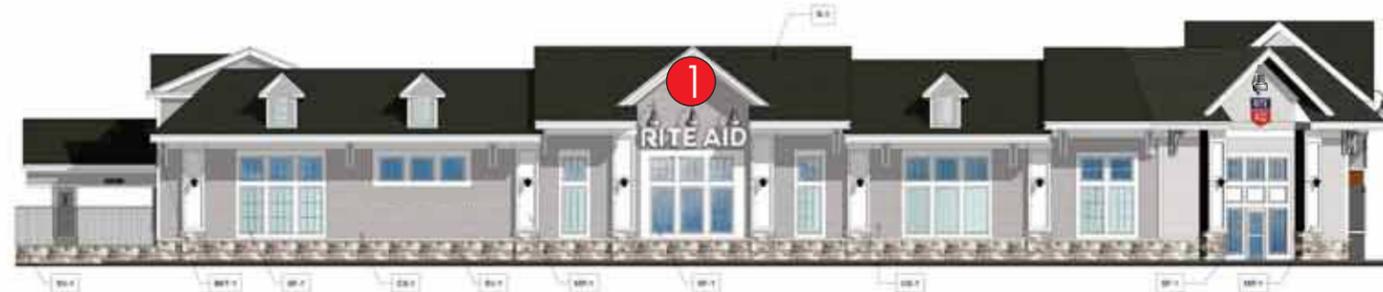
**1**

**APPROVAL SIGNATURE**      **DATE**

**By signing, you are validating the dimensions and graphic provided to SignResource and/or you are handling your own installation.**

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1 NORTH (Faces Washington St.)  
1/8" = 1'-0"



2 SOUTH  
1/8" = 1'-0"



3 EAST  
1/8" = 1'-0"



4 WEST (Faces West Ave.)  
1/8" = 1'-0"



**PROPOSED RITE AID**  
 ARCHITECTURAL ELEVATIONS OF A RITE AID  
 PHARMACY, 6135 DISTRICT BLVD.,  
 MAYWOOD, CALIFORNIA, 94554  
 PREPARED BY SIGN RESOURCE  
 6135 DISTRICT BLVD., MAYWOOD, CA 94554  
 TEL: (925) 938-8888  
 WWW.SIGNRESOURCE.COM

# NON-ILLUMINATED

### REVISION HISTORY:

| REV | DATE     | REQUESTED BY | UPDATED BY |
|-----|----------|--------------|------------|
| A   | 08/30/16 | TL           | BS         |

REVISION DESCRIPTION: INITIAL DRAWING

### PARTS LIST:

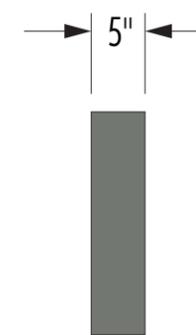
| ITEM | DECORATION             |
|------|------------------------|
| A    | WHITE                  |
| B    | PAINT TO MATCH PMS 424 |
| C    |                        |
| D    |                        |
| E    |                        |
| F    |                        |

| MATERIAL LIST |        |
|---------------|--------|
| 1             | SINTRA |
| 2             |        |
| 3             |        |
| 4             |        |
| 5             |        |



FRONT VIEW



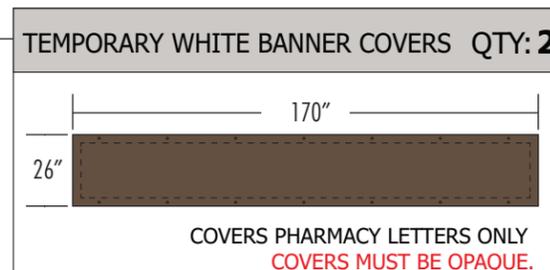
SIDE VIEW

**THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.**

### GENERAL NOTES

- TOLERANCE (UNLESS NOTED)
  - GRAPHICS +/- 1/8" • FACE SIZE + 1/16" - 1/4"
  - CABINET +/- 1/8" • VINYL OVERLAP + 1/8" +/- 1/16"
  - ALL COPY LEVEL UNLESS NOTED OTHERWISE
- VIEWING DISTANCE 25' TO 50' UNLESS NOTED OTHERWISE
- PMS COLOR CALLOUT INDICATES USE OF SPRAYLAT MIX SYSTEM
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- ALL ELECTRICAL SIGNS TO COMPLY WITH UL 48

PART #: RA0214CVR — TEMPORARY WHITE BANNER COVERS QTY: 2



SCALE 1:17  
22.46 SF

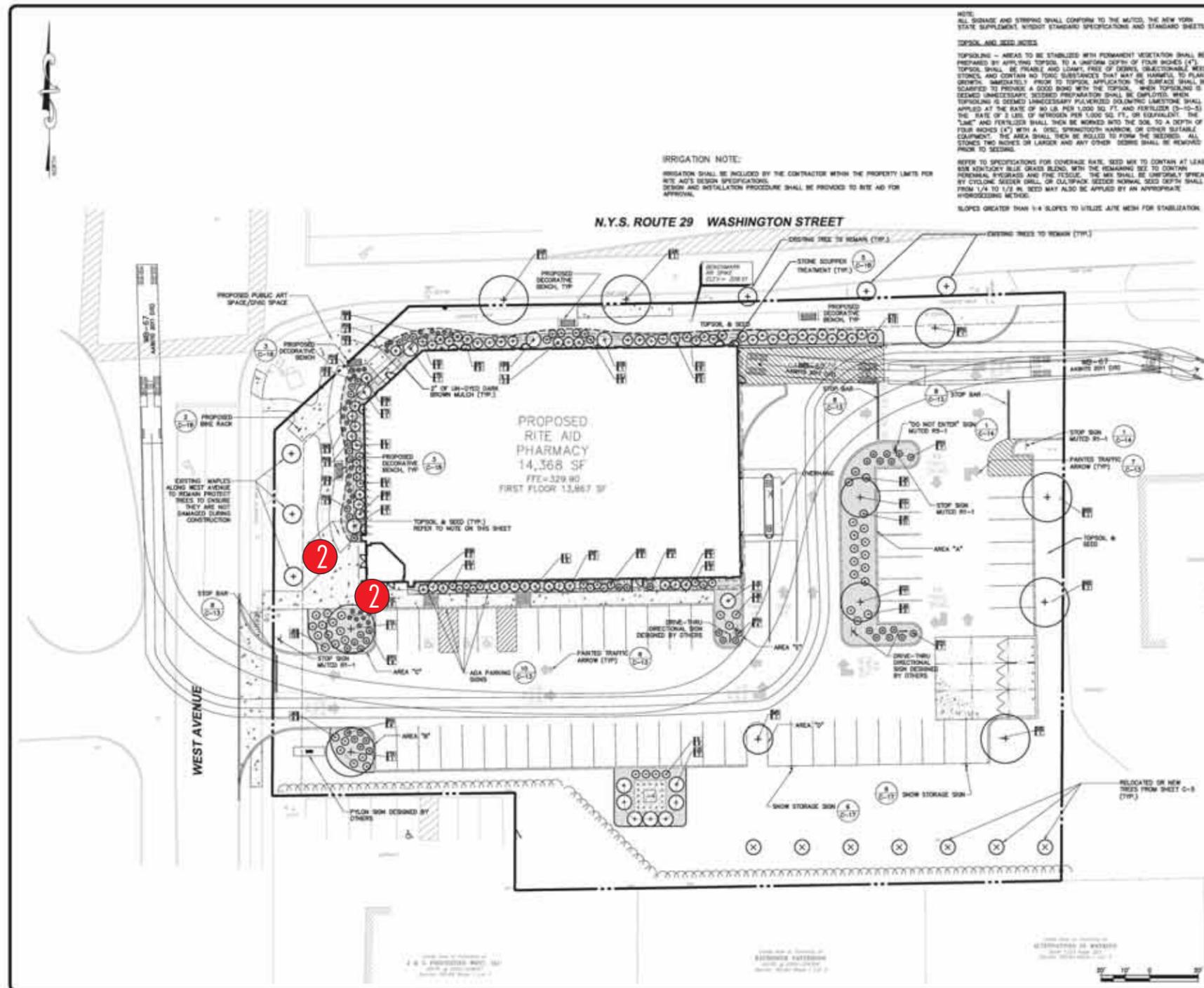
|   |          |             |              |
|---|----------|-------------|--------------|
| DESCRIPTION   |          |             |              |
| RITEAID<br>20" X 161 11/16"<br>SF NL SINTRA LETTERS |          |             |              |
| VOLTAGE:  | CIRCUIT: | CURRENT:    | DESIGN LOAD: |
| DRAWN BY: BRIAN S.                                  |          | CHECKED BY: |              |
| CLIENT: RITEAID                                     |          | LOCATION:   |              |
| QUOTE:  |          | DATE:       |              |
| DRAWING/PART #                                      | REV.     | SHEET #     |              |
|   | A        | 10 OF 41    |              |

