



CITY OF SARATOGA SPRINGS

PLANNING BOARD

City Hall - 474 Broadway
Saratoga Springs, New York 12866
Tel: 518-587-3550 fax: 518-580-9480
www.saratoga-springs.org

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ROBERT F. BRISTOL, Vice-Chair
TOM L. LEWIS
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HOWARD PINSLEY
JANET CASEY
JAMIN TOTINO
AMY DURLAND, Alternate
RUTH HORTON, Alternate

Planning Board Meeting City Council Room – 7:00 PM

Agenda

Planning Board Meeting – Tuesday, November 22, 2016

City Council Room – 7:00 PM

Workshop: Monday, November 21, 2016 At 5pm In The City Council Room

Salute To Flag

A. Applications Under Consideration

1. **16.040 West Ave Mixed-Use Development**

106-120 West Ave, Special use permit for mixed-use development within the T-5 Neighborhood Center (T-5) District.

Documents:

16.040 WESTAVEMIXED-USESUP-APP_REDACTED.PDF
16.040 WESTAVEMIXEDUSESUP_CDTACORR10-27-16.PDF

2. **16.047.1 Southern Subdivision**

124 York Ave, Advisory Opinion to ZBA on 2 lot residential subdivision within the Urban Residential-3 (UR-3) District.

Documents:

16.047.1 SOUTHERNSUBDIVISION_ZBAREQFORADVISOPIN.PDF
16.047.1 SOUTHERNRESIDENCESUBDIVISION_ZBAAPP_REDACTED.PDF
16.047.1 SOUTHERNRESIDENCESUB_MDILLONCORR_REDACTED.PDF

B. Approval Of Minutes

Next Meeting: Thursday, December 8, 2016 (W/ December 5th Caravan & Workshop)



Advance Engineering & Surveying, PLLC

Consulting in: Civil & Environmental Engineering • Land Surveying • Land Development
11 Herbert Drive
Latham, N.Y. 12110

Nicholas Costa, PE
John P. Petrucco, LS

October 20, 2016

Ms. Kate Maynard, Principal Planner
City of Saratoga Springs
Office of Planning and Economic Development
City Hall
474 Broadway
Saratoga Springs, NY 12866

Re: Special Use Permit for
Mixed Use Development
at West Avenue, Saratoga Springs, NY

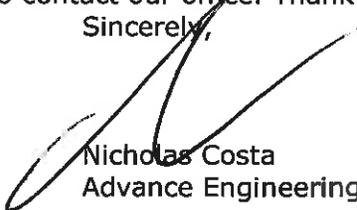
Dear Ms. Maynard:

As per our conversation with regards to the Special Use Permit for the above referenced project site we are enclosing the following items:

1. Three (3) Application for Special Use Permit;
2. Three (3) SEQR Environmental Assessment Form;
3. Three (3) Complete Sets of Plans;
4. Three (3) Water Service Connection Agreement;
5. Review fee in the amount of \$750.00; and
6. CD with digital copy of above listed documents.

We are also enclosing the original signed Application for Site Plan review with the original signatures of the applicant and the property owner. We trust that the enclosed package is complete and will allow you to commence the review. If there are any questions or you require additional information, please do not hesitate to contact our office. Thank you for your continued assistance.

Sincerely,


Nicholas Costa
Advance Engineering & Surveying, PLLC

NC/dac
Enclosures
cc: Mr. Bill Barber, w/encl.
corres.maynard.10.20.16.docx



CITY OF SARATOGA SPRINGS

PLANNING BOARD

City Hall - 474 Broadway
Saratoga Springs, New York 12866-2296
Tel: 518-587-3550 fax: 518-580-9480
<http://www.saratoga-springs.org>

[FOR OFFICE USE]

(Application #)

(Date received)

APPLICATION FOR: SPECIAL USE PERMIT

(Rev: 07/2016)

Project Name: Mixed-Use Development between 106 and 120 West Avenue

Property Address/Location: East Side of West Avenue; south of St. Charles Place; and north of Grand Avenue

Tax Parcel #: 165.72-1-25.1 Zoning District: T-5
(for example: 165.52-4-37)

Proposed Use: Mixed Use (Commercial and Residential)

Type of Special Use Permit: Permanent Temporary Renewable Modification

	<u>APPLICANT(S)*</u>	<u>OWNER(S) (If not applicant)</u>	<u>ATTORNEY/AGENT</u>
Name	<u>AB Acquisitions (Bill Barber)</u>	<u>West Ave Dev Assoc LLC</u>	<u>Nicholas Costa PE</u>
Address	<u>298 Troy-Schenectady Road, Suite 201</u> <u>Latham, NY 12110</u>	<u>120 West Ave. Suite 301</u> <u>Saratoga Springs, NY 12866</u>	<u>11 Herbert Drive</u> <u>Latham, NY 12110</u>
Phone			
Email			

Identify primary contact person: Applicant Owner Agent

* An applicant must be the property owner, lessee, or one with an option to lease or purchase the property in question.

Please check the following to affirm information is included with submission.

Sketch Plan Attached:

Applicant is encouraged to submit sketch plans showing features of the site and /or neighborhood and illustrate proposed use.

Environmental Assessment Form:

All applications must include a completed SEQR Short or Long Form. SEQR Forms can be completed at <http://www.dec.ny.gov/permits/6191.html>.

Water Service Connection Agreement- For all projects including new water connections to the City system, a copy of a signed water service connection fee agreement with the City Department of Public Works is required and **MUST** be submitted with this application.

Application Fee: \$750.00 \$250-modifications (check box)

A check for the total amount made payable to: "Commissioner of Finance" **MUST** accompany this application.

3 hard copies (*1 signed original) and one electronic copy (PDF) of complete application and ALL attachments.

Submission Deadline - Check City's website (www.saratoga-springs.org) for application deadlines and meeting dates.

Does any City officer, employee or family member thereof have a financial interest (as defined by General Municipal Law Section 809) in this application? YES NO . If YES, a statement disclosing the name, residence, nature and extent of this interest must be filed with this application.

I, the undersigned owner, leasee or purchaser under contract for the property, hereby request Special Use Permit approval by the Planning Board for the identified property above. I agree to meet all requirements under Section 240-7.1 of the Zoning Code of the City of Saratoga Springs.

Furthermore, I hereby authorize members of the Planning Board and designated City staff to enter the property associated with this application for purposes of conducting any necessary site inspections relating to this application.

Applicant Signature: 

Date: 10/20/16

If applicant is not current owner, owner must also sign.

Owner Signature: 

Date: 10/20/16

Short Environmental Assessment Form

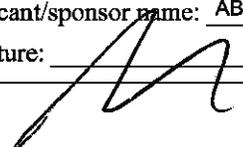
Part 1 - Project Information

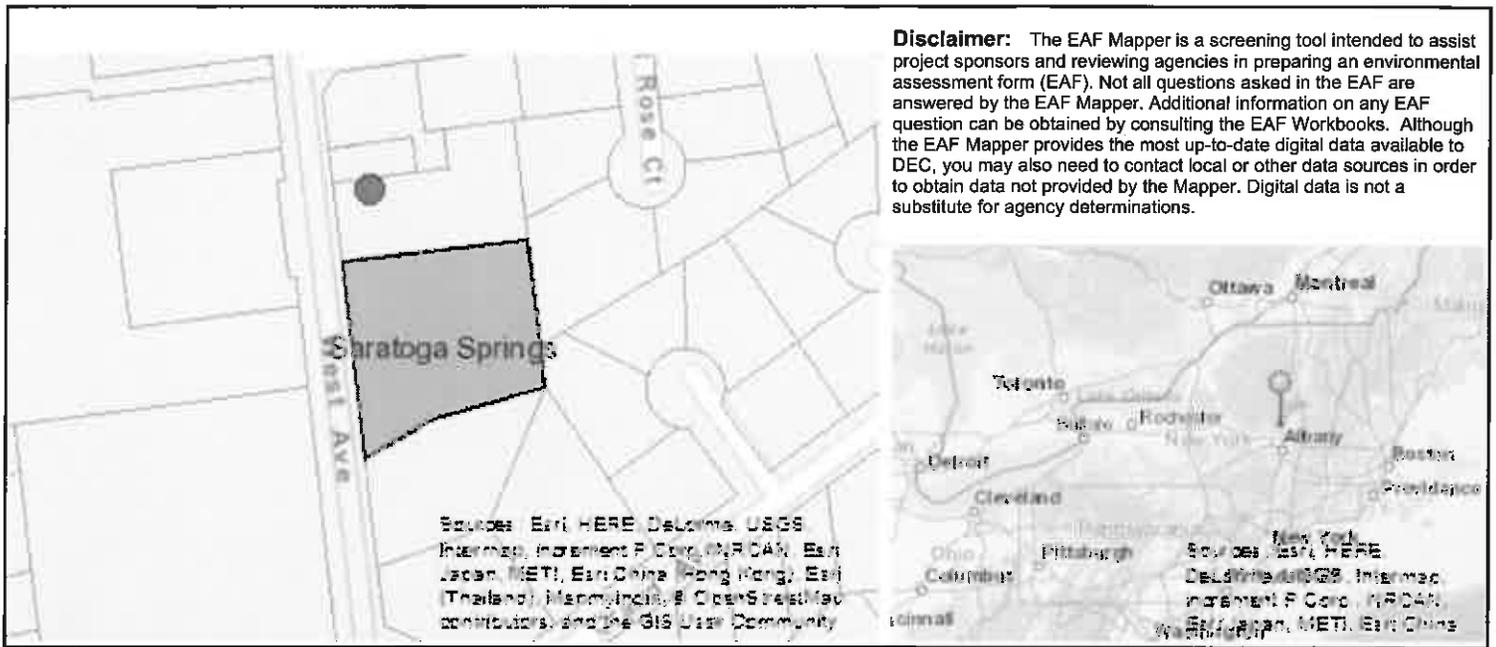
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Mixed-Use Development between 106-120 West Avenue			
Project Location (describe, and attach a location map): Between 106-120 West Avenue, Saratoga Springs, NY			
Brief Description of Proposed Action: Construction of Mixed Use Building with retail and residential space			
Name of Applicant or Sponsor: AB Acquisitions (Bill Barber)		Telephone: [REDACTED]	
		E-Mail: [REDACTED]	
Address: 298 Troy-Schenectady Road			
City/PO: Latham		State: NY	Zip Code: 12110
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: City of Saratoga Springs Building Department - Building Permit			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		1.148+/- acres	
b. Total acreage to be physically disturbed?		1.14+/- acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.148+/- acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____ _____ _____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>AB Acquisitions</u> Date: <u>09.21.16</u></p> <p>Signature: <u> N. Costa AGENT FOR APPLICANT</u></p>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	No



City of Saratoga Springs
OFFICE OF PUBLIC WORKS
5 Lake Avenue
Saratoga Springs, New York 12866

ANTHONY J. SCIROCICO
COMMISSIONER
TIMOTHY J. COGAN
DEPUTY COMMISSIONER

Phone 518-587-3550 ** Fax 518-587-2417
www.saratoga-springs.org

NEW WATER SERVICE CONNECTION
AGREEMENT & APPLICATION FORM

Property Owner's Name: West Ave Dev Assoc LLC

Project Name (if applicable): Mixed-Use Development between 105 and 120 West A

Property Address: East Side of West Avenue; south of St. Charles Place; and north of Grand Avenue

Tax Map#: 165.72-1-25.1

Size of Tap (check one below):

3/4" 1"

Greater than 1"

A unit of water shall be defined as fourteen thousand (14,000) cubic feet of water per year.

Contact the Water Dept at ext. 2502 for assistance with water use estimation and meter specifications before signing below.

Number of Dwellings: _____

Estimated Cubic Feet of Water per Year: 406,510

To be completed in full without any contingencies or protest, on or before the Building Inspector approval of the rough plumbing, including the installation of the water meter, or at the time of the issuance of a tapping permit.

The undersigned represents to the City that they have full and complete authority to execute this document and bind and commit the developer to abide by the City Water Ordinance. This agreement shall be binding on all of the undersigned transferees.

The undersigned acknowledges that a copy of this document will be delivered to all appropriate and necessary governmental entities.

Authorized Signature: [Signature] Company Name: AB Acquisitions

Company Address: 298 Troy-Schenectady Road, Suite 201, Latham, NY 12110

Phone Number: [Redacted] Fax Number: _____ Date: 10-20-2016

Department of Public Works Approval: [Signature] Date: 10/20/16

PRELIMINARY ENGINEERING PLANS FOR:

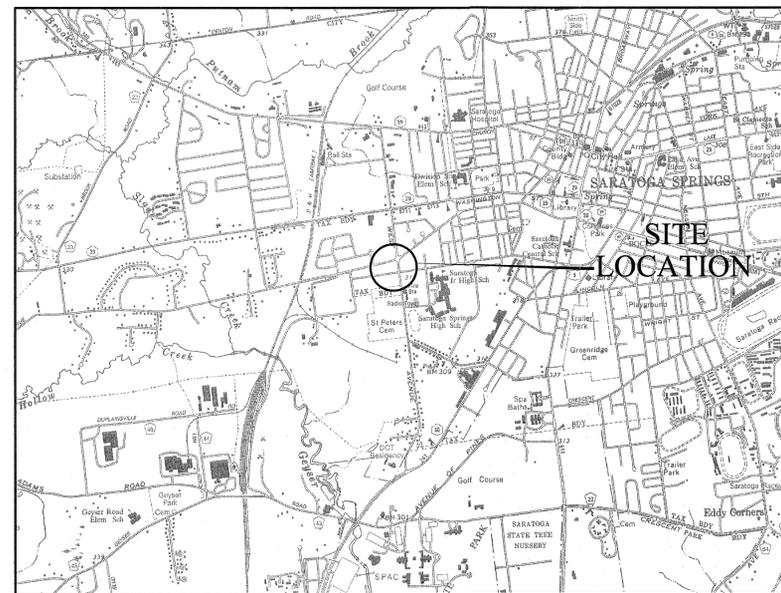
MIXED USE DEVELOPMENT

WEST AVENUE

CITY OF SARATOGA SPRINGS * SARATOGA COUNTY * NEW YORK

SEPTEMBER 2016

SHEET INDEX:		
SHEET 1	COVER	COVER SHEET
SHEET 2	EXIST	EXISTING CONDITIONS & REMOVALS
SHEET 3	SITE	SITE PLAN
SHEET 4	GRD	GRADING & UTILITY PLAN
SHEET 5	LNDSC	LANDSCAPE & LIGHTING PLAN
SHEET 6	DET - 1	CONSTRUCTION DETAILS - 1
SHEET 7	DET - 2	CONSTRUCTION DETAILS - 2
SHEET 8	DET - 3	CONSTRUCTION DETAILS - 3
SHEET 9	DET - 4	CONSTRUCTION DETAILS - 4
SHEET 10	ERO	EROSION CONTROL PLAN



APPLICANT:

AB ACQUISITIONS, LLC
298 TROY SCHENECTADY RD.
LATHAM, N.Y. 12110

OWNER:

WEST AVENUE DEVELOPMENT
ASSOCIATES, LLC
120 WEST AVENUE, SUITE 201
SARATOGA SPRINGS, N.Y. 12866

CITY OF SARATOGA SPRINGS



NO.	REVISION	BY	DATE
A	ISSUED FOR SKETCH PLAN REVIEW	R.D.D. N.C.	4-25-16
B	ISSUED FOR SITE PLAN REVIEW	R.D.D. N.C.	9-9-16