**APPROVAL SIGNATURE** \_\_\_\_\_ **DATE** \_\_\_\_\_

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**NOTE:**  
ALL SIGNAGE AND STRIPING SHALL CONFORM TO THE MUTCD, THE NEW YORK STATE SUPPLEMENT, AND/OR STANDARD SPECIFICATIONS AND STANDARD SHEETS.

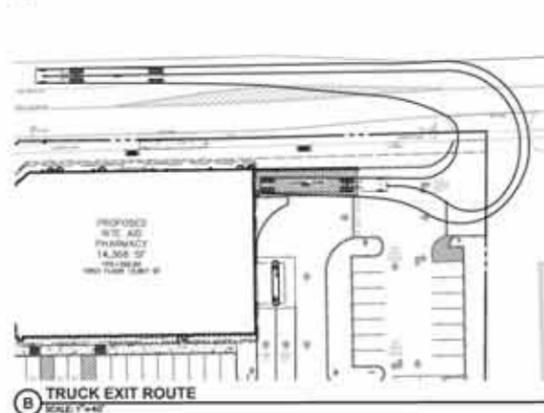
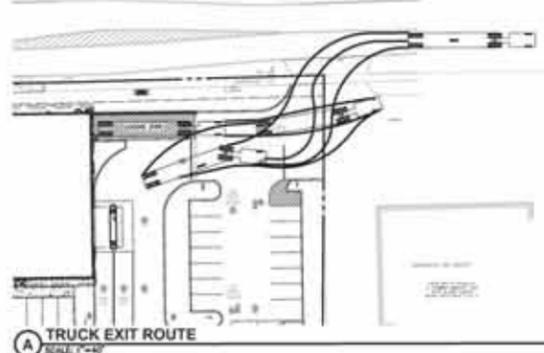
**TOPSOIL AND SEED NOTES:**  
TOPSOILING - AREAS TO BE STABILIZED WITH PERMANENT VEGETATION SHALL BE PREPARED BY APPLYING TOPSOIL TO A UNIFORM DEPTH OF FOUR INCHES (4"). TOPSOIL SHALL BE FREELY AND LOOSELY FREE OF DEBRIS, UNDESIRABLE WEEDS, STONES, AND CONTAIN NO TOXIC SUBSTANCES THAT MAY BE HARMFUL TO PLANT GROWTH. IMMEDIATELY PRIOR TO TOPSOIL APPLICATION THE SURFACE SHALL BE SCARIFIED TO PROVIDE A GOOD BOND WITH THE TOPSOIL. WHEN TOPSOILING IS SEEMED UNNECESSARY, SEEDING PREPARATION SHALL BE EMPLOYED. WHEN TOPSOILING IS DEEMED UNNECESSARY, POLYMERIZED SOLOMATIC LIMEZONE SHALL BE APPLIED AT THE RATE OF 80 LB. PER 1,000 SQ. FT. AND FERTILIZER (3-10-5) AT THE RATE OF 2 LB. OF NITROGEN PER 1,000 SQ. FT. OR EQUIVALENT. THE "LIME" AND FERTILIZER SHALL THEN BE WORKED INTO THE SOIL TO A DEPTH OF FOUR INCHES (4") WITH A DISC SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE AREA SHALL THEN BE ROLLED TO FIRM THE SEEDS. ALL STONES TWO INCHES OR LARGER AND ANY OTHER DEBRIS SHALL BE REMOVED PRIOR TO SEEDING.

**IRRIGATION NOTE:**  
IRRIGATION SHALL BE INCLUDED BY THE CONTRACTOR WITHIN THE PROPERTY LIMITS FOR RITE AID'S DESIGN SPECIFICATIONS. DESIGN AND INSTALLATION PROCEDURE SHALL BE PROVIDED TO RITE AID FOR APPROVAL.

**REFER TO SPECIFICATIONS FOR COVERAGE RATE. SEED MIX TO CONTAIN AT LEAST 80% KENTUCKY BLUE GRASS SEEDS, WITH THE REMAINING 20% TO CONTAIN PERENNIAL RYEGRASS AND FINE FESCUE. THE MIX SHALL BE UNIFORMLY SPREAD BY CYCLOPE SEEDER OR QUALIFOR SEEDER. NORMAL SEED DEPTH SHALL BE FROM 1/4 TO 1/2 IN. SEED MAY ALSO BE APPLIED BY AN APPROPRIATE HYDROSEEDING METHOD.**