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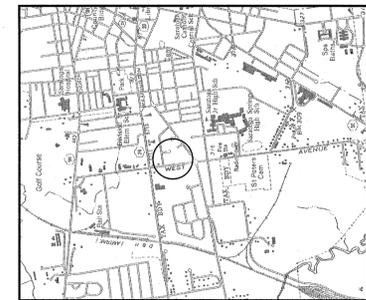
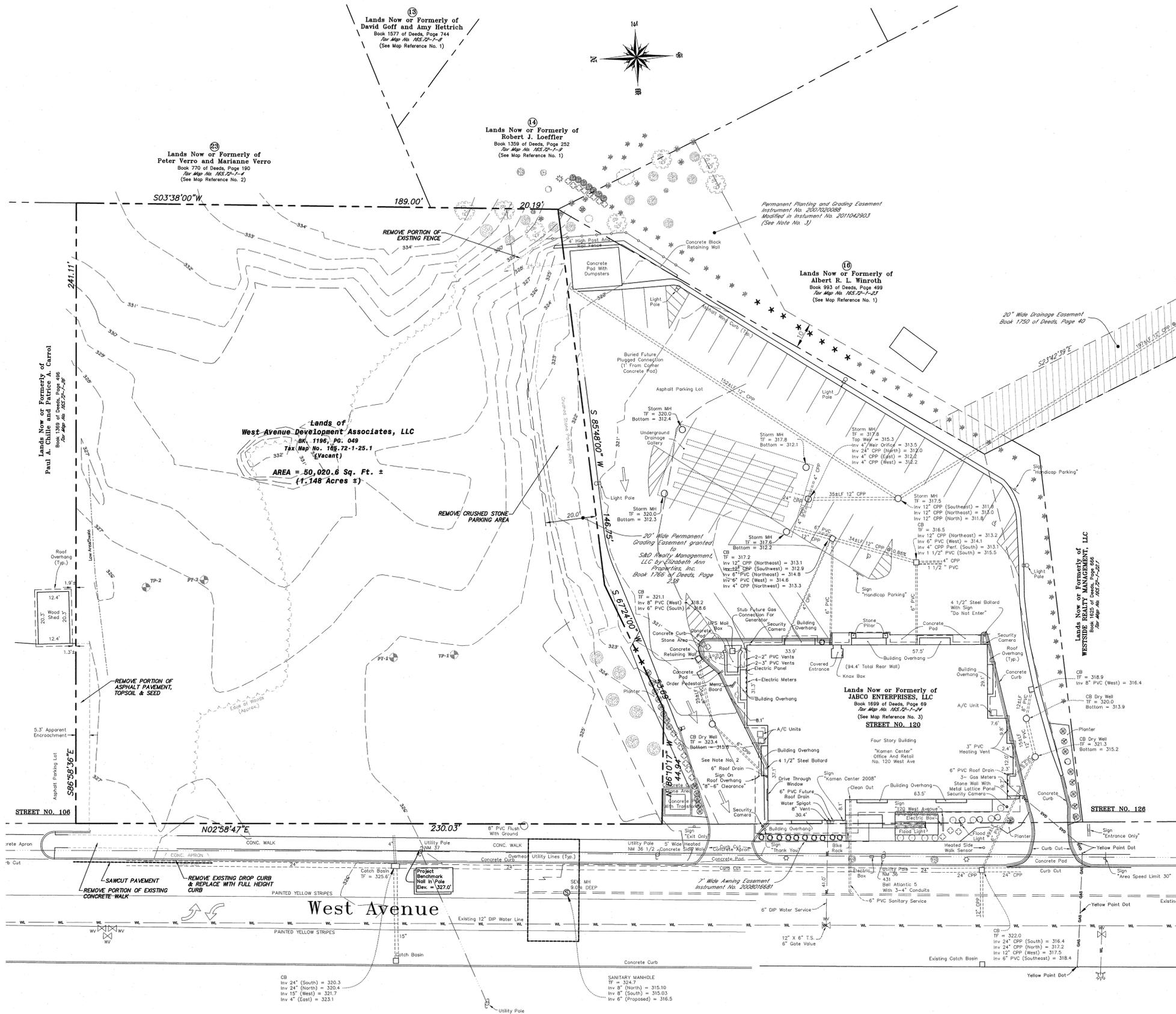


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PHONE: (518) 888-3772
E-MAIL: nicostap@gmail.com



COVER SHEET
MIXED USE DEVELOPMENT
WEST AVENUE CITY OF SARATOGA SPRINGS
COUNTY OF SARATOGA NEW YORK
SCALE: NONE
DATE: SEPTEMBER, 2016
SHEET 1 OF 9

SHEET NO.
COVER
1 OF 10 16046-SITE



SITE LOCATION MAP
1" = 2000'

SURVEY NOTES:

1. BASE MAPPING INFORMATION SHOWN HEREON WAS PERFORMED BY VAN DUSEN & STEVES LAND SURVEYORS AND DOES NOT CONSTITUTE A SURVEY CONDUCTED BY ADVANCE ENGINEERING & SURVEYING, PLLC.
2. TAX MAP DESIGNATION: 165.72 - 1 - 25.1.

SITE SOILS DATA:

Test Pits dug on 8/9/16

TP#1
0-8" topsoil
8-24" Brown fine sandy loam
24-42" clinders, brick, conc block, etc.
42-76" Reddish brown sandy loam, bottom layer wet
76-84" gray clay
76" groundwater

TP#2
0-16" Dark brown sandy loam topsoil
16-48" Light brown fine sandy loam
48-84" Reddish brown fine sandy loam
84-96" Reddish brown fine sandy loam, wet
96" Gray clay (wet)

PT#1
Tested from 4-6" in the reddish brown sandy loam
With a 4" diameter PVC pipe 30" in length
Presoaked hole for 1 hour, refilling pipe after water level dropped 6-12"
Rate: 1.5 minutes for 6" drop

PT#2
Tested from 5-7" in the reddish brown sandy loam
With a 4" diameter PVC pipe 30" in length
Presoaked hole for 1 hour, refilling pipe after water level dropped 6-12"
Rate: 1.0 minutes for 6" drop

ZONING REQUIREMENTS:

ZONE: T-5 (NEIGHBORHOOD CENTER)

BUILD TO DISTANCE FROM FRONT LOT LINE: 0-12 FT.

SIDE SETBACK: 0 FT. MIN.

REAR SETBACK: 0 FT. MIN.

BUILDING HEIGHT: 2 STORY MIN., 50 FT. MAX.

MIN. BUILD OUT ALONG FRONTAGE: 70%

APPLICANT:

AB ACQUISITIONS, LLC
298 TROY SCHENECTADY RD.
LATHAM, N.Y. 12110

OWNER:

WEST AVENUE DEVELOPMENT ASSOCIATES, LLC
120 WEST AVENUE, SUITE 201
SARATOGA SPRINGS, N.Y. 12866

CITY OF SARATOGA SPRINGS



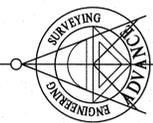
NO.	REVISION	DATE
A	ISSUED FOR SKETCH PLAN REVIEW	4-25-16
B	ISSUED FOR SITE PLAN REVIEW	9-9-16

ADVANCE ENGINEERING & SURVEYING, PLLC
100 WEST AVENUE, SUITE 201
SARATOGA SPRINGS, NY 12866
PHONE: (518) 885-3172
E-MAIL: info@aesny.com



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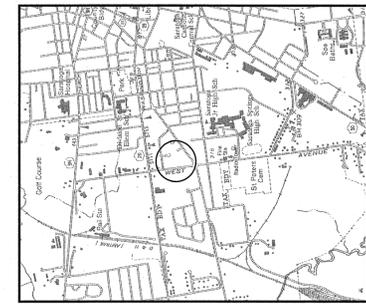
EXISTING CONDITIONS & REMOVALS
MIXED USE DEVELOPMENT

WEST AVENUE
CITY OF SARATOGA SPRINGS
COUNTY OF SARATOGA
NEW YORK

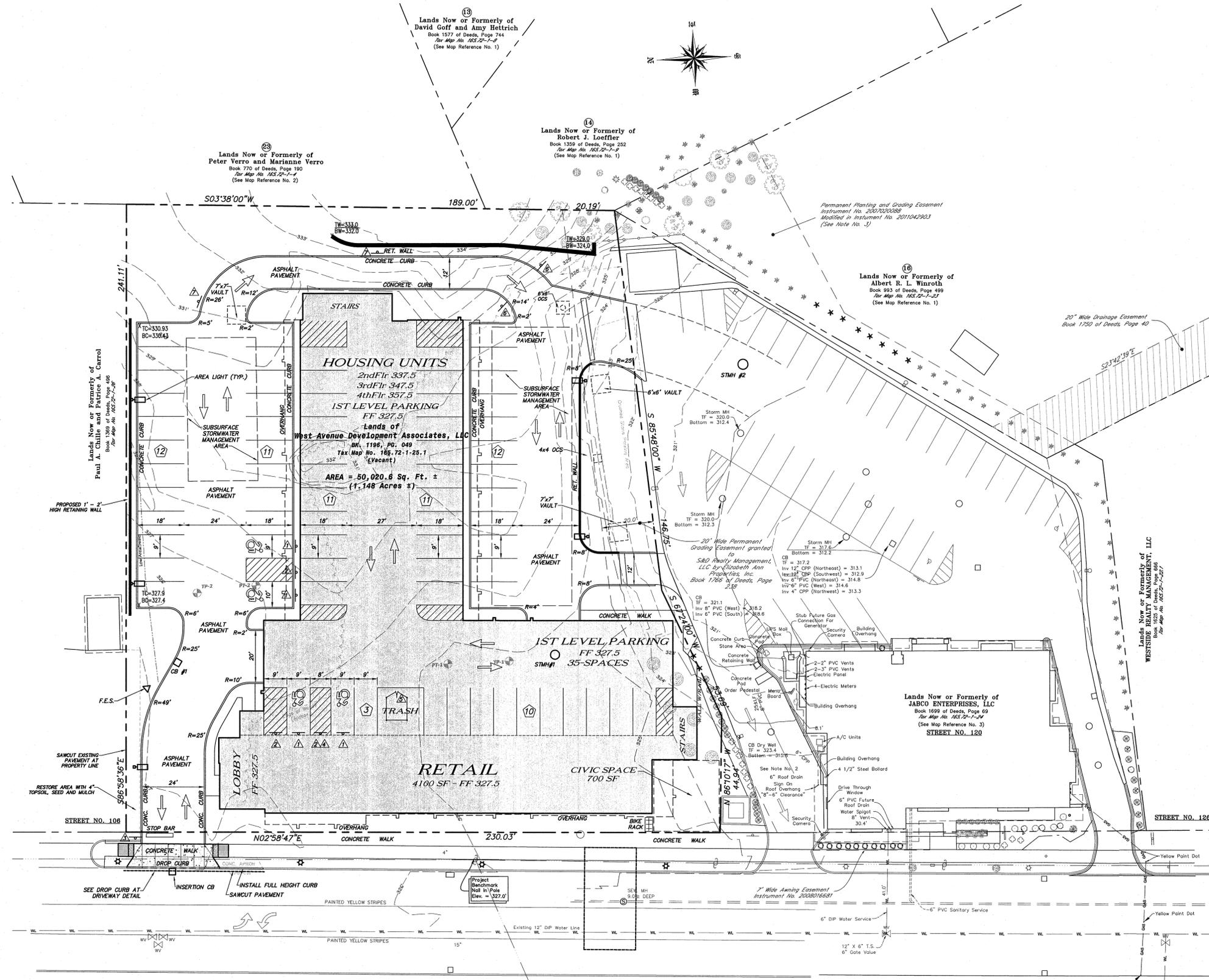
SCALE: 1" = 20'
SHEET ZOF-9

DATE: SEPTEMBER, 2016

SHEET NO.
EXIST
2 OF 10 16046-SITE



SITE LOCATION MAP
1" = 2000'



PARKING REQUIREMENTS:

- RETAIL REQUIREMENT**
- 1 SPACE PER 300 SF OF FLOOR AREA
- 4100 SF FLOOR AREA = 14 SPACES REQUIRED
- HOUSING REQUIREMENTS:**
- 1.5 SPACES / UNIT
- 36 UNITS = 54 SPACES REQUIRED
- PARKING PROVIDED:**
- 70 SPACES (INCLUDES 4 HANDICAP)

SITE DEVELOPMENT DATA

	EXISTING
LOT AREA	50,020 SF = 1.15 ACRES
PROPOSED TOTAL IMPERVIOUS AREAS	
BUILDING ROOF AREA	23,990 SF
ASPHALT PAVEMENT & CONCRETE SURFACES	17,545 SF
TOTAL IMPERVIOUS	41,535 SF
PERCENT IMPERVIOUS	83%

SITE SETBACKS

	REQUIRED FOR T-5 ZONE	PROPOSED
FRONT	0-12 FT.	0.4 FT.
NORTH SIDE	0 FT. MIN.	31.9 FT.
SOUTH SIDE	0 FT. MIN.	1.2 FT.
REAR	0 FT. MIN.	30.9 FT.

APPLICANT:
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298 TROY SCHENECTADY RD.
LATHAM, N.Y. 12110

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120 WEST AVENUE, SUITE 201
SARATOGA SPRINGS, N.Y. 12866



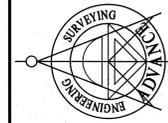
CITY OF SARATOGA SPRINGS

NO.	REVISION	DATE
A	ISSUED FOR SKETCH PLAN REVIEW	4-25-16
B	ISSUED FOR SITE PLAN REVIEW	9-5-16

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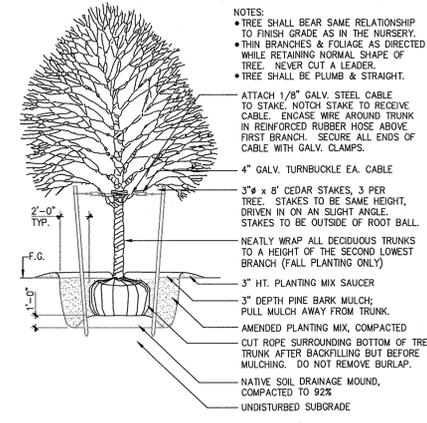
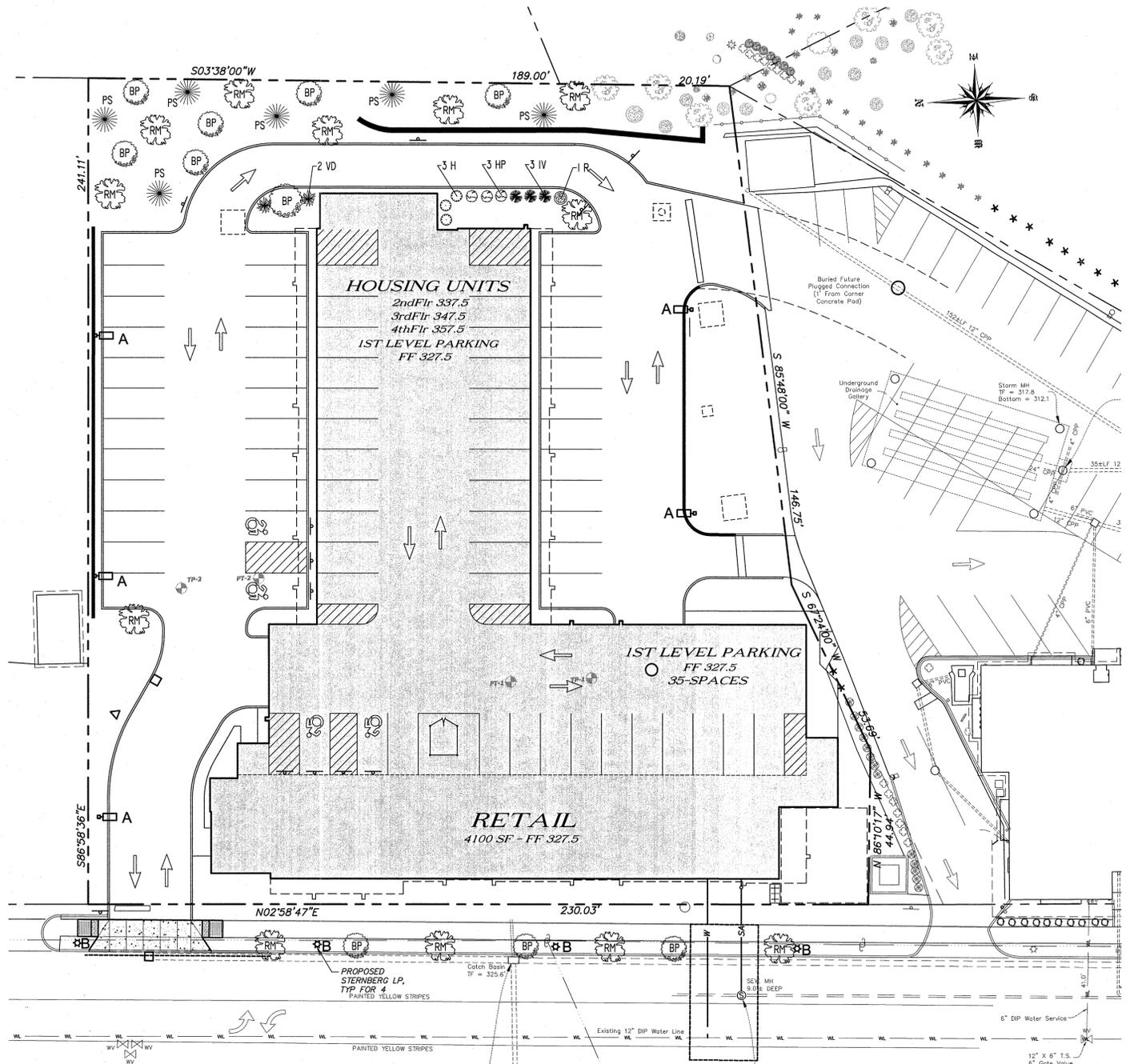


11 HERBERT DRIVE, LATHAM, N.Y. 12110
PHONE: (518) 686-3772
E-MAIL: ncostello@gmail.com

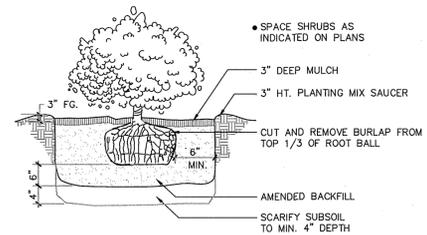


SITE PLAN
MIXED USE DEVELOPMENT
WEST AVENUE CITY OF SARATOGA SPRINGS
COUNTY OF SARATOGA NEW YORK
DATE: SEPTEMBER, 2016
SCALE: 1" = 20'
SHEETS OF 9

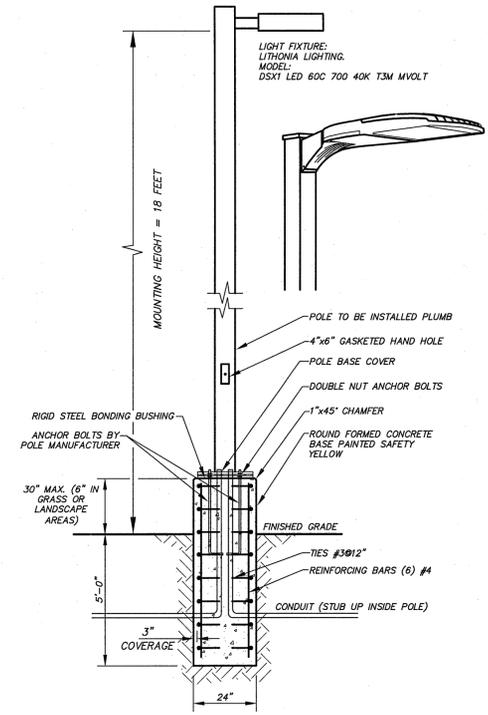
SHEET NO.
SITE
3 OF 10 16046-SITE



DECIDUOUS TREE PLANTING
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE

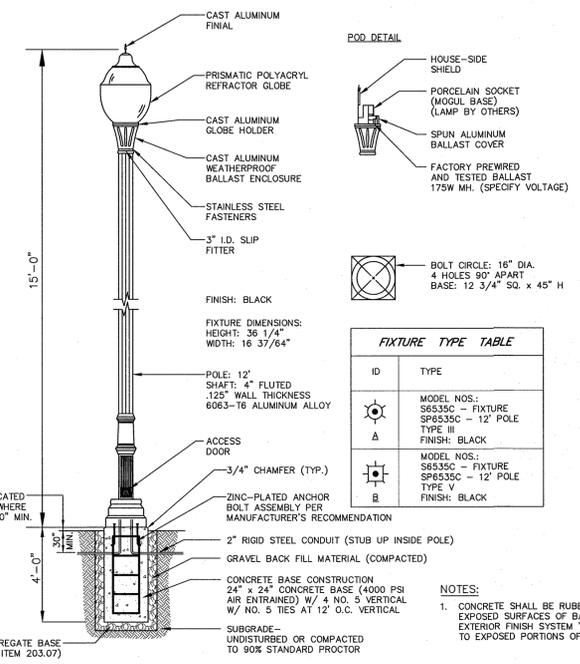


- NOTES:**
1. CONDUITS AND GROUNDING SHALL BE AS REQUIRED BY THE ELECTRICAL DESIGN.
 2. ALL CONCRETE SHALL BE 3000 PSI @ 28 DAYS.
 3. DESIGNED FOR 90 MPH WIND WITH FIXTURE OF 13 SF.
 4. FOUNDATION DIAMETER AND REINFORCING CIRCLE SHALL BE COORDINATED WITH ANCHOR BOLT LIMITS.
 5. FOUNDATIONS SHALL BEAR ON UNDISTURBED NATURAL SOIL OR COMPACTED CRUSHED STONE.
 6. ALL EXCAVATIONS SHALL BE BACKFILLED WITH STRUCTURAL FILL AND COMPACTED TO 95% OR MAXIMUM MATERIAL DENSITY.
 7. EXPOSED AREAS OF CONCRETE AND ONE FOOT MIN. BELOW FINISHED GRADE SHALL BE FORMED.

LIGHT FIXTURE AND POLE BASE DETAIL - A (ON-SITE)
NO SCALE

SITE PLANTING SCHEDULE

PLANT (COMMON)	PLANT (BOTANICAL)	SYMBOL	SIZE	QUANTITY	SPACING
BRADFORD PEAR	PYRUS CALLERYANA	BP	2 1/2" CAL. - 6'-8"	10	AS SHOWN
RED MAPLE	ACER RUBRUM "KARPIK"	RM	2 1/2" CAL. - 6'-8"	12	AS SHOWN
WHITE SPRUCE	PICEA GLAUCA	PS	5' - 6" HEIGHT	6	AS SHOWN
ENDLESS SUM. HYD.	HYDRANGEA MACROPHYLLA	H	CONT. #5	3	AS SHOWN
PEE GEE. HYDRANGEA	HYDRANGEA PANICULATA	HP	CONT. #5	3	AS SHOWN
SWEETSPIRE L. HENRY	ITEA VIRGINICA	IV	CONT. #5	3	AS SHOWN
OLGA RHODODENDRON	RHODODENDRON SMALL LEAF	R	CONT. 24-30"	1	AS SHOWN
VB. "BLUE MUFFIN"	VBURNUM DENTATUM	VD	CONT. #7	2	AS SHOWN



LIGHT FIXTURE AND POLE BASE DETAIL - B (WITHIN R.O.W)
NO SCALE

Luminaire Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	X	Lithonia Lighting	DSX1 LED WITH (2) 20 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 700 mA	DSX1 LED WITH (2) 20 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 700 mA	DSX1_LED_40C_700_40K_T3M_MVOLT.IES	8920.182	0.9	178



CITY OF SARATOGA SPRINGS

APPLICANT:
AB ACQUISITIONS, LLC
298 TROY SCHENECTADY RD.
LATHAM, N.Y. 12110

OWNER:
WEST AVENUE DEVELOPMENT ASSOCIATES, LLC
120 WEST AVENUE, SUITE 201
SARATOGA SPRINGS, N.Y. 12866

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PHONE: (518) 698-3772
E-MAIL: ncostello@aei.net

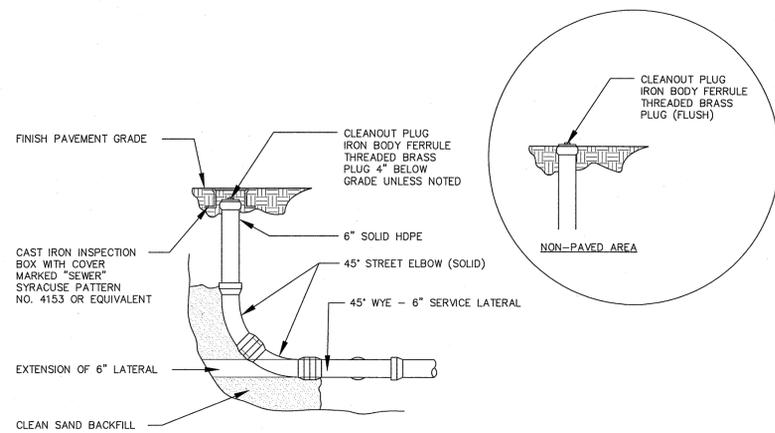
LANDSCAPE & LIGHTING PLAN
MIXED USE DEVELOPMENT

WEST AVENUE CITY OF SARATOGA SPRINGS
COUNTY OF SARATOGA NEW YORK

DATE: SEPTEMBER, 2016
SCALE: 1" = 5' 0"
SHEET 5 OF 9

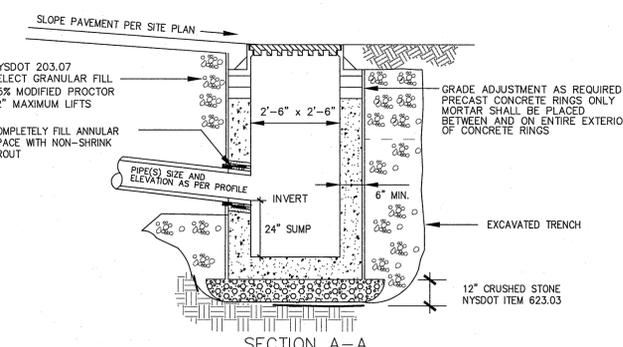
SHEET NO.
LNDSO
5 OF 10 16046-SITE

NO.	REVISION	BY	DATE
A	ISSUED FOR SKETCH PLAN REVIEW	R.D.D.	4-25-16
B	ISSUED FOR SITE PLAN REVIEW	R.D.D.	9-9-16



SANITARY CLEAN OUT DETAIL

N.T.S.

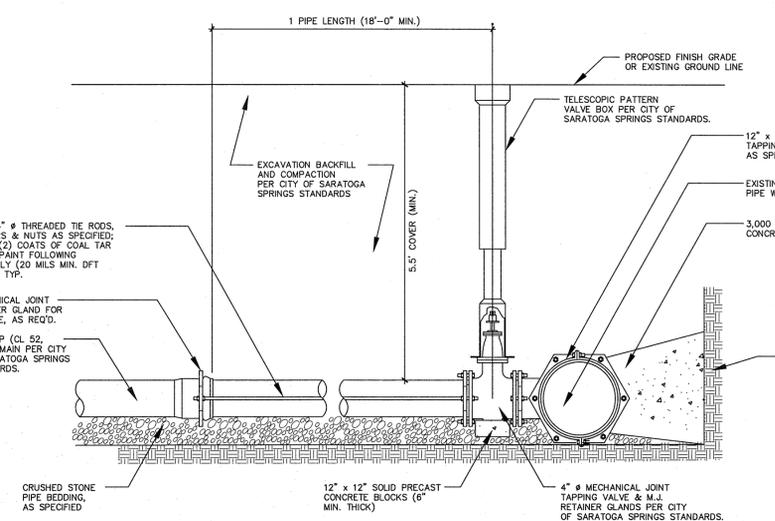


CATCH BASIN DETAIL

N.T.S.

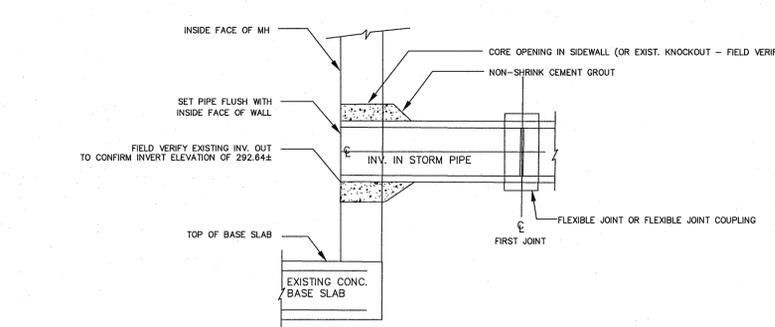
TYPE 1 CURB - CAST-IN-PLACE CONCRETE

N.T.S.



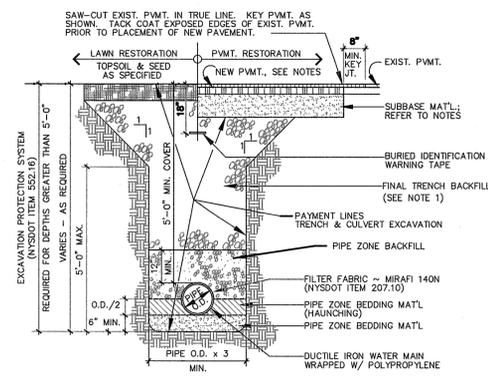
CONNECTION TO EXISTING WATER MAIN DETAIL

N.T.S.



PIPE CONNECTION TO EXISTING MANHOLE DETAIL

N.T.S.

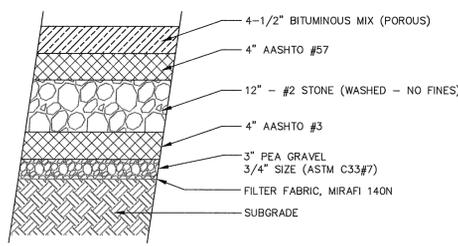


ITEM	DEPTH	MATERIAL	NYS DOT ITEM NO.	METHOD OF PLACEMENT
PIPE ZONE BEDDING (ENCOUNTERED DRY COND.)	6" MIN.	CRUSHED STONE	203.07	MECHANICAL COMPACTION
PIPE ZONE BEDDING (ENCOUNTERED WET COND.)	6" MIN.	CRUSHED STONE	623.03	MECHANICAL COMPACTION
PIPE ZONE BEDDING (HAUNCHING)	PIPE O.D./2	CRUSHED STONE	203.07	MECHANICAL COMPACTION
PIPE ZONE BACKFILL	12" MIN. COVER	SELECT BORROW	203.05	MECHANICAL COMPACTION
FINAL TRENCH BACKFILL	VARIES	SEE NOTE 1	SEE NOTE 1	MECHANICAL COMPACTION
TRENCH & CULVERT EXCAVATION	VARIES	N/A	206.04	N/A

- NOTES:
- FINAL TRENCH BACKFILL
 - IN NON-PAVED AREAS, FINAL TRENCH BACKFILL SHALL BE EXCAVATED MATERIAL WHEN DETERMINED SUITABLE BY THE ENGINEER OF RECORD; OTHERWISE IT SHALL BE SELECT GRANULAR FILL (NYS DOT ITEM 203.07), MIN. MOD. PROCTOR DENSITY SHALL BE 85 PERCENT.
 - IN PAVED AREAS, FINAL TRENCH BACKFILL SHALL BE SELECT GRANULAR FILL (NYS DOT ITEM 203.07), MIN. MODIFIED PROCTOR DENSITY SHALL BE 95 PERCENT.
 - ALL PIPE ZONE BEDDING, PIPE ZONE BACKFILL, AND FINAL TRENCH BACKFILL SHALL BE PLACED IN 6 INCH MAX. COMPACTED LIFTS. ALL BEDDING AND BACKFILL MATERIALS SHALL BE MECHANICALLY COMPACTION TO THE SATISFACTION OF THE ENGINEER & PER THE REFERENCE NYSDOT SPECIFICATIONS.
 - EXCAVATION SHALL BE KEPT DRY AND DEWATERED AT ALL TIMES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION EQUIPMENT SELECTION AND OPERATION OPERATION TO ACHIEVE REQUIRED RESULTS.
 - RESTORE PAVEMENT IN KIND PER REGULATORY AGENCY REQUIREMENTS, AS APPLICABLE.
 - ALL DIP WATERMANS AND DIP APPURTENANCES SHALL BE WRAPPED IN POLYPROPYLENE.

TYPICAL TRENCH DETAIL

N.T.S.



- NOTES:
- ALL AGGREGATE PERCENTAGES ARE BASED ON THE TOTAL WEIGHT OF THE AGGREGATE. THE ASPHALT CONTENT IS BASED ON THE TOTAL WEIGHT OF THE MIX.
 - BINDER CONTENT 5.5%, BINDER GRADE PG-64-22P.

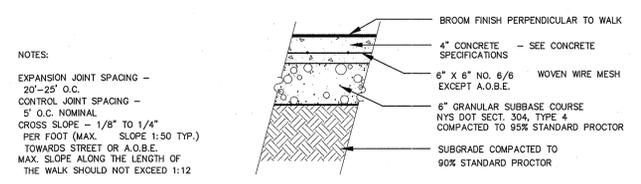
ACTIVITY	SCHEDULE
ENSURE THAT PAVED AREA IS CLEAN OF DEBRIS	MONTHLY
ENSURE THAT PAVED AREA DEWATERS BETWEEN STORMS	MONTHLY AND AFTER STORMS > 0.5"
ENSURE THAT THE AREA IS CLEAN OF SEDIMENTS	MONTHLY
MOW UPLAND AND ADJACENT AREA, AND SEED BARE AREAS	AS NEEDED
VACUUM SWEEP FREQUENTLY TO KEEP SURFACE FREE OF SEDIMENTS	TYPICALLY 3 TO 4 TIMES A YEAR
INSPECT THE SURFACE FOR DETERIORATION OR SPALLING	ANNUALLY

CONSTRUCTION GUIDELINES (PER NYS STORMWATER MANAGEMENT DESIGN MANUAL - AUGUST 2010)

- INSTALLATION PROCEDURES ARE VITAL TO THE SUCCESS OF PERVIOUS PAVEMENT PROJECTS, PARTICULARLY PERVIOUS ASPHALT AND CONCRETE PAVEMENT MIXES. THE SUBGRADE CANNOT BE OVERLY COMPACTIONED WITH THE INCLUSION OF FINE PARTICULATES OR THE VOID RATIO CRITICAL TO PROVIDING STORAGE FOR LARGE STORM EVENTS WILL BE LOST. WEATHER CONDITIONS AT THE TIME OF INSTALLATION CAN AFFECT THE FINAL PRODUCT. EXTREMELY HIGH OR LOW TEMPERATURES SHOULD BE AVOIDED DURING CONSTRUCTION OF PERVIOUS ASPHALT AND CONCRETE PAVEMENTS.
- AREAS FOR PERVIOUS PAVEMENT SYSTEMS SHALL BE CLEARLY MARKED BEFORE ANY SITE WORK BEGINS TO AVOID SOIL DISTURBANCE AND COMPACTION DURING CONSTRUCTION.
- PERVIOUS PAVEMENT AND OTHER INFILTRATION PRACTICES SHOULD BE INSTALLED TOWARD THE END OF THE CONSTRUCTION PERIOD. UPSTREAM CONSTRUCTION SHALL BE COMPLETED AND STABILIZED BEFORE CONNECTION TO ANY PERVIOUS PAVEMENT SYSTEM. A DENSE AND VIGOROUS VEGETATIVE COVER SHALL BE ESTABLISHED OVER ANY CONTRIBUTING PERVIOUS DRAINAGE AREAS BEFORE RUNOFF CAN BE ACCEPTED INTO THE FACILITY.
- SUBSURFACE ARE SHOULD BE EXCAVATED TO PROPOSED DEPTH. EXISTING SUBGRADE SHALL NOT BE COMPACTIONED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT PRIOR TO PLACEMENT OF GEOTEXTILE AND STONE BED. WHERE EROSION OF SUBGRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING, THIS MATERIAL SHALL BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES WITH A YORK RAKE OR EQUIVALENT AND LIGHT TRACTOR.
- THE BOTTOM OF THE INFILTRATION BED SHALL BE AT LEVEL GRADE.
- PLACE GEOTEXTILE AND RECHARGE BED AGGREGATE IMMEDIATELY AFTER APPROVAL OF SUBGRADE PREPARATION TO PREVENT ACCUMULATION OF DEBRIS OR SEDIMENT. PREVENT RUNOFF AND SEDIMENT FROM ENTERING THE STORAGE BED DURING THE PLACEMENT OF THE GEOTEXTILE AND AGGREGATE BED.
- PLACE GEOTEXTILE IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDATIONS. ADJACENT STRIPS OF FILTER FABRIC SHALL OVERLAP A MINIMUM OF 16 INCHES. FABRIC SHALL BE SECURED AT LEAST 4 FEET OUTSIDE OF BED. THIS EDGE STRIP SHOULD REMAIN IN PLACE UNTIL ALL BARE SOILS CONTIGUOUS TO BEDS ARE STABILIZED AND VEGETATED.
- AS THE SITE IS FULLY STABILIZED, EXCESS GEOTEXTILE CAN BE CUT BACK TO THE EDGE OF THE BED.