**SLOPES GREATER THAN 1:4 SLOPES TO UTILIZE AITE MESH FOR STABILIZATION.**

| PLANT SCHEDULE       |     |                                   |                          |                  |
|----------------------|-----|-----------------------------------|--------------------------|------------------|
| SYM                  | QTY | BOTANICAL NAME                    | COMMON NAME              | SIZE / SPACING   |
| TREES                |     |                                   |                          |                  |
| AR                   | 2   | ACER RUBRUM 'OCTOBER GLORY'       | RED MAPLE                | 2" CAL.          |
| CC                   | 2   | CERIS SARRACENSIS                 | EASTERN REDBUD           | 2" CAL.          |
| WR                   | 1   | WALNUS 'ADMIRAL'                  | FLORING WALNUT           | 2" CAL.          |
| WB                   | 3   | WYTA ELIATICA                     | BLACK BIRCH              | 2" CAL. 30' O.C. |
| FR                   | 1   | FRAXINUS BLANCA                   | WHITE SPRUE              | 8-10'            |
| TS                   | 14  | TRIALIA 'EMERALD GREEN'           | EMERALD GREEN ARBORVITAE | 8-12'            |
| TA                   | 2   | TRIALIA AMERICANA                 | AMERICAN LARIX           | 2" CAL.          |
| SHRUBS               |     |                                   |                          |                  |
| DR                   | 2   | DRACOPANUS PTERIS 'BOLEZANO'      | JAPANESE FALSECYPRESS    | 4'-5' 8' O.C.    |
| HM                   | 2   | HYDRANGEA PANGOLATA 'LITTLE LIME' | LITTLE LIME HYDRANGEA    | 18"-24" 4' O.C.  |
| CL                   | 17  | CLERODENDRON 'IMPACTA'            | IMPACTA BERRY            | 24"-30" 4' O.C.  |
| JA                   | 28  | JUNIPERUS PROCUMBENS 'NANA'       | SWAMP GARDEN JAMPER      | 3 GAL. 8' O.C.   |
| JS                   | 2   | JUNIPERUS SCOPULORUM 'MOON BLUE'  | MOON BLUE JUNIPER        | 3'-4' 8' O.C.    |
| WF                   | 16  | WICKSTEADIA 'WINDHAM'S WHITE'     | WICKSTEADIA              | 18"-24" 4' O.C.  |
| WR                   | 2   | ROSA 'RADAZZ'                     | DOUBLE KNOCKOUT ROSE     | 3 GAL. 8' O.C.   |
| SP                   | 16  | SPREA 'LITTLE PRINCESS'           | LITTLE PRINCESS SPREA    | 3 GAL. 8' O.C.   |
| TS                   | 16  | TRIALIS X MEDIA 'DORISFORMIS'     | DORIS SPREADING VEW      | 3 GAL. 4' O.C.   |
| TS                   | 2   | TRIALIA OOOOONIALIS 'EMERALD'     | EMERALD GREEN ARBORVITAE | 5'-6' 8' O.C.    |
| PERENNIALS & GRASSES |     |                                   |                          |                  |
| HE                   | 20  | HEMEROCALLIS 'HAPPY RETURN'       | SAXFLY                   | 1 GAL. 8' O.C.   |
| PH                   | 40  | PERNETIUM 'SARIEL'                | SWAMP FOUNTAIN GRASS     | 2 GAL. 30" O.C.  |
| SA                   | 11  | SALVIA 'MAY NIGHT'                | PURPLE SAGE              | 1 GAL. 8' O.C.   |



PD # 14.057

APPROVED BY THE SARATOGA SPRINGS PLANNING BOARD UNDER AUTHORITY OF A RESOLUTION

ADOPTED \_\_\_\_\_

CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_

| SUBMITTAL / REVISIONS |          |   |     |             |          |
|-----------------------|----------|---|-----|-------------|----------|
| NO.                   | DATE     | DESCRIPTION   | BY  | REVIEWED BY | DATE     |
| 1                     | 12/23/15 | SARATOGA SPRINGS PLANNING BOARD SUBMISSION TO PLANNER | AWL | JWE         | 12/23/15 |
| 2                     | 1/23/16  | REVISION TO ARCHITECTURE, LAYOUT AND GRADING          | AWL | JWE         | 2/3/16   |
| 3                     | 2/3/16   | REVISIONS   | AWL | JWE         | 2/3/16   |
| 4                     | 2/3/16   | REVISIONS   | AWL | JWE         | 2/3/16   |

THE ALTERATION OF THIS MATERIAL SHALL BE UNLESS DONE UNDER THE DIRECTION OF A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT FOR AN ARCHITECT OR FOR AN ENGINEER OR LANDSCAPE ARCHITECT. A LICENSED LANDSCAPE ARCHITECT IS A VIOLATION OF THE STATE EDUCATION LAW AND/OR REGULATION AND IS A CLASS "B" MISDEMEANOR.

**Engineering and Land Surveying, P.C.**  
1533 Crescent Road - Clifton Park, NY 12065

NATIONAL RETAIL PROPERTIES  
LANDSCAPING AND SITE TRAFFIC CONTROL  
**SARATOGA RITE AID SITE PLAN**  
90 WEST AVENUE  
CITY OF SARATOGA SARATOGA COUNTY, NY

SCALE: 1" = 20'  
CONTRACT NO.: RAJ/PRL/NO. 504/01  
DATE: 08/2015  
**C-10**



1 NORTH (Faces Washington St.)  
1/8" = 1'-0"



2 SOUTH  
1/8" = 1'-0"



3 EAST  
1/8" = 1'-0"



4 WEST (Faces West Ave.)  
1/8" = 1'-0"



**PROPOSED RITE AID**  
 6135 DISTRICT BLVD  
 MAYWOOD, CA 90270  
 909-944-1111  
 www.riteaid.com

# PYLON IS TO BE SHIPPED OUT AS 1 PIECE

METHOD OF SERVICE IS TBD BY ENGINEERING

# LED ILLUMINATION

### REVISION HISTORY:

| REV | DATE     | REQUESTED BY | UPDATED BY |
|-----|----------|--------------|------------|
| A   | 08/30/16 | TL           | BS         |

REVISION DESCRIPTION INITIAL DRAWING

### PARTS LIST:

| ITEM | DECORATION                         |
|------|------------------------------------|
| A    | PAINT TO MATCH "OYSTER WHITE COOL" |
| B    | ARLON 2500-2870 BLUE               |
| C    | ARLON 2500-2283 RED                |
| D    | WHITE                              |
| E    | SCOTTISH OAK PANEL                 |
| F    | DRIFTWOOD MICA COOL 20 PANEL       |

| MATERIAL LIST |                  |
|---------------|------------------|
| 1             | ALUMINUM         |
| 2             | POLES            |
| 3             | LED ILLUMINATION |
| 4             |                  |
| 5             |                  |

**UL** THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN

### GENERAL NOTES

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  - GRAPHICS +/- 1/8" • FACE SIZE + 1/16" - 1/4"
  - CABINET +/- 1/8" • VINYL OVERLAP + 1/8" +/- 1/16"
  - ALL COPY LEVEL UNLESS NOTED OTHERWISE
- VIEWING DISTANCE 25' TO 50' UNLESS NOTED OTHERWISE
- PMS COLOR CALLOUT INDICATES USE OF SPRAYLAT MIX SYSTEM
- NO DEVIATION OR MATERIAL SUBSTITUTION WITHOUT ECN.
- ALL ELECTRICAL SIGNS TO COMPLY WITH UL 48

DESCRIPTION

**RITE AID 12'-0"  
DF LED IL BTP PYLON SIGN**

DRAWN BY: **BRIAN S.** CHECKED BY:

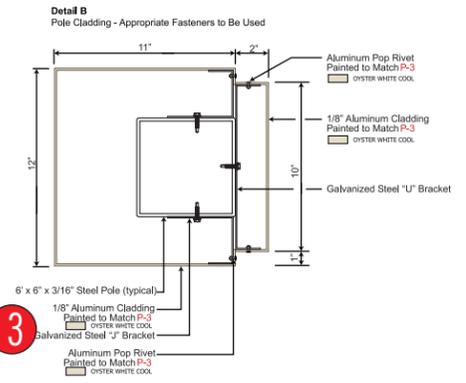
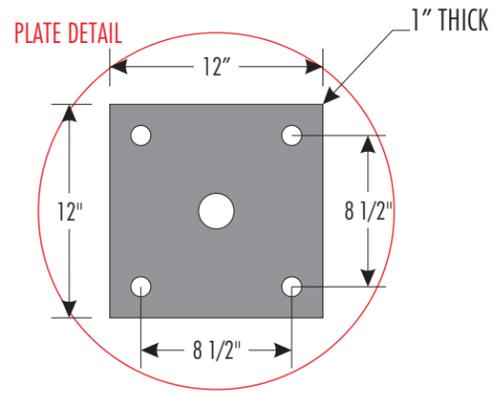
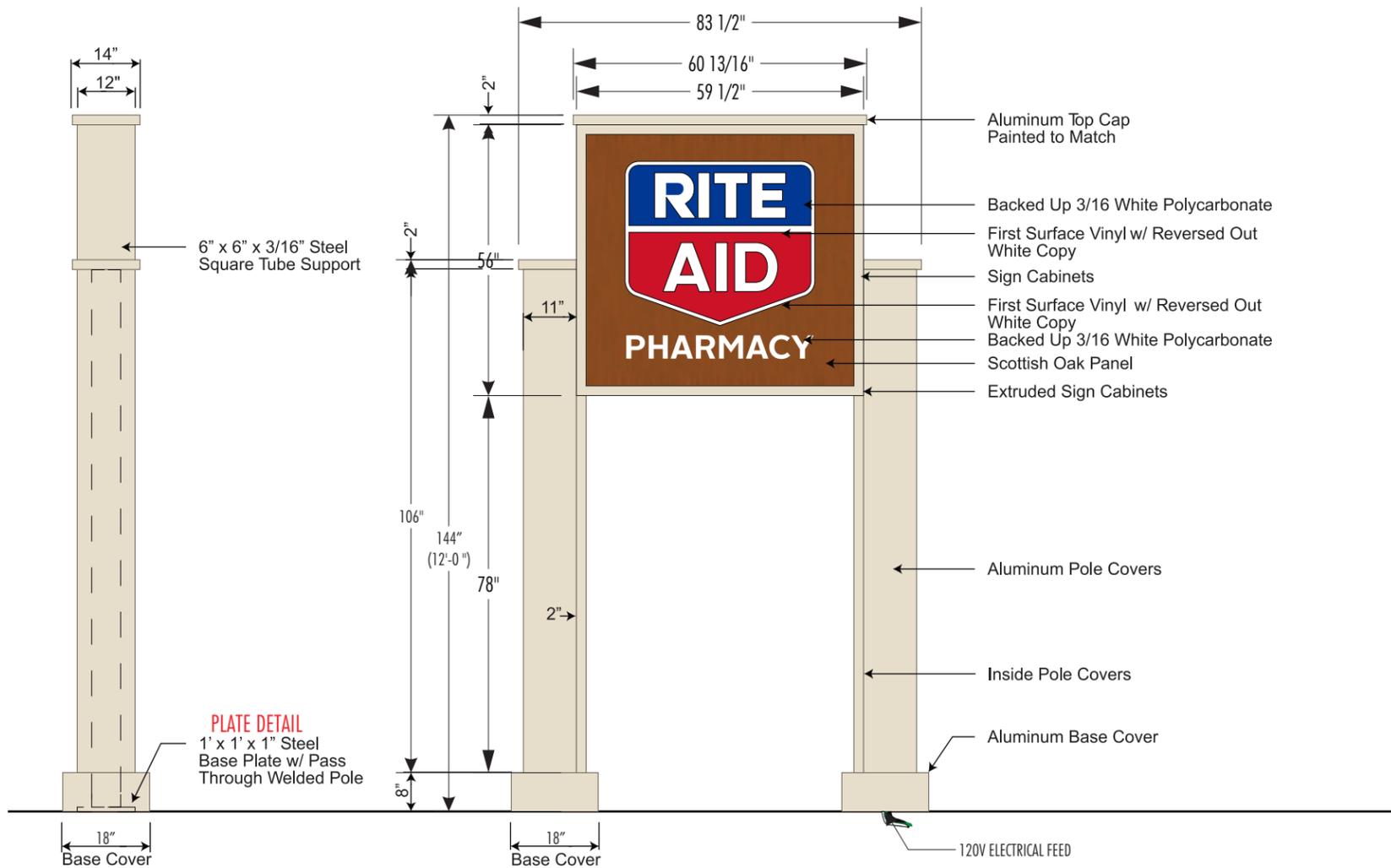
CLIENT: **ENTERPRISE HOLDINGS**

LOCATION: **MULTIPLE LOCATIONS**

QUOTE: DATE: **08/30/16**

DRAWING/PART # REV. SHEET #  
**A 12 OF 41**

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### APPROVAL SIGNATURE

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# OPTION 1

COVERS MUST BE OPAQUE.



BACK VIEW



**REVISION HISTORY:**

| REV | DATE     | REQUESTED BY | UPDATED BY |
|-----|----------|--------------|------------|
| A   | 10/26/16 | TL           | BS         |

REVISION DESCRIPTION: INITIAL DRAWING

**PARTS LIST:**

| ITEM | DECORATION                  |
|------|-----------------------------|
| A    | WHITE (OPAQUE)              |
| B    | MATCH Sw6076 TURKISH COFFEE |
| C    | ARLON 2500-2870 BLUE        |
| D    | ARLON 2500-2283 RED         |
| E    |                             |
| F    |                             |

| MATERIAL LIST |                |
|---------------|----------------|
| 1             | PANAGRAPHS III |
| 2             |                |
| 3             |                |
| 4             |                |
| 5             |                |

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• CABINET +/- 1/8" • VINYL OVERLAP + 1/8" +/- 1/16"  
• ALL COPY LEVEL UNLESS NOTED OTHERWISE
2. VIEWING DISTANCE 25' TO 50' UNLESS NOTED OTHERWISE
3. PMS COLOR CALLOUT INDICATES USE OF SPRAYLAT MIX SYSTEM
4. NO DEVIATION OR MATERIAL SUBSTITUTION WITHOUT ECN.
5. ALL ELECTRICAL SIGNS TO COMPLY WITH UL 48

|             |   |
|-------------|---|
| DESCRIPTION | RITEAID<br>4' x 8' TEMPORARY DF NL<br>BANNER COVER W/GROMMETS |
| VOLTAGE:    | CIRCUIT: CURRENT: DESIGN LOAD:                                |
| DRAWN BY:   | CHECKED BY:<br>BRIAN S.                                       |
| CLIENT:     | RITEAID   |
| LOCATION:   |   |

32 SF

4

APPROVAL SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

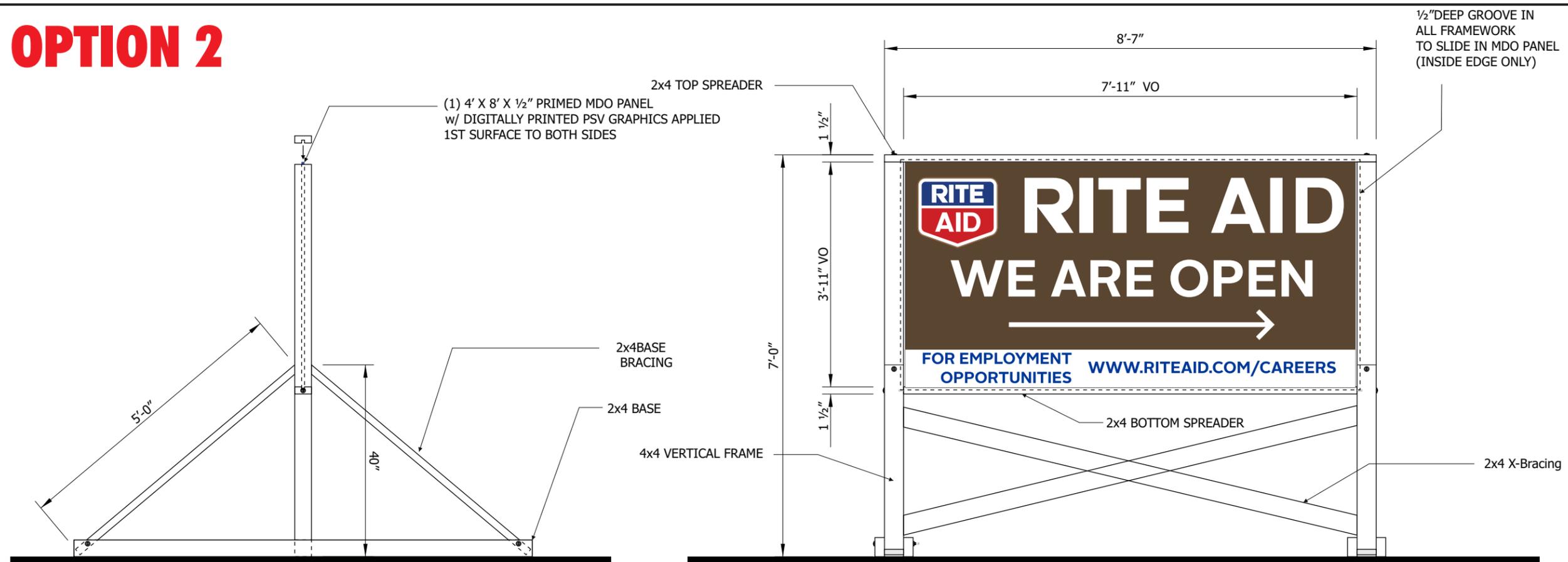
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QUOTE: \_\_\_\_\_ DATE: 10/26/16  
DRAWING/PART # \_\_\_\_\_ REV. SHEET #  
A 14 OF 43