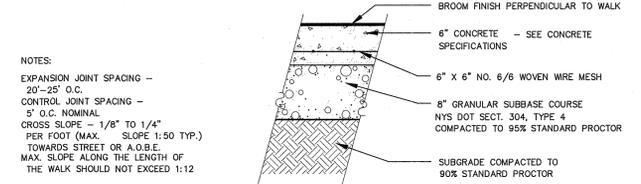
POROUS ASPHALT PAVEMENT SECTION & NOTES

N.T.S.



TYPE 1 - CONCRETE WALK 5' WIDE

N.T.S.



TYPE 2 - CONCRETE WALK GREATER THAN 5' WIDE

N.T.S.

CONCRETE WALK

CITY OF SARATOGA SPRINGS CONCRETE SPECIFICATIONS

THESE GENERAL CONCRETE SPECIFICATIONS SHALL APPLY TO ALL CONCRETE WORK WITHIN THE CITY OF SARATOGA SPRINGS INSTALLED WITHIN A CITY RIGHT-OF-WAY AND/OR WITHIN THE APPROVAL AUTHORITY OF THE PLANNING BOARD.

ALL CONCRETE THAT MAY COME IN CONTACT WITH DEICING CHEMICALS SHALL MEET OR EXCEED THESE MINIMUM SPECIFICATIONS.

CONCRETE SHALL BE ONLY PORTLAND CEMENT CONCRETE AIR-ENTRAINED OF DURABLE MATERIALS AND SHALL HAVE (1) A LOW WATER-CEMENT RATIO (MAXIMUM 0.46), (2) A SLUMP OF 4 INCHES OR LESS, (3) A CEMENT CONTENT OF 605 LB PER CUBIC YARD OR MORE, (4) PROPER FINISHING AFTER BLEED WATER HAS EVAPORATED FROM THE SURFACE, (5) ADEQUATE DRAINAGE WITH A SLOPE OF 1/8 INCH PER LINEAR FOOT OR MORE, (6) A MINIMUM OF 7 DAYS MOIST CURING AT OR ABOVE 50 DEGREES F, (7) A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS, AND (8) A MINIMUM 30-DAY DRYING PERIOD AFTER MOST CURING IF CONCRETE IS PLACED IN THE FALL AND WILL BE EXPOSED TO FREEZE-THAW CYCLES AND DEICERS WHEN SATURATED. THE EXACT LENGTH OF TIME FOR SUFFICIENT DRYING TO TAKE PLACE MAY VARY WITH CLIMATE AND WEATHER CONDITIONS.

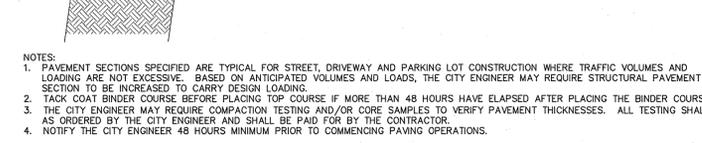
TECHNICAL SPECIFICATIONS FOR CONCRETE AS HEREIN DEFINED SHALL COMPLY WITH THE APPLICABLE SPECIFICATIONS OF THE "NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS CONSTRUCTION AND MATERIALS", 1985.

ANY CLARIFICATION, REVISIONS, MODIFICATIONS THERETO SHALL ONLY BE MADE SUBJECT TO APPROVAL OF THE CITY OF SARATOGA SPRINGS PLANNING BOARD.

*A SUPER PLASTICIZER MAY BE USED TO INCREASE SLUMP AND WORKABILITY WITHOUT INCREASING THE WATER-CEMENT RATIO.

CONCRETE SPECIFICATIONS

PAVEMENT TYPE	N.T.S.		
	TOP COURSE	BINDER COURSE	GRAVEL COURSE
PARKING LOT	1"	1 1/2"	8-10"
STANDARD ROADWAY	1"-1/2"	3"	12"
HEAVILY TRAVELED/ TRUCK LOADING	2"	4"	12"



ASPHALT PAVEMENT

CITY OF SARATOGA SPRINGS DETAIL DATED 1/13/2010

N.T.S.

APPLICANT:

AB ACQUISITIONS, LLC
298 TROY SCHENECTADY RD.
LATHAM, N.Y. 12110

OWNER:

WEST AVENUE DEVELOPMENT ASSOCIATES, LLC
120 WEST AVENUE, SUITE 201
SARATOGA SPRINGS, N.Y. 12866

CITY OF SARATOGA SPRINGS



NO.	REVISION	DATE
A	ISSUED FOR SKETCH PLAN REVIEW	4-26-16
B	ISSUED FOR SITE PLAN REVIEW	9-9-16

It is the intention of the Engineer, Consultant, and Surveyor to provide the information herein for the use of the City of Saratoga Springs. The Engineer, Consultant, and Surveyor shall not be responsible for the accuracy or completeness of the information provided herein.



Design of:
ADVANCE ENGINEERING & SURVEYING, PLLC
CONSULTING IN -
CIVIL AND ENVIRONMENTAL ENGINEERING
LAND SURVEYING & DEVELOPMENT
COMMERCIAL AND RESIDENTIAL

11 HERBERT DRIVE, LATHAM, N.Y. 12110
PHONE: (518) 686-3772
E-MAIL: nicostap@advanceeng.com

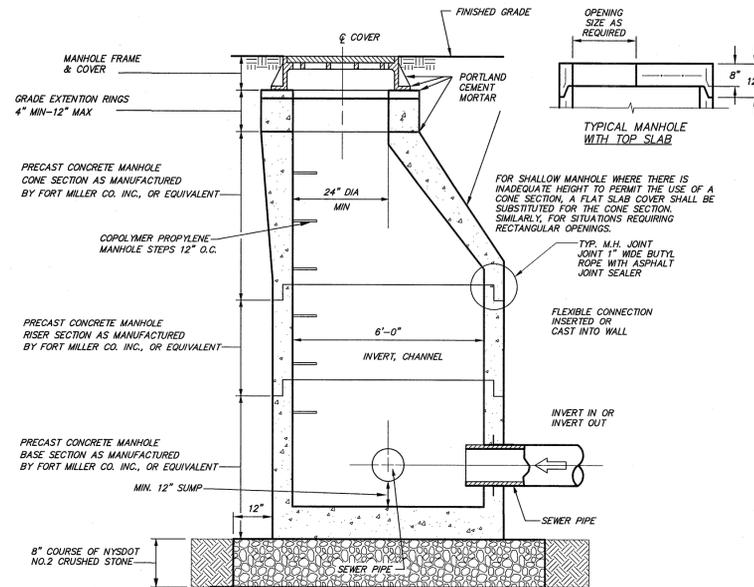
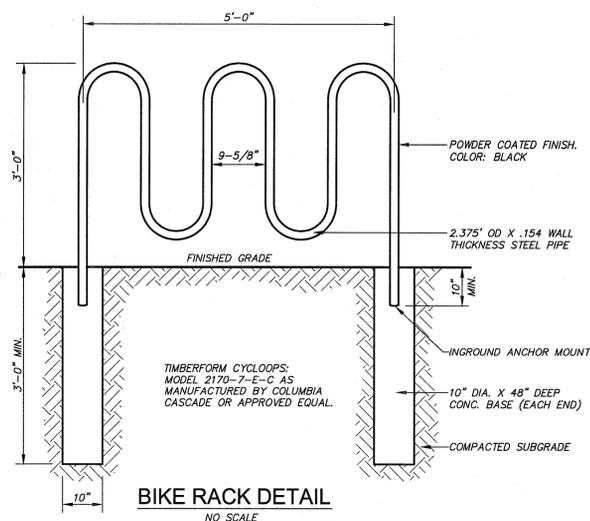


CONSTRUCTION DETAILS - 1
MIXED USE DEVELOPMENT

WEST AVENUE CITY OF SARATOGA SPRINGS
COUNTY OF SARATOGA NEW YORK

SCALE: NONE
SHEET C OF 9
DATE: SEPTEMBER, 2016

SHEET NO.
DET 1
6 OF 10 16046-SITE

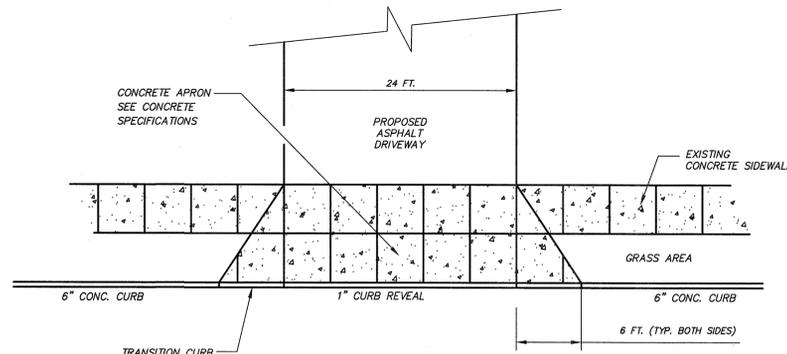


- NOTES:
- CONCRETE DIMENSIONS

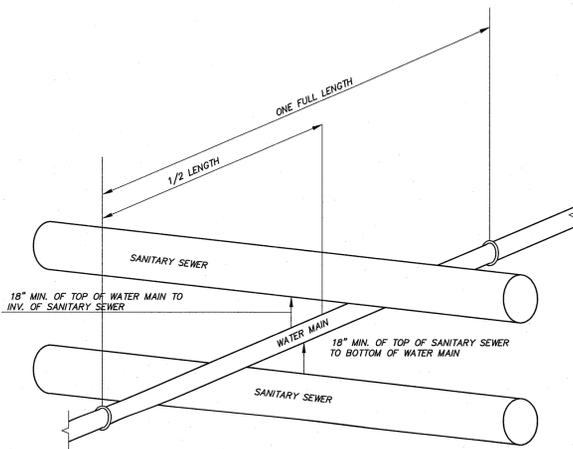
DIAM. OPENING	HEIGHT
24"	24" OR 42"
30"	34"

 - REINFORCEMENT FOR MANHOLE AND SLAB TOP SHALL BE DESIGNED BY A LICENSED NEW YORK STATE PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION. SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW. STRUCTURE SHALL BE DESIGNED FOR HS20-44 VEHICULAR LOADING PLUS 25% IMPACT.
 - CONCRETE TO TEST 4000 P.S.I. AT 28 DAYS IN CONFORMANCE WITH A.S.T.M. C-478.
 - EACH MANHOLE EXTERIOR SHALL RECEIVE TWO BITUMINOUS COATS.

PRECAST CONCRETE STORM MANHOLE
NO SCALE

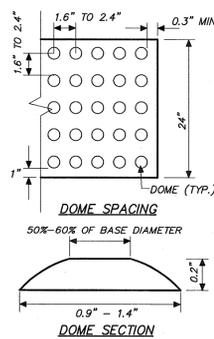


DROP CURB AT COMMERCIAL DRIVEWAY

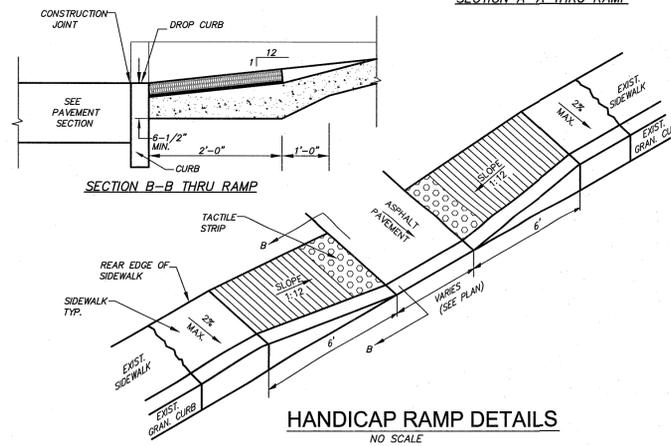


- NOTES:
- WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL & VERTICAL SEPARATIONS AS STIPULATED ABOVE, ONE OF THE FOLLOWING METHODS MUST BE SPECIFIED (IN ACCORDANCE WITH TEN STATES STANDARDS):
- HORIZONTAL SEPARATION:**
- SEWERS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.
- VERTICAL SEPARATION:**
- THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO WATER PIPE, AND SHALL BE PRESSURE TESTED AT 150 PSI TO ASSURE WATER TIGHTNESS.
 - EITHER THE WATER MAIN OR THE SEWER LINE MAY BE ENCASED IN A WATER TIGHT CARRIER PIPE WHICH EXTENDS TO FEET ON BOTH SIDES OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE OF MATERIALS APPROVED BY THE HEALTH DEPARTMENT FOR USE IN WATER MAIN CONSTRUCTION.

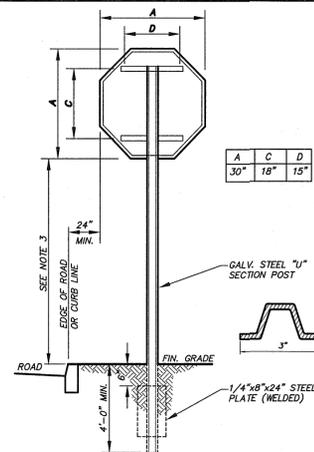
WATER MAIN CROSSING
NO SCALE



DETECTABLE WARNING STRIP DETAIL
(N.Y.S.D.O.T. ITEM NO. 608.21)
NO SCALE



HANDICAP RAMP DETAILS
NO SCALE



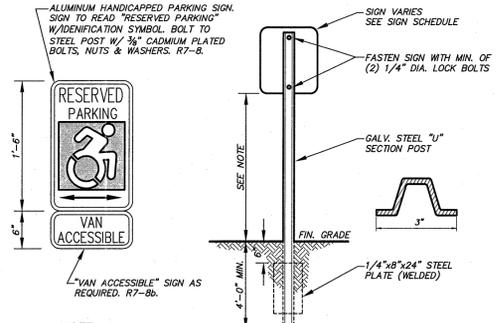
SINGLE POST STOP SIGN MOUNTING DETAIL
NO SCALE

- NOTES:
- ALL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE NYSDOT STANDARD SPECIFICATIONS—SECTION 645 AND 640 AND THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES"—2009 EDITION AND THE "NYS SUPPLEMENT."
 - STRIPING WORK WILL BE REVIEWED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION.
 - SIGN MOUNTING HEIGHT SHALL BE A MINIMUM OF 7 FT. MINIMUM HEIGHT MAY BE ADJUSTED ONLY IN ACCORDANCE WITH PROVISIONS OUTLINED IN THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES"—2009 EDITION AND THE "NYS SUPPLEMENT."
 - SIGN POST SHALL BE IN ACCORDANCE WITH NYSDOT STANDARD SPECS—SECTION 730.