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# OPTION 2



1/2" DEEP GROOVE IN ALL FRAMEWORK TO SLIDE IN MDO PANEL (INSIDE EDGE ONLY)

(1) 4' X 8' X 1/2" PRIMED MDO PANEL w/ DIGITALLY PRINTED PSV GRAPHICS APPLIED 1ST SURFACE TO BOTH SIDES

2x4 TOP SPREADER

2x4 BASE BRACING

2x4 BASE

4x4 VERTICAL FRAME

2x4 BOTTOM SPREADER

2x4 X-Bracing

SIDE VIEW  
SCALE: 1/2"=1'

FRONT VIEW  
SCALE: 1/2"=1'

GRAPHICS SUPPLIED BY SIGN VENDOR  
(4) 4' x 8' DIGITALLY PRINTED PSV SHIPPED TO SUB  
(2) GRAPHICS APPLIED TO EACH D/F SIGN STRUCTURE

SITE SIGN CONSTRUCTED BY SUB  
ALL WOOD SUPPORT PIECES PAINTED WHITE  
ALL FASTENERS TO BE GALVONIZED

MATERIALS PER SIGN STRUCTURE:  
PANEL: (1) 4" x 8" x 1/2" PRIMED MDO  
BASE: (4) 2" x 4" x 8'  
BASE BRACING: (2) 2" x 4" x 10'  
CROSS BRACING: (2) 2" x 4" x 10' (CUT TO 98 3/4")  
VERTICAL FRAME: (2) 4" x 4" x 8' (CUT TO 82 1/2")  
TOP SPREADER: (1) 2" x 4" x 10' (CUT TO 102")  
BOTTOM SPREADER: (1) 2" x 4" x 8' (CUT TO 95")

TOP VIEW  
SCALE: 1/2"=1'



BACK VIEW

4

**REVISION HISTORY:**

| REV | DATE     | REQUESTED BY | UPDATED BY |
|-----|----------|--------------|------------|
| A   | 10/26/16 | TL           | BS         |

REVISION DESCRIPTION INITIAL DRAWING

**PARTS LIST:**

| ITEM | DECORATION                  |
|------|-----------------------------|
| A    | WHITE (OPAQUE)              |
| B    | MATCH Sw6076 TURKISH COFFEE |
| C    | ARLON 2500-2870 BLUE        |
| D    | ARLON 2500-2283 RED         |
| E    |                             |
| F    |                             |

| MATERIAL LIST |                             |
|---------------|-----------------------------|
| 1             | 2x4 FRAMES                  |
| 2             | 1/2" PRIMED MDO SIGN BACKER |
| 3             |                             |
| 4             |                             |
| 5             |                             |

FIRST SURFACE DECORATION

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN

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  - CABINET +/- 1/8" • VINYL OVERLAP + 1/8" +/- 1/16"
  - ALL COPY LEVEL UNLESS NOTED OTHERWISE
- VIEWING DISTANCE 25' TO 50' UNLESS NOTED OTHERWISE
- PMS COLOR CALLOUT INDICATES USE OF SPRAYLAT MIX SYSTEM
- NO DEVIATION OR MATERIAL SUBSTITUTION WITHOUT ECN.
- ALL ELECTRICAL SIGNS TO COMPLY WITH UL 48

|  |          |             |              |
|--|----------|-------------|--------------|
| DESCRIPTION                                |          |             |              |
| RITEAID<br>TEMPORARY SITE DF<br>SIGN FRAME |          |             |              |
| VOLTAGE:                                   | CIRCUIT: | CURRENT:    | DESIGN LOAD: |
| DRAWN BY:<br>BRIAN S.                      |          | CHECKED BY: |              |
| CLIENT:<br>RITEAID                         |          |             |              |
| LOCATION:                                  |          |             |              |

**APPROVAL SIGNATURE** \_\_\_\_\_ **DATE** \_\_\_\_\_

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**REVISION HISTORY:**

| REV                                       | DATE     | REQUESTED BY | UPDATED BY |
|---|----------|--------------|------------|
| A   | 04/07/15 | AH           | CM         |
| REVISION DESCRIPTION: INITIAL DRAWING     |          |              |            |
| B   | 04/24/16 |              | BS         |
| REVISION DESCRIPTION: UPDATED TO NEW FONT |          |              |            |

**PARTS LIST:**

| ITEM          | DECORATION                  |
|---------------|-----------------------------|
| A             | VINYL 3M 3630-59 DARK BROWN |
| B             |                             |
| C             |                             |
| D             |                             |
| E             |                             |
| F             |                             |
| MATERIAL LIST |                             |
| 1             | CLEAR PLASTIC PANEL         |
| 2             | VINYL COPY                  |
| 3             |                             |
| 4             |                             |
| 5             |                             |

QTY: 1

FIRST SURFACE DECORATION

SCALE 1/2" : 1'-0"

**THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRIC CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN**

**GENERAL NOTES**

- TOLERANCE ( UNLESS NOTED )
  - GRAPHICS +/- 1/8" • FACE SIZE + 1/16" - 1/4"
  - CABINET +/- 1/8" • VINYL OVERLAP + 1/8" +/- 1/16"
  - ALL COPY LEVEL UNLESS NOTED OTHERWISE
- VIEWING DISTANCE 25' TO 50' UNLESS NOTED OTHERWISE
- PMS COLOR CALLOUT INDICATES USE OF SPRAYLAT MIX SYSTEM
- NO DEVIATION OR MATERIAL SUBSTITUTION WITHOUT ECN.
- ALL ELECTRICAL SIGNS TO COMPLY WITH UL 48

|  |                     |                       |              |
|--|---------------------|-----------------------|--------------|
| DESCRIPTION                                  |                     |                       |              |
| RITEAID<br>1' X 5' SF NL<br>LEXAN PANEL SIGN |                     |                       |              |
| VOLTAGE:                                     | CIRCUIT:            | CURRENT:              | DESIGN LOAD: |
| DRAWN BY:<br>CORY M.                         |                     | CHECKED BY:           |              |
| CLIENT:<br>RITEAID                           |                     | LOCATION:<br>MULTIPLE |              |
| QUOTE:<br>216587                             | DATE:<br>04/07/2015 |                       |              |
| DRAWING/PART #<br>RA0105LEX                  | REV.<br>B           | SHEET #<br>16 OF 41   |              |

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SCALE: 1 1/2" = 1'-0"

APPROVAL SIGNATURE

DATE

**By signing, you are validating the dimensions and graphic provided to SignResource and/or you are handling your own installation.**

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If permitting and installation is provided by SignResource, we will make every effort to confirm the signage provided is compliant at the time of installation.





1 NORTH (Faces Washington St.)  
1/8" = 1'-0"



2 SOUTH  
1/8" = 1'-0"



3 EAST  
1/8" = 1'-0"



4 WEST (Faces West Ave.)  
1/8" = 1'-0"



PROPOSED RITE AID  
ARCHITECTURAL ELEVATIONS OF A RITE AID  
PHARMACY, 581 WEST AVENUE, SARATOGA SPRINGS, NY 12158  
DATE: 09/27/16

ARCHITECT: KIM  
LANDSCAPE ARCHITECT: JAMES  
PHOTOGRAPHY: JAMES  
SIGNAGE: JAMES



# NON-ILLUMINATED

REQUIRED INFO: METHOD OF SERVICE IS REMOVAL OF FACE

**REVISION HISTORY:**

| REV | DATE     | REQUESTED BY | UPDATED BY |
|-----|----------|--------------|------------|
| A   | 08/30/16 | TL           | BS         |

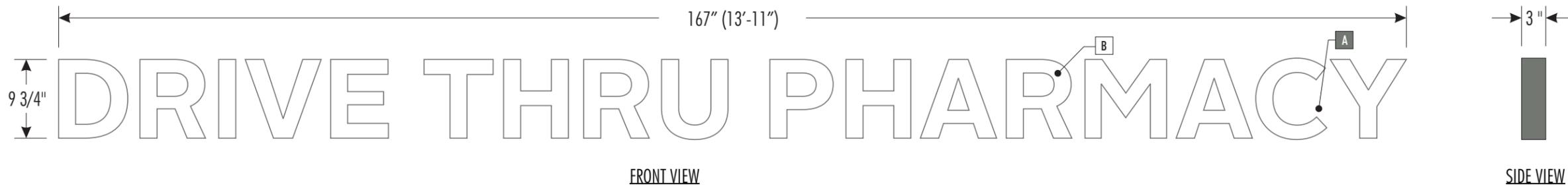
REVISION DESCRIPTION: INITIAL DRAWING

**PARTS LIST:**

| ITEM | DECORATION             |
|------|------------------------|
| A    | PAINT TO MATCH PMS 424 |
| B    | WHITE                  |
| C    |                        |
| D    |                        |
| E    |                        |
| F    |                        |

| MATERIAL LIST |        |
|---------------|--------|
| 1             | SINTRA |
| 2             |        |
| 3             |        |
| 4             |        |
| 5             |        |



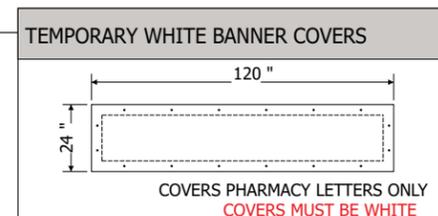
FIRST SURFACE DECORATION

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**GENERAL NOTES**

1. TOLERANCE (UNLESS NOTED)
  - GRAPHICS +/- 1/8" • FACE SIZE + 1/16" - 1/4"
  - CABINET +/- 1/8" • VINYL OVERLAP + 1/8" +/- 1/16"
  - ALL COPY LEVEL UNLESS NOTED OTHERWISE
2. VIEWING DISTANCE 25' TO 50' UNLESS NOTED OTHERWISE
3. PMS COLOR CALLOUT INDICATES USE OF SPRAYLAT MIX SYSTEM
4. NO DEVIATION OR MATERIAL SUBSTITUTION WITHOUT ECN.
5. ALL ELECTRICAL SIGNS TO COMPLY WITH UL 48

PART #: RA0210CVR

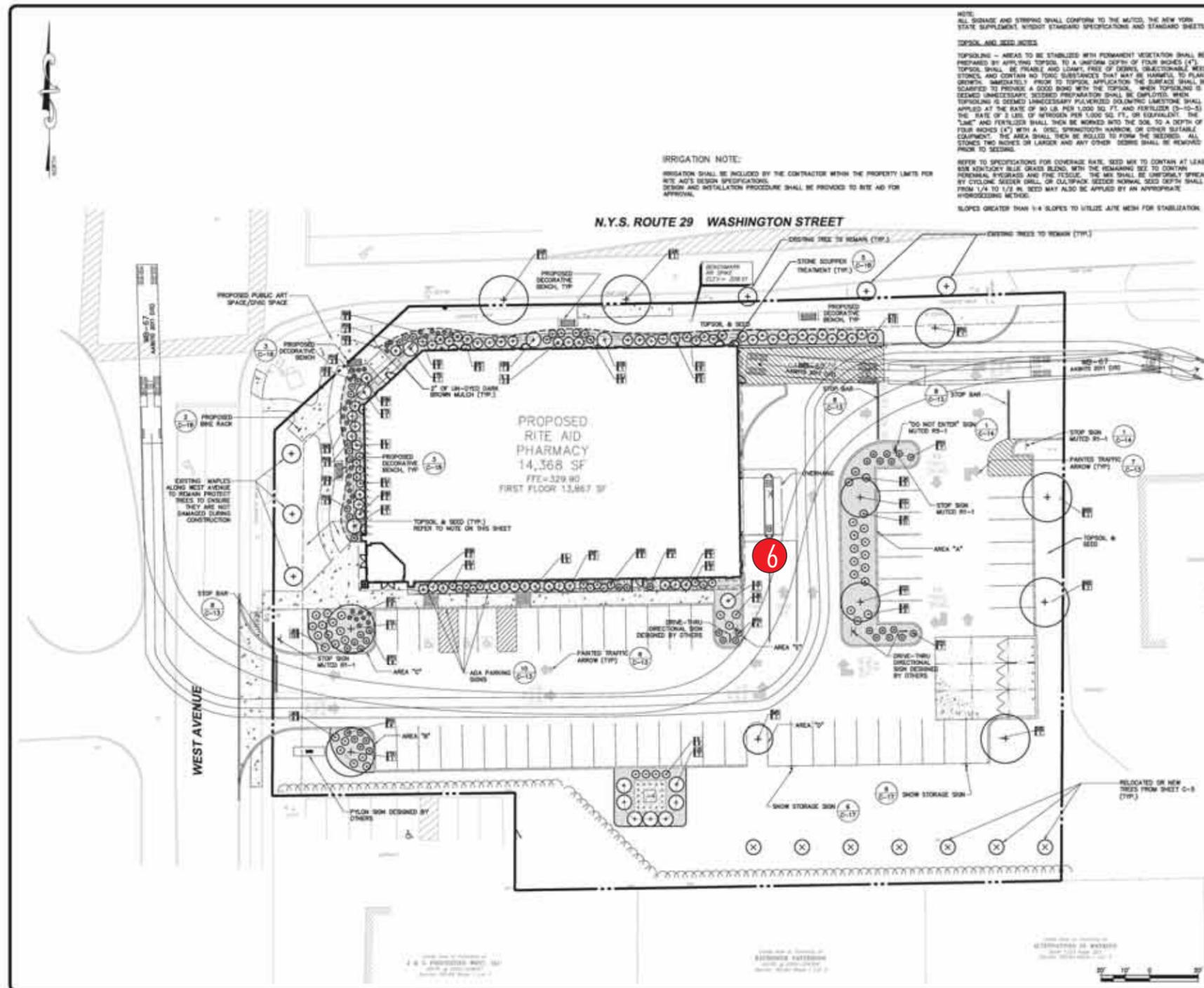


6

**APPROVAL SIGNATURE** \_\_\_\_\_ **DATE** \_\_\_\_\_  
By signing, you are validating the dimensions and graphic provided to SignResource and/or you are handling your own installation.