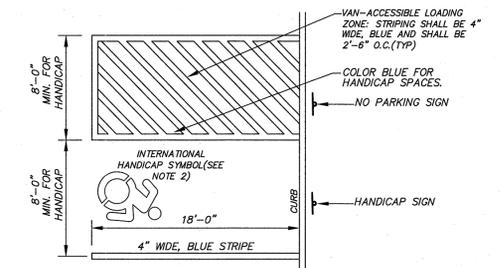
ON-SITE SIGN SCHEDULE

SIGN NO.	SIGN TEXT	SIGN SIZE	TEXT SIZE & COLOR	NO. REQ'D.	TYPE OF MOUNTING	MUTCD NO.
▲	RESERVED PARKING	12" x 18"	BACKGROUND WHITE/BLUE LEGEND GREEN/WHITE	4	GROUND MOUNTED METAL POSTS	R7-8
▲	NO PARKING	12" x 18"	BACKGROUND WHITE LEGEND RED	3	GROUND MOUNTED METAL POSTS	R7-1
▲	STOP	30" x 30"	BACKGROUND RED LEGEND WHITE	1	GROUND MOUNTED METAL POSTS	R1-1
▲	VAN ACCESSIBLE	12" x 6"	BACKGROUND WHITE LEGEND BLUE	1	GROUND MOUNTED METAL POSTS	R7-8P
▲	REFUSE PICKUP HERE	12" x 18"	BACKGROUND WHITE LEGEND BLACK	2	INSTALLED ON GATE	CUSTOM
▲	DO NOT ENTER	36" x 36"	BACKGROUND WHITE LEGEND RED	2	GROUND MOUNTED METAL POSTS	R5-1
▲	ONE WAY	36" x 12"	BACKGROUND BLACK LEGEND WHITE	4	GROUND MOUNTED METAL POSTS	R6-1R

STOP BAR PAVEMENT MARKING DETAIL
NO SCALE

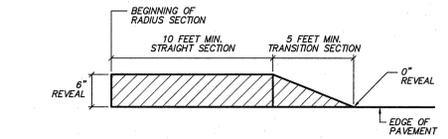


SINGLE POST SIGN MOUNTING DETAIL
NO SCALE



- NOTES:
- ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH ADA STANDARDS AND CURRENT ZONING AND SITE REGULATIONS.
 - PAINTED HANDICAP SYMBOL TO BE IN ACCORDANCE W/ ADA STANDARDS.
 - SLOPE OF PAVEMENT SURFACE IN HANDICAP PARKING AREA SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - SEE PLAN FOR ACTUAL LOCATION OF SIGNAGE.

PAVEMENT MARKING DETAIL
NO SCALE



CURB TRANSITION DETAIL
NO SCALE

APPLICANT:
AB ACQUISITIONS, LLC
298 TROY SCHENECTADY RD.
LATHAM, N.Y. 12110

OWNER:
WEST AVENUE DEVELOPMENT ASSOCIATES, LLC
120 WEST AVENUE, SUITE 201
SARATOGA SPRINGS, N.Y. 12866

CITY OF SARATOGA SPRINGS



NO.	REVISION	DATE
A	ISSUED FOR SKETCH PLAN REVIEW	4-26-16
B	ISSUED FOR SITE PLAN REVIEW	9-9-16

DESIGNED BY: ADVANCE ENGINEERING & SURVEYING, PLLC
CONSULTING IN - CIVIL & ENVIRONMENTAL ENGINEERING
LAND SURVEYING & DEVELOPMENT COMMERCIAL AND RESIDENTIAL



Design of:
ADVANCE ENGINEERING & SURVEYING, PLLC
CONSULTING IN - CIVIL & ENVIRONMENTAL ENGINEERING
LAND SURVEYING & DEVELOPMENT COMMERCIAL AND RESIDENTIAL

1 HERBERT DRIVE, LATHAM, N.Y. 12110
PHONE: (518) 885-3172
E-MAIL: nicostadps@gmail.com

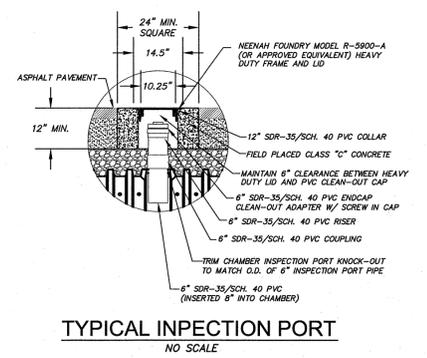
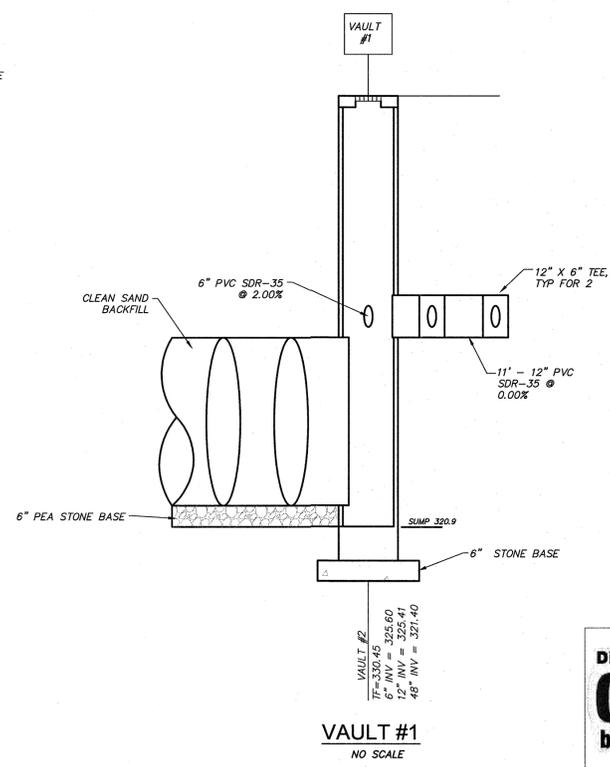
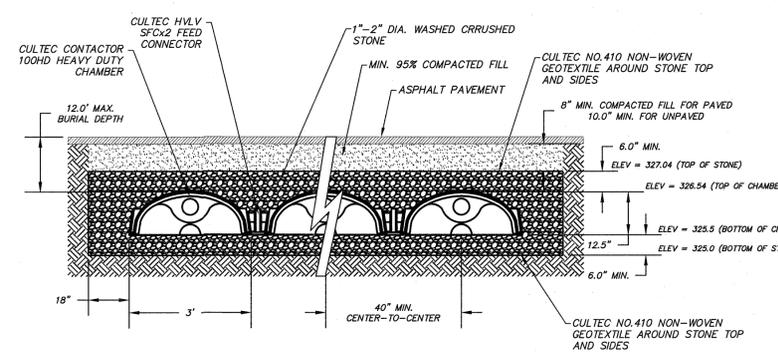
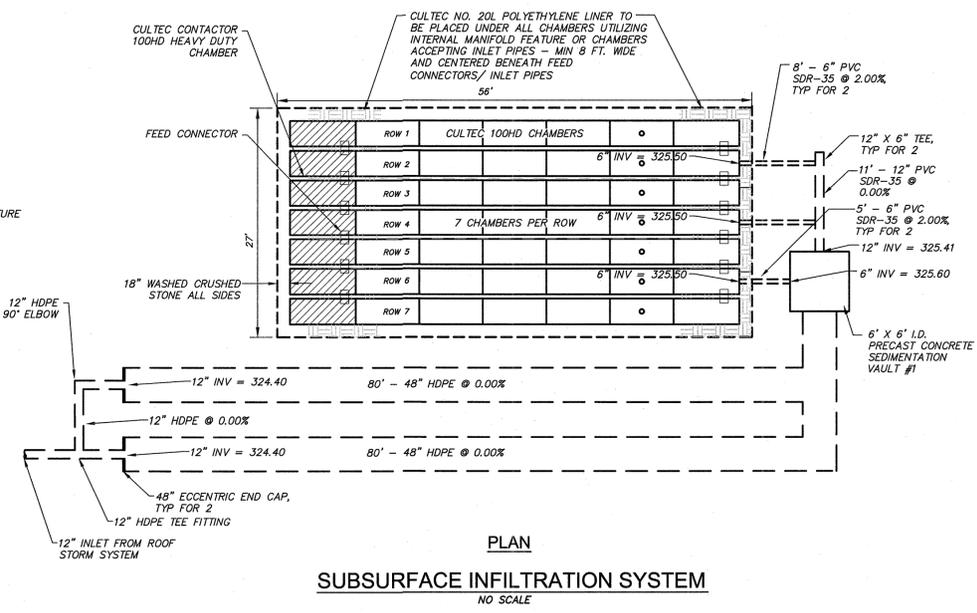
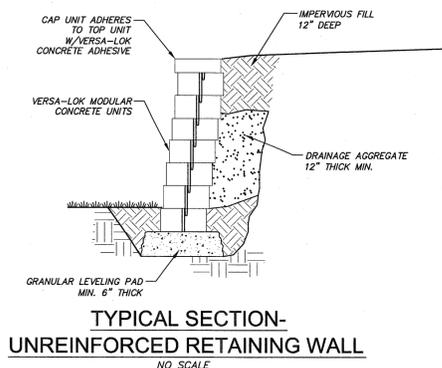
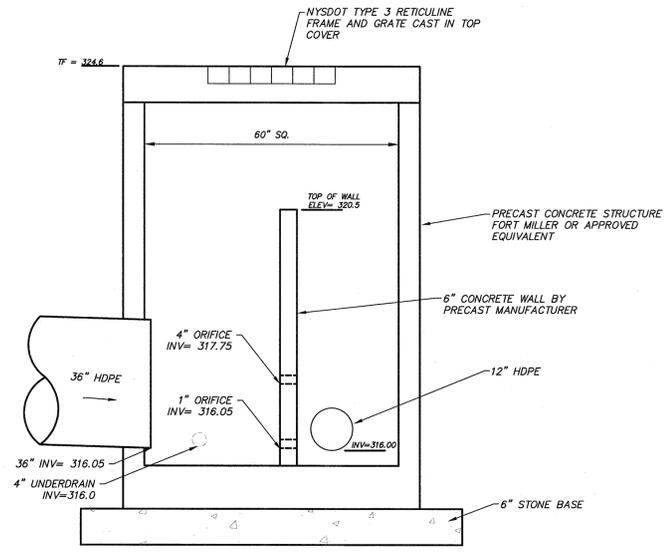
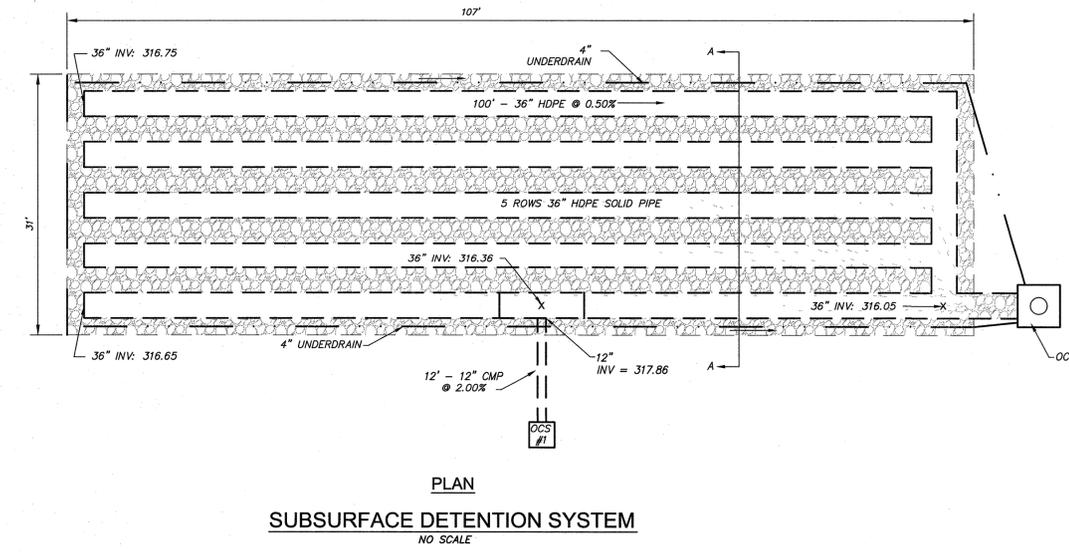
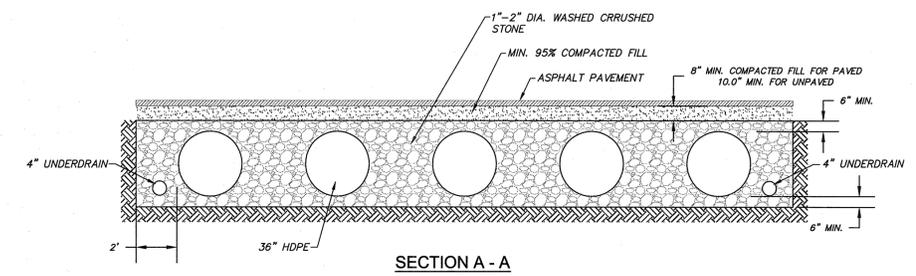
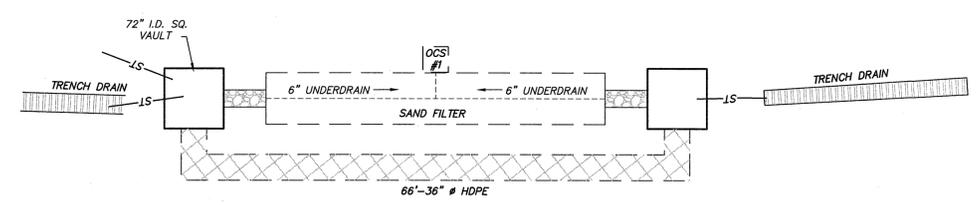
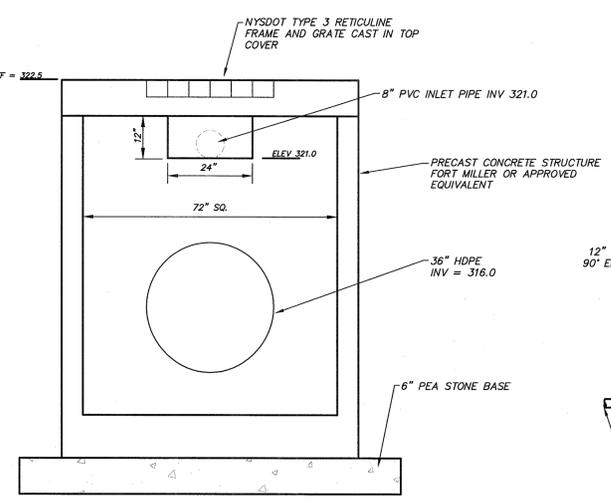
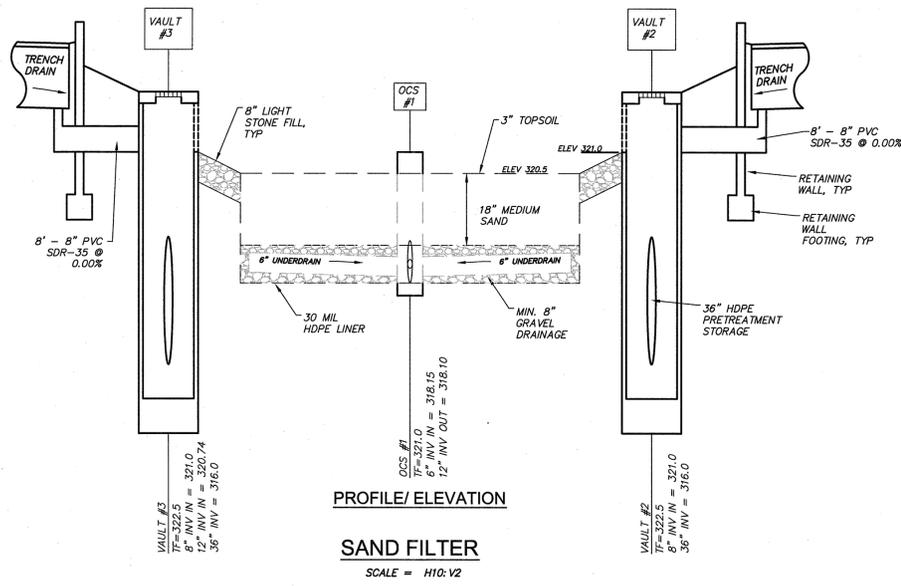


CONSTRUCTION DETAILS - 2
MIXED USE DEVELOPMENT

WEST AVENUE CITY OF SARATOGA SPRINGS
COUNTY OF SARATOGA NEW YORK

SCALE: NONE
SHEET TOP 9

DATE: SEPTEMBER, 2016



KEY

6'-5.4"	CONTRACTOR 100 RHD STARTER (7 REQUIRED)
7'-9.0"	
3'	
7'-6.0"	CONTRACTOR 100 EHD INTERMEDIATE (35 REQUIRED)
3'	
7'-9.0"	CONTRACTOR 100 EHD END (7 REQUIRED)
3'	
1'-7.7"	HVLV SFC&G FEED CONNECTOR (12 REQUIRED)