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|   |                |                  |              |
|---|----------------|------------------|--------------|
| DESCRIPTION   |                |                  |              |
| RITEAID<br>9 3/4" X 167" SF NL<br>SINTRA LETTERS  |                |                  |              |
| VOLTAGE:  | CIRCUIT:       | CURRENT:         | DESIGN LOAD: |
| DRAWN BY:<br>BRIAN S.   |                | CHECKED BY:      |              |
| CLIENT:<br>RITEAID  |                |                  |              |
| LOCATION:   |                |                  |              |
| QUOTE:  | DATE: 08/30/16 |                  |              |
| DRAWING/PART #  | REV. A         | SHEET # 19 OF 41 |              |
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**NOTE:**  
ALL SIGNAGE AND STRIPING SHALL CONFORM TO THE MUTCD, THE NEW YORK STATE SUPPLEMENT, AND/OR STANDARD SPECIFICATIONS AND STANDARD SHEETS.

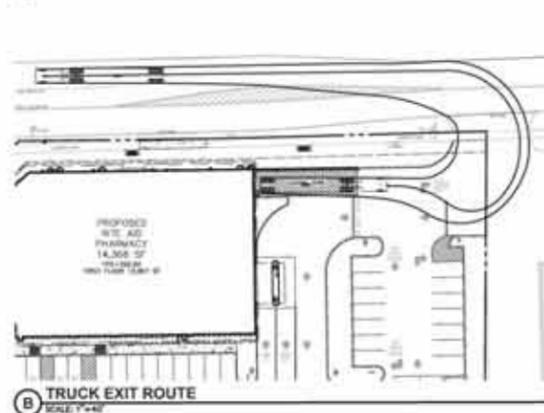
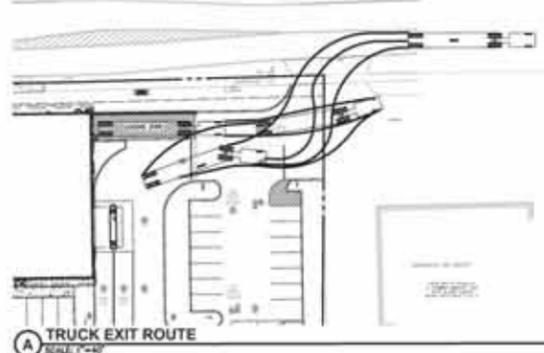
**TOPSOIL AND SEED NOTES:**  
TOPSOILING - AREAS TO BE STABILIZED WITH PERMANENT VEGETATION SHALL BE PREPARED BY APPLYING TOPSOIL TO A UNIFORM DEPTH OF FOUR INCHES (4"). TOPSOIL SHALL BE PLAIN AND LOAMY, FREE OF DEBRIS, UNDESIRABLE WEEDS, STONES, AND CONTAIN NO TOXIC SUBSTANCES THAT MAY BE HARMFUL TO PLANT GROWTH. IMMEDIATELY PRIOR TO TOPSOIL APPLICATION THE SURFACE SHALL BE SCARIFIED TO PROVIDE A GOOD BOND WITH THE TOPSOIL. WHEN TOPSOILING IS SEEMED UNNECESSARY, SEEDING PREPARATION SHALL BE EMPLOYED. WHEN TOPSOILING IS DEEMED UNNECESSARY, POLYMERIZED SOLO-CRIMP LIME/STONE SHALL BE APPLIED AT THE RATE OF 80 LB. PER 1,000 SQ. FT. AND FERTILIZER (3-10-5) AT THE RATE OF 2 LB. OF NITROGEN PER 1,000 SQ. FT. OR EQUIVALENT. THE "LIME" AND FERTILIZER SHALL THEN BE WORKED INTO THE SOIL TO A DEPTH OF FOUR INCHES (4") WITH A DISC SPRINGTOOTH HARROW OR OTHER SUITABLE EQUIPMENT. THE AREA SHALL THEN BE ROLLED TO FIRM THE SEEDS. ALL STONES TWO INCHES OR LARGER AND ANY OTHER DEBRIS SHALL BE REMOVED PRIOR TO SEEDING.

**IRRIGATION NOTE:**  
IRRIGATION SHALL BE INCLUDED BY THE CONTRACTOR WITHIN THE PROPERTY LIMITS FOR RITE AID'S DESIGN SPECIFICATIONS. DESIGN AND INSTALLATION PROCEDURE SHALL BE PROVIDED TO RITE AID FOR APPROVAL.

REFER TO SPECIFICATIONS FOR COVERAGE RATE. SEED MIX TO CONTAIN AT LEAST 80% KENTUCKY BLUE GRASS SEEDS, WITH THE REMAINING SEE TO CONTAIN PERENNIAL HYDRANGEA AND FINE FESCUE. THE MIX SHALL BE UNIFORMLY SPREAD BY CYCLOPE SEEDER OR QUALIFOR SEEDER. NORMAL SEED DEPTH SHALL BE FROM 1/4 TO 1/2 IN. SEED MAY ALSO BE APPLIED BY AN APPROPRIATE HYDROSEEDING METHOD.

SLOPES GREATER THAN 1:4 SLOPES TO UTILIZE AITE MESH FOR STABILIZATION.

| PLANT SCHEDULE       |     |                                   |                          |                  |
|----------------------|-----|-----------------------------------|--------------------------|------------------|
| SYM                  | QTY | BOTANICAL NAME                    | COMMON NAME              | SIZE / SPACING   |
| TREES                |     |                                   |                          |                  |
| AR                   | 2   | ACER RUBRUM 'OCTOBER GLORY'       | RED MAPLE                | 2" CAL.          |
| CC                   | 2   | CERIS SARRACENSIS                 | EASTERN REDBUD           | 2" CAL.          |
| FR                   | 1   | FRAXINUS 'AMOROSA'                | FLORING CRABAPPLE        | 2" CAL.          |
| HS                   | 3   | HYDRANGEA                         | BLACK ICE                | 2" CAL. 30" O.C. |
| PI                   | 1   | PIRUS BLANCA                      | WHITE SPRUCE             | 8-10'            |
| TS                   | 14  | TRIALIA 'EMERALD GREEN'           | EMERALD GREEN ARBORVITAE | 8-7"             |
| TA                   | 2   | TRIALIA AMERICANA                 | AMERICAN LARIX           | 2" CAL.          |
| SHRUBS               |     |                                   |                          |                  |
| DR                   | 2   | DRACOPANUS PERSICA 'BOLEZANO'     | JAPANESE FALSECYPRESS    | 4'-5" 8' O.C.    |
| HM                   | 2   | HYDRANGEA PANGOLATA 'LITTLE LIME' | LITTLE LIME HYDRANGEA    | 18"-24" 4' O.C.  |
| GL                   | 17  | GLORIOSA 'IMPACTA'                | IMPACTA IRIS             | 24"-30" 4' O.C.  |
| JA                   | 28  | JANUS PROCESSIONS 'NASH'          | SWAMP GARDEN JASMINE     | 3 GAL. 8' O.C.   |
| JS                   | 2   | JANUS SCOPULORUM 'MOON BLUE'      | MOON BLUE JASMINE        | 3'-4" 8' O.C.    |
| RF                   | 16  | RHOXODENDRON 'YOUNGSHAW'S WHITE'  | RHOXODENDRON             | 18"-24" 4' O.C.  |
| RR                   | 2   | ROSA 'RADAZZ'                     | DOUBLE KNOCKOUT ROSE     | 3 GAL. 8' O.C.   |
| SP                   | 16  | SPREA 'LITTLE PRINCESS'           | LITTLE PRINCESS SPREA    | 3 GAL. 8' O.C.   |
| TS                   | 16  | TRIALIS X NEIDA 'YONOPRINT'       | DOCKIE SPREADING VEW     | 3 GAL. 4' O.C.   |
| TS                   | 2   | TRIALIA OOOOONALIS 'EMERALD'      | EMERALD GREEN ARBORVITAE | 5'-6" 8' O.C.    |
| PERENNIALS & GRASSES |     |                                   |                          |                  |
| HE                   | 20  | HEMEROCALLIS 'HAPPY RETURN'       | SAXFLY                   | 1 GAL. 8' O.C.   |
| PH                   | 40  | PERNETSIA 'SARIEL'                | SWAMP FOUNTAIN GRASS     | 2 GAL. 30" O.C.  |
| SA                   | 11  | SALVIA 'MAY NIGHT'                | PURPLE SAGE              | 1 GAL. 8' O.C.   |