CULTEC No. 20L POLYETHYLENE LINER

DATE	4-25-16
BY	N.C.
REVISION	ISSUED FOR SKETCH PLAN REVIEW
	ISSUED FOR SITE PLAN REVIEW
NO.	A
	B

ADVANCE ENGINEERING & SURVEYING, PLLC
CONSULTING IN -
CIVIL & ENVIRONMENTAL ENGINEERING
LAND SURVEYING & DEVELOPMENT
COMMERCIAL AND RESIDENTIAL

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E-MAIL: mcostello@aerial.com

CONSTRUCTION DETAILS - 3
MIXED USE DEVELOPMENT
WEST AVENUE CITY OF SARATOGA SPRINGS
COUNTY OF SARATOGA NEW YORK
SCALE: NONE
DATE: SEPTEMBER, 2016
SHEET 7 OF 9

Call 811
before you dig

CITY OF SARATOGA SPRINGS

SHEET NO.
DET 3
8 OF 10 16046-SITE

GENERAL NOTES:

- THESE DRAWINGS SHOW SEDIMENT CONTROLS AND GRADING FOR CONSTRUCTION OF ROADS AND INFRASTRUCTURE ONLY. SEE NOTE 16 BELOW FOR ADDITIONAL GRADING INFORMATION.
- GRADING OF CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE ENGINEER.
- CONTRACTOR SHALL PROVIDE DUST AND EROSION CONTROL PER NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, BY NEW YORK STATE DESIGN PROFESSIONAL SEAL AND THIS PLAN SHALL BE AVAILABLE ON-SITE AT ALL TIMES DURING CONSTRUCTION. ALL CONTRACTORS ENTERING THE SITE THAT WILL BE DISTURBING EARTH, ARE REQUIRED TO SIGN THE SWPPP, TO BE COVERED BY THE SPDES PERMIT FOR CONSTRUCTION ACTIVITY.
- ALL POINTS OF CONSTRUCTION INGRESS OR EGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT OR DEBRIS ONTO PUBLIC ROADS.
- CONTRACTOR SHALL BLEND ALL NEW EARTHWORK INTO EXISTING GRADES AT LIMITS OF GRADING WORK. PROVIDE SMOOTH, ROUNDED TRANSITIONS AT ALL TOP AND BOTTOM OF SLOPES.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
- EXCAVATION REQUIRED WITHIN 3 FEET OF EXISTING UTILITY LINES SHALL BE DONE BY HAND; DO NOT EXCAVATE SOIL WITH MACHINERY. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL NOTIFY OWNER WHEN ROUGH GRADING IS COMPLETE. FINISH GRADES SHALL BE ADJUSTED IN THE FIELD, WHEN NECESSARY, ONLY BY APPROVAL OF THE OWNER AND ENGINEER.
- ALL AREAS REQUIRING FILL SHALL BE BROUGHT TO GRADE REQUIRED, IN 12" MAXIMUM COMPACTED LIFTS. GENERAL FILL SHALL BE FREE OF DELETERIOUS MATERIAL, CONTAIN NO GRAVEL LARGER THAN 3", AND SHALL BE COMPACTED IN AN APPROVED MANNER. SELECTION OF COMPACTION EQUIPMENT IS THE CONTRACTOR'S RESPONSIBILITY. NO EQUIPMENT OR COMPACTION ACTIVITIES SHALL BE PERFORMED IN THE AREAS OF THE PROPOSED AND FUTURE DISPERSAL FIELDS.
- ALL STORM SEWERS SHALL BE CONSTRUCTED ACCURATELY TO LINE AND GRADE, PROPERLY BEDDED, AND SHALL BE CONSTRUCTED SO THAT ALL JOINTS ARE SOIL TIGHT.
- EXTEND DESIGNATED LIMIT OF WORK AS NECESSARY TO ACCOMPLISH ROUGH GRADING, TREE PROTECTION, AND SITE UTILITY WORK AS REQUIRED BY THESE DRAWINGS, OR THE APPROVED SUBDIVISION DRAWINGS.
- PRIOR TO PROJECT CLOSE-OUT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND EXCESS MATERIALS FROM SITE, AND STABILIZE ALL DISTURBED AREAS.
- SLOPE SIZES OF EXCAVATIONS TO COMPLY WITH LOCAL CODES AND ORDINANCES HAVING JURISDICTION AND OSHA REGULATIONS. MAINTAIN SIDE SLOPES OF EXCAVATIONS IN A SAFE CONDITION UNTIL COMPLETION OF BACKFILLING.
- DURING GRADING OPERATIONS, DRAINAGE OF THE SITE AND ADJACENT AREAS SHALL BE MAINTAINED CONTINUOUSLY, TO PREVENT EROSION OR OTHER DAMAGE. WHEN IT IS NECESSARY TO INTERRUPT DRAINAGE OR OTHER EXISTING UTILITIES, PROVIDE TEMPORARY FACILITIES UNTIL PERMANENT WORK IS COMPLETED.
- ALL EXCAVATION TO MEET OSHA AND NYS DOT SAFETY STANDARDS.
- CONTRACTOR TO COMPLY WITH ALL OSHA AND OTHER STATE AND LOCAL SAFETY REQUIREMENTS DURING CONSTRUCTION. (PROPER SHORING, ETC.).
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN FIELD PRIOR TO COMMENCEMENT OF WORK AND NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES, WHETHER FUNCTIONING OR ABANDONED WITHIN THE PROJECT AREA SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES STARTING WORK AND SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM HIS WORK. CONTRACTOR SHALL NOTIFY DIG SAFELY, NY, FORMERLY (UFPD) 1-800-982-7982 IN ACCORDANCE WITH 16 NYCRR PART 75.3.

WATER SYSTEM NOTES:

- ALL MATERIALS AND INSTALLATION SHALL FOLLOW THE APPROPRIATE AWWA GUIDELINES AND STANDARD SPECIFICATIONS.
- THE WATER SYSTEM PROVIDER IS THE CITY OF SARATOGA SPRINGS.
- ALL WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C-851 OR OTHER METHOD APPROVED BY THE WWSA. FOLLOWING FLUSHING, WATER SAMPLES SHALL BE COLLECTED FROM THE MAIN AND EACH BRANCH. BACTERIOLOGICAL SAMPLING AND TESTING IS REQUIRED TWO (2) DAYS AFTER DISINFECTION. TESTING SHALL BE PERFORMED BY NYSOHD CERTIFIED LAB. RESULTS SHALL BE REPORTED TO THE CITY OF SARATOGA SPRINGS, DESIGN ENGINEER AND NYSOHD. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. WATER SAMPLES SHALL BE COLLECTED AND THE WATER MAIN SHALL NOT BE PLACED IN SERVICE UNTIL THE WATER HAS BEEN APPROVED AND NOTIFICATION THEREOF RECEIVED.
- WATER MAINS SHALL BE CLEANED, INSPECTED, AND DISINFECTED IN ACCORDANCE WITH AWWA STANDARDS FOR DISINFECTING WATER MAINS C-651-92 (WITH THE EXCEPTION OF SECTION 5.1 TABLE METHOD), THAT WILL GIVE A 50 ppm RESIDUAL THROUGHOUT THE SYSTEM FOR A 24-HOUR PERIOD. AFTER 24 HOURS, RESIDUAL SHOULD BE AT LEAST 25 ppm. IF NOT, REPEAT PROCEDURE (REPAIRED, RETESTED, REDISINFECTED, REPRESSURE TESTED, AND REINSPECT) WITH THE CITY OF SARATOGA SPRINGS, DESIGN ENGINEER, NYSOHD, AND ALL APPLICABLE REQUIREMENTS. RESULTS TO BE SUBMITTED TO THE TOWN, DESIGN ENGINEER. NO PIPELINE INSTALLATION WILL BE APPROVED WHEN LEAKAGE IS GREATER THAN THAT DETERMINED BY THE FOLLOWING FORMULA:

$$L = \frac{S \cdot D \cdot P^{1/2}}{133,200}$$

L = ALLOWABLE LEAKAGE, IN GALLONS PER HOUR (DOUBLE FOR THE REQUIRED 2-HOUR MINIMUM TEST)
 S = LENGTH OF PIPE TESTED, IN FEET
 D = NOMINAL DIAMETER OF PIPE, IN INCHES
 P = AVERAGE TEST PRESSURE DURING LEAKAGE TEST (PSIG)

EXAMPLE: THE MAXIMUM ALLOWABLE LEAKAGE OF 8" PIPE FOR A TWO-HOUR TEST PER ONE-THOUSAND-FOOT LENGTH OF PIPE SHALL BE 1.48 GALLONS AT 150 PSI PRESSURE.

$$\frac{8 \cdot 200 \cdot (150)^{1/2}}{133,200} = 0.74 \text{ GALLONS PER HOUR}$$

$$\frac{8 \cdot 200 \cdot (150)^{1/2}}{133,200} = 1.48 \text{ GALLONS FOR 2 HOURS}$$
- CHLORINATED WATER FROM THE DISINFECTION PROCESS SHALL BE THOROUGHLY NEUTRALIZED WITH AN ACCEPTABLE CHEMICAL (SEE APPENDIX B OF AWWA C-651-92) PRIOR TO DISPOSAL, IF DISPOSAL IS NOT INTO A PUBLIC SEWER SYSTEM. THE NEUTRALIZATION PROCESS CAN TAKE PLACE IN A TANKER TRUCK OR OTHER MEANS ACCEPTABLE TO REGULATORY AGENCIES.
- THE MINIMUM SEPARATION DISTANCE BETWEEN WATER SERVICES AND SEWER LINES SHALL BE 18 INCHES MEASURED VERTICALLY FROM THE OUTSIDE OF PIPE TO OUTSIDE OF PIPE. WATER SERVICES AND SEWER LINES RUNNING PARALLEL SHALL HAVE A MINIMUM HORIZONTAL SEPARATION DISTANCE OF 10 FEET MEASURED FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE. A MINIMUM SEPARATION DISTANCE OF 4 FEET SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ALL CATCH BASINS.

- PER NYSOHD, TOWN WATER DEPARTMENT AND STATE UNDERWRITER REQUIREMENTS, ACTUAL HYDRANT FLOW, STATIC AND RESIDUAL PRESSURE TESTING WILL BE PERFORMED AND REPORTED TO SAID PARTIES.
- WATERLINE CONSTRUCTION FIELD QUALITY CONTROL
 - CLEAR INTERIOR OF PIPING AND STRUCTURES OF DIRT AND SUPERFLUOUS MATERIAL AS THE WORK MAINTAIN SWAB OR DRAG IN PIPING AND PULL PAST EACH JOINT AS IT IS COMPLETED.
 - IN LARGE, ACCESSIBLE PIPING, BRUSHES AND BROOMS MAY BE USED FOR CLEANING.
 - PLACE PLUG IN END OF INCOMPLETE PIPING AT END OF DAY AND WHENEVER WORK STOPS.
 - FLUSH PIPING BETWEEN MANHOLES AND OTHER STRUCTURES TO REMOVE COLLECTED DEBRIS.
- TEST NEW PIPING SYSTEMS AND PARTS OF EXISTING SYSTEMS THAT HAVE BEEN ALTERED, EXTENDED, OR REPAIRED FOR LEAKS AND DEFECTS IN ACCORDANCE WITH AWWA C600-93 OMITTING 5B.
 - DO NOT ENCLOSE, COVER, OR PUT INTO SERVICE BEFORE INSPECTION AND APPROVAL.
 - TEST COMPLETED PIPING SYSTEMS ACCORDING TO AUTHORITIES HAVING JURISDICTION.
 - SCHEDULE TESTS, AND THEIR INSPECTIONS BY AUTHORITIES HAVING JURISDICTION, WITH AT LEAST 24 HOURS ADVANCE NOTICE.
 - SUBMIT SEPARATE REPORTS FOR EACH TEST.
 - WHERE AUTHORITIES HAVING JURISDICTION DO NOT HAVE PUBLISHED PROCEDURES, PERFORM TEST AS FOLLOWS:
 - ALLOWABLE LEAKAGE IS A MAXIMUM OF 50 GALLONS PER INCH NOMINAL PIPE SIZE, FOR EVERY MILE OF PIPE, DURING A 24-HOUR PERIOD.
 - SANITARY SEWER: PERFORM AIR TEST ACCORDING TO UNI-B-6 AND ASTM C828.
 - FORCEMAIN: PERFORM AIR TEST ACCORDING TO UNI-B-6 AND ASTM C828.
 - PRECAST CONCRETE STRUCTURES: PERFORM HYDRAULIC TEST ACCORDING TO ASTM C 969.
 - LEAKS AND LOSS IN TEST PRESSURE CONSTITUTE DEFECTS THAT MUST BE REPAIRED.
 - REPLACE LEAKING PIPING USING NEW MATERIALS AND REPEAT TESTING UNTIL LEAKAGE IS WITHIN ALLOWANCES SPECIFIED.

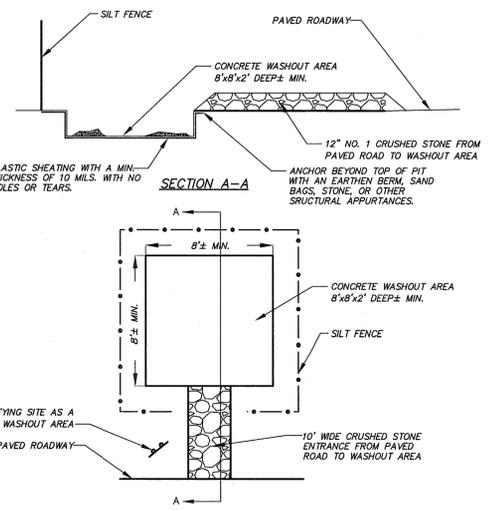
PRESSURE TESTS SHALL BE MADE ONLY AFTER THE COMPLETION OF BACKFILLING OPERATIONS, AND AT LEAST 36 HOURS AFTER THE CONCRETE THRUST BLOCKS HAVE BEEN CAST. ALL TESTS SHALL BE CONDUCTED UNDER THE SUPERVISION OF THE ENGINEER.

THE DURATION OF PRESSURE TESTS SHALL BE ONE HOUR, UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THE TEST PRESSURE SHALL BE 150 PSI FOR HYDROSTATIC TESTING ONLY, WITH A RECOMMENDED PRESSURE OF 2.5 TIMES THE MAXIMUM SYSTEM OPERATING PRESSURE.

THE PIPE LINE SHALL BE SLOWLY FILLED WITH WATER, BEFORE APPLYING THE SPECIFIED PRESSURE. ALL AIR SHALL BE EXPELLED FROM THE PIPELINE BY MAKING TAPS AT THE POINT OF HIGHEST ELEVATION. THE SPECIFIED PRESSURE MEASURED AT THE LOWEST POINT OF ELEVATION, SHALL BE APPLIED BY MEANS OF A PUMP CONNECTED TO THE PIPE IN A MANNER SATISFACTORY TO THE ENGINEER. AFTER COMPLETION OF THE TEST, THE TAPS SHALL BE TIGHTLY PLUGGED.

APPLICANT:
 AB ACQUISITIONS, LLC
 298 TROY SCHENECTADY RD.
 LATHAM, N.Y. 12110

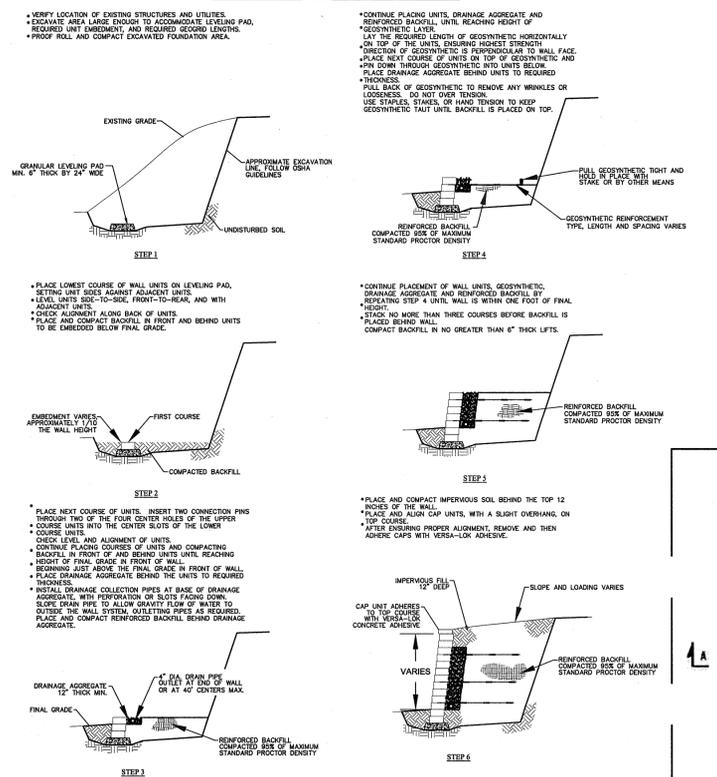
OWNER:
 WEST AVENUE DEVELOPMENT ASSOCIATES, LLC
 120 WEST AVENUE, SUITE 201
 SARATOGA SPRINGS, N.Y. 12866



CONCRETE WASHOUT AREA
NO SCALE

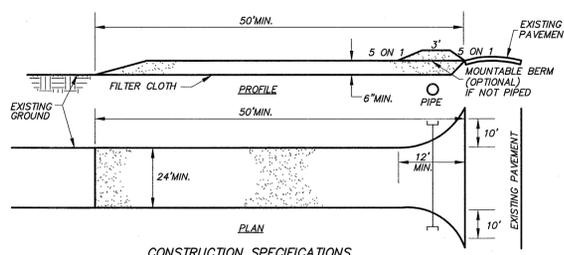
- NOTES:**
- CONTRACTOR SHALL CLEAN OUT THE CONCRETE WASHOUT AREA WHENEVER IT IS HALF-FULL AND SHALL DISPOSE OF DEBRIS.
 - UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL CLEAN OUT AND FILL IN THE WASHOUT AREA TO THE ADJACENT GRADE LEVEL.