PD # 14.057

APPROVED BY THE SARATOGA SPRINGS PLANNING BOARD UNDER AUTHORITY OF A RESOLUTION

ADOPTED \_\_\_\_\_

CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_

| SUBMITTAL / REVISIONS |          |   |     |             |          |
|-----------------------|----------|---|-----|-------------|----------|
| NO.                   | DATE     | DESCRIPTION   | BY  | REVIEWED BY | DATE     |
| 1                     | 12/23/15 | SARATOGA SPRINGS PLANNING BOARD SUBMISSION TO PLANNER | AWL | JWE         | 12/23/15 |
| 2                     | 1/23/16  | REVISION TO ARCHITECTURE, LAYOUT AND GRADING          | AWL | JWE         | 2/3/16   |
| 3                     | 2/23/16  | REVISIONS   | AWL | JWE         | 2/23/16  |

THE ALTERATION OF THIS MATERIAL SHALL BE UNLESS DONE UNDER THE DIRECTION OF A QUALIFIED PROFESSIONAL ENGINEER OR ARCHITECT FOR AN ARCHITECT OR FOR AN ENGINEER OR LANDSCAPE ARCHITECT. A LICENSED LANDSCAPE ARCHITECT IS A VIOLATION OF THE STATE EDUCATION LAW AND/OR REGULATION AND IS A CLASS "B" MISDEMEANOR.

**Engineering and Land Surveying, P.C.**  
1533 Crescent Road - Clifton Park, NY 12065

NATIONAL RETAIL PROPERTIES  
LANDSCAPING AND SITE TRAFFIC CONTROL  
**SARATOGA RITE AID SITE PLAN**  
90 WEST AVENUE  
CITY OF SARATOGA SARATOGA COUNTY, NY

SCALE: 1" = 20'  
CONTRACT NO.: RAJ/PRL/16-004/01  
DATE: 08/20/16  
**C-10**



6135 District Blvd • Maywood, CA 90270  
Website: www.signresource.com



1 NORTH (Faces Washington St.)  
1/8" = 1'-0"



2 SOUTH  
1/8" = 1'-0"



3 EAST  
1/8" = 1'-0"



4 WEST (Faces West Ave.)  
1/8" = 1'-0"



**PROPOSED RITE AID**  
 ARCHITECTURAL ELEVATIONS OF A RITE AID  
 PHARMACY, 6135 DISTRICT BLVD., MAYWOOD, CA 90270  
 PREPARED BY SIGN RESOURCE  
 10/27/16

# NON-ILLUMINATED

**REVISION HISTORY:**

| REV                  | DATE     | REQUESTED BY | UPDATED BY |
|----------------------|----------|--------------|------------|
| A                    | 08/30/16 | TL           | BS         |
| REVISION DESCRIPTION |          |              |            |
| INITIAL DRAWING      |          |              |            |

**PARTS LIST:**

| ITEM          | DECORATION             |
|---------------|------------------------|
| A             | ARLON 2500-2870 BLUE   |
| B             | ARLON 2500-2283 RED    |
| C             | WHITE                  |
| D             | PAINT TO MATCH PMS 424 |
| E             |                        |
| F             |                        |
| MATERIAL LIST |                        |
| 1             | SINTRA                 |
| 2             |                        |
| 3             |                        |
| 4             |                        |
| 5             |                        |



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4. NO DEVIATION OR MATERIAL SUBSTITUTION WITHOUT ECN.
5. ALL ELECTRICAL SIGNS TO COMPLY WITH UL 48

|   |          |             |              |
|---|----------|-------------|--------------|
| DESCRIPTION                                     |          |             |              |
| RITEAID<br>36" X 48 1/8" SF NL<br>SINTRA LETTER |          |             |              |
| VOLTAGE:  | CIRCUIT: | CURRENT:    | DESIGN LOAD: |
| DRAWN BY:<br>BRIAN S.                           |          | CHECKED BY: |              |
| CLIENT:<br>RITEAID                              |          |             |              |
| LOCATION:                                       |          |             |              |
| QUOTE:  |          | DATE:       |              |
| DRAWING/PART #                                  | REV.     | SHEET #     |              |
|   | A        | 41 OF 41    |              |

14

**APPROVAL SIGNATURE** \_\_\_\_\_ **DATE** \_\_\_\_\_

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Shield to be centered vertically and horizontally within gable  
Gooseneck lamp above



**REVISION HISTORY:**

| REV | DATE     | REQUESTED BY | UPDATED BY |
|-----|----------|--------------|------------|
| A   | 09/29/16 | TL           | BS         |

REVISION DESCRIPTION: INITIAL DRAWING RELEASE

**GENERAL NOTES**

1. TOLERANCE ( UNLESS NOTED )
  - GRAPHICS +/- 1/8" • FACE SIZE + 1/16" - 1/4"
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DESCRIPTION: RITE AID OVERLAY

VOLTAGE:      CIRCUIT:      CURRENT:      DESIGN LOAD:

DRAWN BY:      CHECKED BY:  
BRIAN S.

CLIENT: RITE AID

LOCATION:

QUOTE:      DATE: 09/29/16

DRAWING/PART #      REV.      SHEET #  
A      2 OF 2

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Shield to be centered vertically and horizontally within gable  
 Gooseneck lamp above



**REVISION HISTORY:**

| REV | DATE     | REQUESTED BY | UPDATED BY |
|-----|----------|--------------|------------|
| A   | 09/29/16 | TL           | BS         |

REVISION DESCRIPTION: INITIAL DRAWING RELEASE

**GENERAL NOTES**

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DESCRIPTION  
 RITE AID  
 OVERLAY

VOLTAGE:      CIRCUIT:      CURRENT:      DESIGN LOAD:

DRAWN BY:      CHECKED BY:  
 BRIAN S.

CLIENT:      RITE AID

LOCATION:

QUOTE:      DATE:      09/29/16

DRAWING/PART #      REV.      SHEET #  
 A      1 OF 2

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