CONSTRUCTION SEQUENCE



INSTALLATION NOTES:

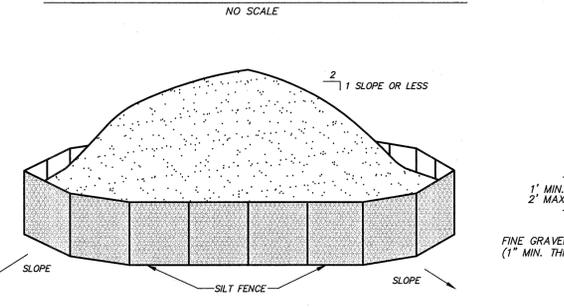
- STRIP VEGETATION AND ORGANIC SOIL FROM WALL AND GEOSYNTHETIC ALIGNMENT.
- BENCH CUT ALL EXCAVATED SLOPES.
- DO NOT EXCAVATE BEYOND EXCAVATION LINES SHOWN ON PLAN UNLESS DIRECTED BY SITE SOILS ENGINEER TO REMOVE UNSATURATED SOIL.
- CONTRACTOR SHALL ENSURE TEMPORARY EXCAVATIONS ARE STABLE AND PROVIDE EXCAVATION SUPPORT IF NEEDED.
- SITE SOILS ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE DESIGN PARAMETERS.
- LEVELING PAD SHALL CONSIST OF WELL GRADED ROAD BASE AGGREGATE, 3/4" CRUSHED, ANGULAR GRAVEL WITH SOME FINES.
- CONTRACTOR MAY OPT FOR A LEAN CONCRETE LEVELING PAD. PAD SHALL BE UNREINFORCED LEAN CONCRETE, 200-300 PSI, 3" THICK MAXIMUM.
- DRAINAGE AGGREGATE SHALL CONSIST OF CLEAN ANGULAR GRAVEL, 3/4" DIAMETER WITH LESS THAN 5% FINES.
- DRAINAGE PIPE SHALL BE PERFORATED OR SLOTTED PVC OR CORRUGATED HDPE PIPE.
- REINFORCED BACKFILL SHALL BE FREE OF DEBRIS, ORGANIC SOIL, AND EXPANSIVE SOILS.
- FOR UNITS TO BE EMBEDDED, COMPACT FILL IN FRONT OF UNITS AT THE SAME TIME FILL BEHIND UNITS IS COMPACTED.
- COMPACTION SHALL BE TO 95% OF MAXIMUM STANDARD PROCTOR DENSITY. (ASTM D-698)
- PARAMETERS SHALL BE DETERMINED BY THE SITE SOILS ENGINEER.
- COMPACTION WITHIN 3FT. OF WALL SHALL BE LIMITED TO HAND OPERATED EQUIPMENT.
- CONTRACTOR SHALL SLOPE SITE GRADES TO DIRECT SURFACE RUNOFF AWAY FROM WALL AT END OF EACH DAY TO AVOID WATER DAMAGING THE WALL WHILE UNDER CONSTRUCTION.
- ANY SURFACE DRAINAGE FEATURES, FINISH GRADING, PAVEMENT, OR TURF SHALL BE INSTALLED IMMEDIATELY AFTER WALL IS COMPLETED.
- FOLLOW APPLICABLE PROVISIONS OF THE WALL UNIT AND GEOSYNTHETIC MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
- IF SITE AND SOIL CONDITIONS, WALL GEOMETRY, OR WALL LOADINGS ARE DIFFERENT THAN IN THE DRAWINGS AND THE DESIGN PARAMETERS, THE CONTRACTOR MUST CONTACT DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.



CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 30 FEET
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - NOT LESS THAN THE FULL DRIVEWAY WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24" MINIMUM IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANING OF ANY MEASURES USED TO TRAP SEDIMENT.
- WASHING - WHEELS SHALL BE CLEANED WHEN NECESSARY TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE
NO SCALE

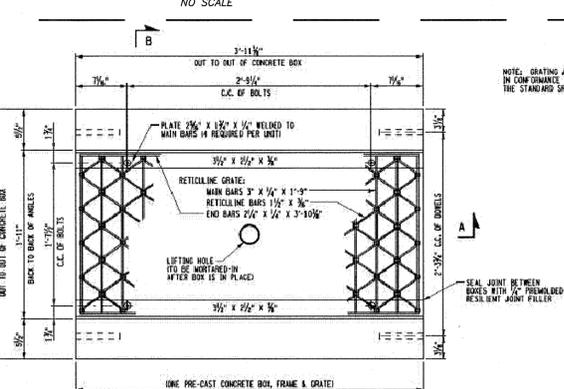


CONSTRUCTION SPECIFICATIONS

- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. REMOVAL FROM SHALL BE 2" MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
- USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2" BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
- FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF FILTER STONE WILL BE PLACED AGAINST THE 3" STONE AS SHOWN ON THE DRAWINGS.
- MAXIMUM DRAINAGE AREA 1 ACRE.

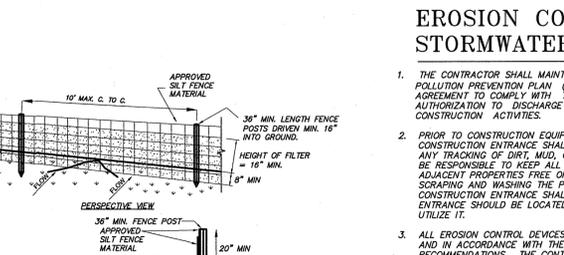
STONE & BLOCK DROP INLET PROTECTION DETAIL
NO SCALE

SOIL STOCKPILE STABILIZATION
NO SCALE



CONSTRUCTION SPECIFICATIONS

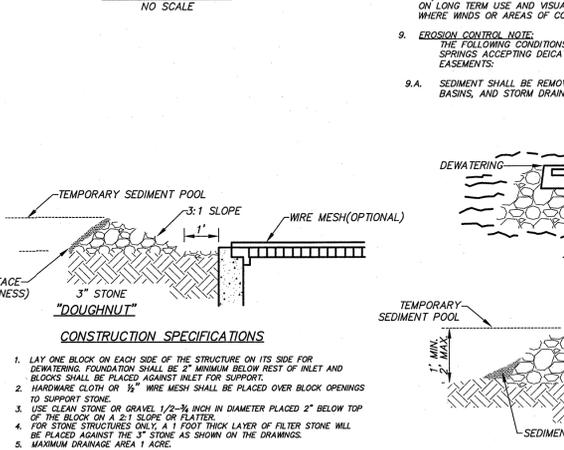
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1: 2
- SILT FENCE SHALL BE PLACED 5- FEET DOWNSLOPE OF EACH PILE. UPON COMPLETION OF SOIL STOCKPILING, TOPSOIL SHALL BE STABILIZED WITH SEED AND MULCH IF NOT TO BE DISTURBED/UTILIZED WITHIN 14 DAYS.
- SEE ADDITIONAL DETAILS FOR INSTALLATION OF SILT FENCE.
- TEMPORARY PERIMETER DIKES MAY BE REQUIRED TO DIRECT CLEAN RUNOFF FROM STOCKPILE AREAS. REFER TO EROSION AND SEDIMENT CONTROL PLAN.



CONSTRUCTION SPECIFICATIONS

- SILT FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO SILT FENCE FENCE WITH TIES SPACING EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE APPROVED MATERIAL, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER #, MIRAFT 1000, STABILURA 7140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOTAP, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

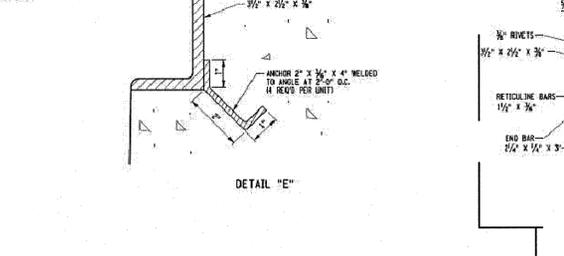
SILT FENCE
NO SCALE



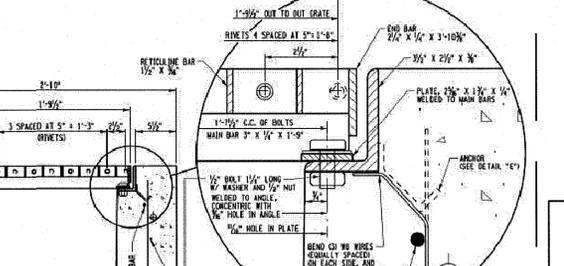
CONSTRUCTION SPECIFICATIONS

- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. REMOVAL FROM SHALL BE 2" MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
- USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2" BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
- FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF FILTER STONE WILL BE PLACED AGAINST THE 3" STONE AS SHOWN ON THE DRAWINGS.
- MAXIMUM DRAINAGE AREA 1 ACRE.

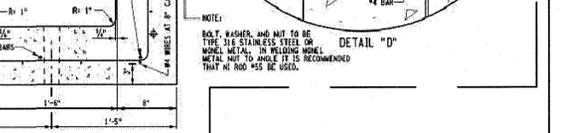
CONSTRUCTION SPECIFICATIONS



DETAIL "E"



DETAIL "D"



DETAIL "C"

EROSION CONTROL AND STORMWATER MANAGEMENT:

- THE CONTRACTOR SHALL MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ON SITE AND SHALL SIGN THE AGREEMENT TO COMPLY WITH THE PLAN AS A CONDITION OF AUTHORIZATION TO DISCHARGE STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- PRIOR TO CONSTRUCTION EQUIPMENT ENTERING OR EXITING THE SITE, A CONSTRUCTION ENTRANCE SHALL BE BUILT UNLESS EXISTING CONDITIONS PREVENT ANY TRACKING OF DIRT, MUD, OR DEBRIS OFF THE SITE. THE CONTRACTOR WILL BE RESPONSIBLE TO KEEP ALL ROAD, PARKING, SPACES, SIDEWALKS AND ADJACENT PROPER FREE OF DIRT OR OTHER DEBRIS. THIS WILL INCLUDE SCRAPING AND WASHING THE PAVEMENT SURFACES WHENEVER NEEDED. THE CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS. THE ENTRANCE SHOULD BE LOCATED THAT ALL VEHICLES LEAVING THE SITE SHALL UTILIZE IT.
- ALL EROSION CONTROL DEVICES SHALL BE PLACED AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH THE FEDERAL, STATE, LOCAL AND MANUFACTURERS RECOMMENDATIONS. THE CONTRACTOR SHALL PLACE AND MAINTAIN ALL EROSION CONTROL DEVICES AS NEEDED THROUGHOUT THE PROJECT.
- SILT FENCE SHALL HAVE HARDWOOD STAKES 2X2 INCH AND 4 FEET LONG, WOVEN INTO THE FABRIC. THE BASE OF THE SILT FENCE SHALL BE EXCAVATED 50 AS TO PROVIDE AN AREA TO BURY THE BOTTOM OF THE FABRIC AT LEAST 6" INTO THE GROUND. THE STAKES SHALL BE DRIVEN TO A DEPTH THAT WILL PLACE THE BOTTOM FABRIC AT THE BOTTOM OF THE TRENCH, THEN BACK FILL THE BOTTOM FABRIC ON THE UPSTREAM SIDE WITH THE MATERIAL THAT WAS EXCAVATED.
- SILT FENCE SHALL BE PLACED WHEREVER SURFACE DRAINAGE CAN LEAVE THE SITE AND AT THE TOP OF THE FILL SLOPES TO PROTECT THE WETLANDS.
- STONE CHECK DAMS SHALL BE PLACED IN ALL DRAINAGE WAYS, BUT NOT IN STREAMS, CREEKS OR RIVERS. STONE FILTERS SHALL CONSIST OF UNIFORM MIX OF 1/4" TO 3/4" CLEAN STONE GRAPPED IN FILTER FABRIC AND COVERED WITH 4" STONE.
- AREAS SHALL BE TEMPORARY SEEDED WHEN THEY ARE SUBJECT TO EROSION AND WILL LIE DORMANT FOR A PERIOD OF 7 DAYS OR MORE.
 - IF SPRING, SUMMER OR EARLY FALL: SEED WITH RYE GRASS (ANNUAL OR PERENNIAL) AT 30 LBS. PER ACRE (APPROXIMATELY) 0.7 LB/1000 SQ. FT. OR USE 1 LB/1000 SQ. FT.)
 - IF LATE FALL OR EARLY WINTER, THEN SEED WITH CERTIFIED "AROGOSTOY" WINTER RYE (CERIAL RYE) AT 100 LBS. PER ACRE (2.5 LB/1000 SQ. FT.)
- MULCH THE AREA WITH HAY OR STRAW AT 2 TONS/ACRE (APPROX. 0.05 LB/SQ. FT.). QUALITY OF HAY OR STRAW MULCH ALLOWABLE WILL BE DETERMINED BASED ON LONG TERM USE AND VISUAL CONCERNS. MULCH ANCHORING WILL BE REQUIRED WHERE WINDS OR AREAS OF CONCENTRATED WATER ARE OF CONCERN.
- EROSION CONTROL NOTES:
 - THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO THE CITY OF SARATOGA SPRINGS ACCEPTING DECISION OF THE ROADWAY AND STORM DRAINAGE ASSESSMENTS.
 - SEEDMENT SHALL BE REMOVED FROM ALL CATCH BASINS, DRYWELLS, DETENTION BASINS, AND STORM DRAINAGE PIPING PRIOR TO THE ROADWAY DEDICATION.



DATE	4-25-16
BY	N.C.
REVISION	ISSUED FOR SKETCH PLAN REVIEW
NO.	A
	B

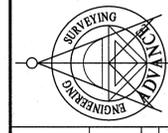


ADVANCE ENGINEERING & SURVEYING, PLLC
 CONSULTING IN -
 CIVIL & ENVIRONMENTAL ENGINEERING
 LAND SURVEYING & DEVELOPMENT
 COMMERCIAL AND RESIDENTIAL

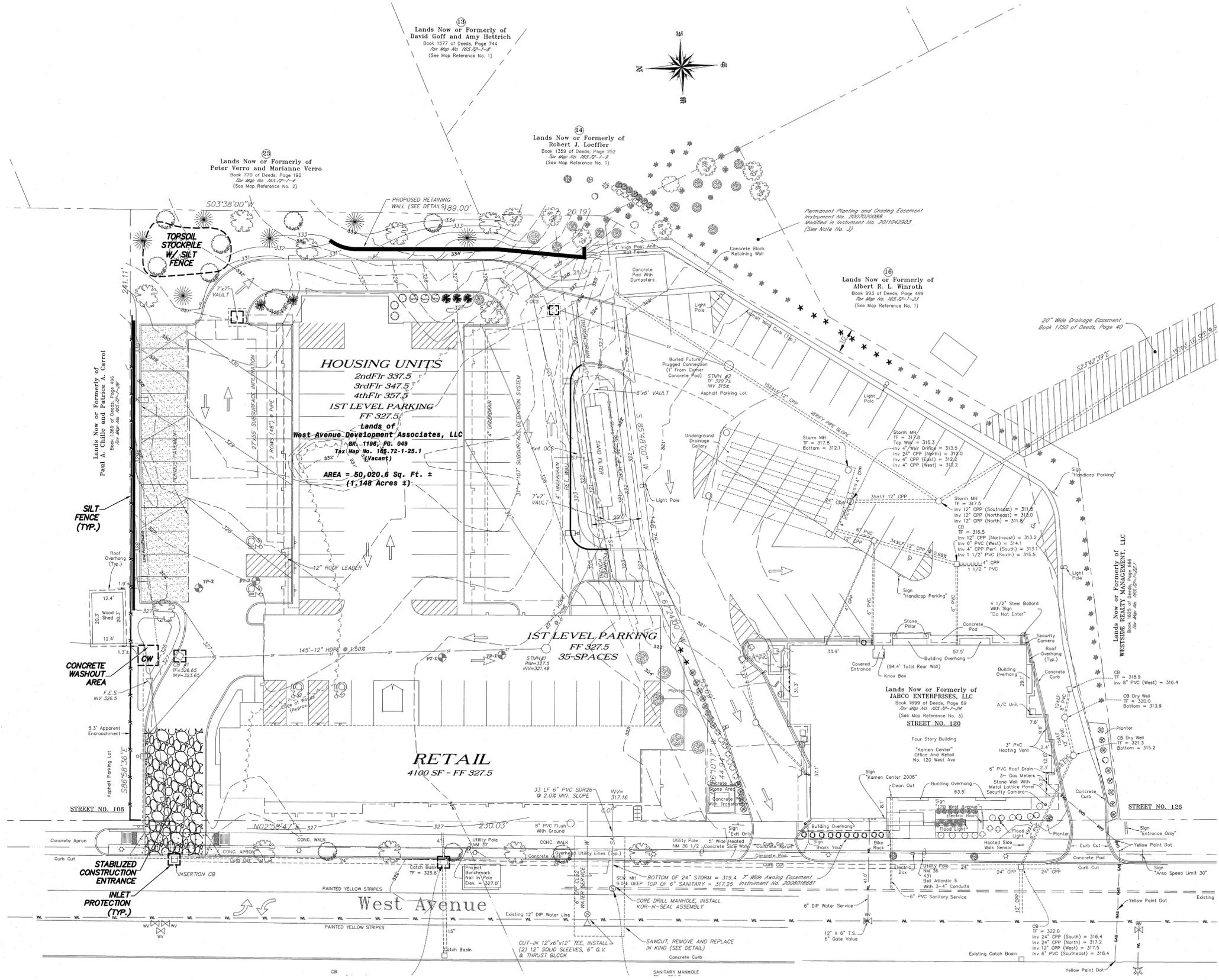
Design of:
 CONSTRUCTION DETAILS - 4
 MIXED USE DEVELOPMENT

WEST AVENUE CITY OF SARATOGA SPRINGS
 COUNTY OF SARATOGA NEW YORK
 SCALE: NONE
 SHEET 8 OF 9

PHONE: (518) 898-3772
 E-MAIL: nicostad@aeand.com
 NICHOLAS COSTA, P.E.



DATE: SEPTEMBER, 2016



EROSION & GRADING NOTES:

- AREAS TO BE FILLED WILL BE CLEARED & GRUBBED. TOPSOIL WILL BE STOCKPILED FOR RE-USE.
- FILL WILL BE PLACED IN LAYERS NOT TO EXCEED 9" & COMPACTED BY MEANS OF A MECHANICAL COMPACTOR BETWEEN LIFTS.
- FROZEN MATERIALS OR SOFT, HIGHLY COMPRESSIBLE MATERIALS WILL NOT BE USED AS FILL.
- FILL WILL NOT BE PLACED ON FROZEN SURFACE.
- FILLING WILL BE COMPLETED AS A CONTINUOUS OPERATION.
- AS SOON AS FINAL GRADES ARE ACHIEVED, THE AREAS WILL BE STABILIZED.
- SEED & MULCH ALL DISTURBED AREAS IMMEDIATELY AFTER CONSTRUCTION.
- CONTRACTOR MUST PROTECT ALL SURFACE WATER FROM SILTATION DURING CONSTRUCTION WITH APPROPRIATE MEASURES, INCLUDING BUT NOT LIMITED TO PLACING STRAW BALES AND SILTATION FENCING AROUND THE WORK AREA.
- ANY SOILS TRACKED OUT ONTO PUBLIC ROADS WILL BE SWEEPED UP IMMEDIATELY.
- A CONCRETE WASHOUT AREA MUST BE DUG BEFORE ANY POURING IS TO TAKE PLACE.
- ANY PUMPING THAT IS TO BE DONE ON SITE MUST BE RUN THROUGH A FILTER AND/OR STONE.
- A FINAL GRADING INSPECTION WILL HAVE TO BE CONDUCTED BEFORE COMPLETION OF CONSTRUCTION OR CERTIFICATE OF OCCUPANCY IS ISSUED.
- ANY AND ALL EXPOSED SOILS MUST BE STABILIZED BEFORE COMPLETION OF CONSTRUCTION OR CERTIFICATE OF OCCUPANCY IS ISSUED.
- ALL LAWN AREAS SHALL BE PLANTED BY HYDROSEEDING METHODS AND IF IT IS COMPLETED DURING THE WINTER IT SHALL BE PROTECTED WITH EROSION BLANKETS.
- STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

GENERAL EROSION & SEDIMENT CONTROL PLAN NOTES:

- LOCATIONS OF EROSION AND SEDIMENT CONTROL STRUCTURES ARE AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN.
- ALL PROPOSED EROSION CONTROLS SHALL BE INSTALLED PRIOR TO BEGINNING OF CONSTRUCTION. FINAL LOCATION & CONSTRUCTION SHALL BE REVIEWED BY THE ENGINEER.
- STAKEOUT OF ALL PROPOSED EROSION CONTROLS SHALL BE DONE BY A NEW YORK STATE LICENSED PROFESSIONAL SURVEYOR.
- REMOVE EROSION CONTROLS ONLY UNDER THE AUTHORIZATION OF THE ENGINEER.
- CONTRACTOR MUST PROTECT ALL SURFACE WATERS FROM SILTATION DURING CONSTRUCTION WITH APPROPRIATE MEASURES INCLUDING, BUT NOT LIMITED TO, PLACING STRAW BALES AND SILTATION FENCING AROUND WORK.
- EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED. ADDITIONAL MEASURES MAY BE REQUIRED DURING CONSTRUCTION AS DIRECTED BY THE ENGINEER.
- EROSION AND SEDIMENT CONTROL METHODS SHALL COMPLY WITH "THE NEW YORK GUIDELINES FOR URBAN AND SEDIMENT CONTROL" LATEST EDITION.
- EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSPECTED PERIODICALLY AND AFTER EACH RAINFALL EVENT. THE CONTRACTOR SHALL REPAIR THE EROSION AND SEDIMENT CONTROL DEVICES AS NECESSARY AND AS DIRECTED BY THE ENGINEER.
- ALL TEMPORARY EXPOSED FACES OF EARTH CUTS AND FILLS SHALL BE VEGETATED OR PROTECTED FROM EROSION IMMEDIATELY UPON COMPLETION OF EARTHWORK. PROVISIONS SHALL BE MADE IN ORDER TO MINIMIZE THE AREA TO BE DISTURBED AND PREVENTING WATER RUNOFF TO CONCENTRATE AND ERODE THE WORKED EARTH SLOPE.
- UPON COMPLETION OF GRADING OPERATIONS THE WORKED AREAS SHALL BE STABILIZED BY THE FOLLOWING METHODS, DEPENDING UPON THE CLASSIFICATION OF THE AREA AS EITHER TO RECEIVE PERMANENT OR TEMPORARY SEEDING:
 - SEED BED PREPARATION-
 - IF AREAS ARE DEEMED AS REQUIRING TOPSOIL, THEN APPLY TOPSOIL TO A UNIFORM MINIMUM DEPTH OF FOUR(4) INCHES. TOPSOIL SHALL BE FRAGILE AND LOAMY, FREE OF DEBRIS, OBJECTIONABLE WEEDS, AND STONES, AND CONTAIN NO TOXIC MATERIALS. IF TOPSOIL IS OBTAINED UNLESS NEARLY THAN PREPARE SEED BED BY SCARPING, COMPACTED AREAS AND REMOVING DEBRIS, ROCKS AND STUMPS. SEEDING SHALL RECEIVE THE FOLLOWING SOIL AMENDMENTS:
 - A) LIME TO A pH OF 6.0
 - B) FERTILIZER WITH 500 LBS OF 5-10-10 OR EQUIVALENT PER ACRE (14 LBS./1000 SQ. FT.)
 - IF AREAS ARE DEEMED AS REQUIRING TOPSOIL, THEN APPLY TOPSOIL TO A UNIFORM MINIMUM DEPTH OF FOUR(4) INCHES. TOPSOIL SHALL BE FRAGILE AND LOAMY, FREE OF DEBRIS, OBJECTIONABLE WEEDS, AND STONES, AND CONTAIN NO TOXIC MATERIALS. IF TOPSOIL IS OBTAINED UNLESS NEARLY THAN PREPARE SEED BED BY SCARPING, COMPACTED AREAS AND REMOVING DEBRIS, ROCKS AND STUMPS. SEEDING SHALL RECEIVE THE FOLLOWING SOIL AMENDMENTS:
 - A) LIME TO A pH OF 6.0
 - B) FERTILIZER WITH 500 LBS OF 5-10-10 OR EQUIVALENT PER ACRE (14 LBS./1000 SQ. FT.)
 - SEEDING SHALL BE WORKED INTO THE SEED BED WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT.
 - TEMPORARY SEEDINGS-
 - ANNUAL GRASS SEED SHALL BE APPLIED AT A RATE OF 0.9 LBS PER 1000 SQUARE FEET. USE WINTER RYE IF SEEDING DURING OCTOBER/NOVEMBER.
 - PERMANENT SEEDINGS-
 - SEEDINGS SHALL CONSIST OF 1 LB PER 1000 SQUARE FEET OF SEED CONTAINING AT LEAST 50% FAST SPROUTING PERENNIAL RYE GRASS AND 10% PINK CLOVER OR ALFALFA.
 - THE SEED MIX SHALL BE SPREAD BY UTILIZING A CYCLONE SEEDER, DRILL, OR CULTRAPK SEEDER. SEED DEPTH SHALL BE FROM 1/4 TO 1/2 INCH DEEP. SEED MAY ALSO BE APPLIED BY APPROPRIATE HYDROSEEDING METHODS.
 - ALL SEEDING AREAS SHALL BE MULCHED WITH STRAW MULCH APPLIED AT RATE OF 2 TON/ACRE (90 LBS PER 1000 SQUARE FEET) AND ANCHORED WITH "TERRA-TACK" OR EQUAL.
 - IF STABILIZATION BY SEEDING CANNOT OCCUR DURING THE RECOMMENDED SEEDING PERIODS, TOPSOIL, FILL, AND EXCAVATED MATERIALS SHALL BE TEMPORARILY STABILIZED WITH ANCHORED MULCH UNTIL SUCH TIME AS EFFECTIVE SEEDING CAN OCCUR.
 - STOCKPILE MATERIALS SHALL NOT BE LOCATED WITHIN 25 FEET OF ANY DITCH, STREAM, OR OTHER SURFACE WATER BODY.
 - IF CONSTRUCTION IS SUSPENDED, OR SECTIONS COMPLETED, AREAS SHALL BE SEED AND/OR MULCHED IMMEDIATELY.

APPLICANT:
 AB ACQUISITIONS, LLC
 298 TROY SCHENECTADY RD.
 LATHAM, N.Y. 12110

OWNER:
 WEST AVENUE DEVELOPMENT ASSOCIATES, LLC
 120 WEST AVENUE, SUITE 201
 SARATOGA SPRINGS, N.Y. 12866

CITY OF SARATOGA SPRINGS



NO.	REVISION	DATE
A	ISSUED FOR SKETCH PLAN REVIEW	4-25-16
B	ISSUED FOR SITE PLAN REVIEW	9-9-16

DESIGNED BY: ADVANCE ENGINEERING & SURVEYING, PLLC
 CONSULTING IN - CIVIL & ENVIRONMENTAL ENGINEERING
 LAND SURVEYING & DEVELOPMENT
 COMMERCIAL AND RESIDENTIAL
 11 HERBERT DRIVE, LATHAM, N.Y. 12110
 PHONE: (518) 688-3772
 E-MAIL: macdasp@aesllc.com



Design of:
ADVANCE ENGINEERING & SURVEYING, PLLC
 CONSULTING IN - CIVIL & ENVIRONMENTAL ENGINEERING
 LAND SURVEYING & DEVELOPMENT
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EROSION CONTROL PLAN
MIXED USE DEVELOPMENT
 WEST AVENUE CITY OF SARATOGA SPRINGS
 COUNTY OF SARATOGA NEW YORK
 SCALE: 1" = 20'
 SHEET 9 OF 9
 DATE: SEPTEMBER, 2016



October 27, 2016

Mark Torpey
Planning Board Chair
City of Saratoga Springs
City Hall
474 Broadway
Saratoga Springs, NY 12866

SUBJECT: Mixed Use Development, 106-120 West Avenue

Dear Mr. Torpey,

CDTA has reviewed plans for the above-referenced development. We appreciate the opportunity to provide comments on the site plan for the proposed mixed-use development at 106-120 West Avenue.

CDTA currently provides transit service within walking distance of this location via Route #451 (see route map and schedule attached). This route connects to the Saratoga Springs Amtrak station, Downtown Saratoga Springs, the Saratoga Race Course, the Town of Milton, and the Village of Ballston Spa.

CDTA strongly supports the following aspects of the developer's plan:

- The positioning of the building in front and parking in the rear of the site to provide street frontage and contribute to the walkability of West Avenue.
- The addition of a bicycle rack to the site.

In the interest of providing an even safer and more accessible pedestrian and transit-user environment, CDTA recommends that any driveways entering the site be constructed at the same level as the sidewalk to signal that pedestrians have the right of way. Any curb ramps that are constructed should also be ADA-compliant.

Thank you for including CDTA in the review process for this proposal.

Sincerely,

Michael Williams, Senior Planner
CDTA

CC: Kate Maynard, City of Saratoga Springs
Sandy Misciewicz, CDTC

David M. Stackrow
Chairman
Rensselaer County

Georgeanna N. Lussler
Vice Chairwoman
Saratoga County

Joseph M. Spairana, Jr.
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Albany County

Norman L. Miller
Schenectady County

Thomas M. Owens
Albany County

Carm Basile
Chief Executive Officer



CITY OF SARATOGA SPRINGS

ZONING BOARD OF APPEALS

— □ —
CITY HALL - 474 BROADWAY
SARATOGA SPRINGS, NEW YORK 12866
PH) 518-587-3550 FX) 518-580-9480
WWW.SARATOGA-SPRINGS.ORG

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Adam McNeill, *Secretary*
Gary Hasbrouck
George "Skip" Carlson
James Helicke
Susan Steer
Cheryl Grey, *alternate*
Oksana Ludd, *alternate*

November 9, 2016

Mark Torpey, Chair
Planning Board
City Hall - 474 Broadway
Saratoga Springs, NY 12866

Re: Recommendation request for Southern Subdivision – i 24 York Avenue

Dear Mark,

On November 7, 2016 the Zoning Board of Appeals (ZBA) heard the following application:

#2925 SOUTHERN SUBDIVISION, 124 York Avenue, area variance associated with a proposed two lot residential subdivision; seeking relief from the minimum lot size and minimum average lot width requirements for each of the lots in the Urban Residential – 3 District.

Per 8.4.6 of the City's Zoning Ordinance, "If a proposed subdivision plat contains one or more lots that do not comply with this Chapter and, therefore, require an area variance; the ZBA shall request that the Planning Board provide a written recommendation concerning the proposed variance".

Thank you for your consideration of this request and we look forward to your input.

Respectfully yours,

Bill Moore, Chair
Zoning Board of Appeals

KIMBERLY AND MICHAEL SOUTHERN

AREA VARIANCE APPLICATION

166.46-3-5

124 York Avenue

City of Saratoga Springs
Zoning Board of Appeals

Submission Date: September 26, 2016

Hearing Date: October 24, 2016

Prepared By:

M. Elizabeth Coreno, Esq.

Carter Conboy, PC

480 Broadway, Suite 250

Saratoga Springs, New York 12866



Carter Conboy
Attorneys at Law



CITY OF SARATOGA SPRINGS

City Hall - 474 Broadway
Saratoga Springs, New York 12866
Tel: 518-587-3550 fax: 518-580-9480

[FOR OFFICE USE]

(Application #)

(Date received)

APPLICATION FOR: APPEAL TO THE ZONING BOARD FOR AN INTERPRETATION, USE VARIANCE, AREA VARIANCE AND/OR VARIANCE EXTENSION

	<u>APPLICANT(S)*</u>	<u>OWNER(S) (If not applicant)</u>	<u>ATTORNEY/AGENT</u>
Name	Kimberly and Michael Southern		M. Elizabeth Coreno, Esq.
Address	[REDACTED]		Carter Conboy 480 Broadway, Suite 250
Phone	/	/	[REDACTED]
Email			

* An applicant must be the property owner, lessee, or one with an option to lease or purchase the property in question.

Applicant's interest in the premises: Owner Lessee Under option to lease or purchase

PROPERTY INFORMATION

1. Property Address/Location: 124 York Avenue, Saratoga Springs Tax Parcel No.: 166 46 3 5
(for example: 165.52 - 4 - 37)

2. Date acquired by current owner: 8/28/2014 3. Zoning District when purchased: UR3

4. Present use of property: Residential 5. Current Zoning District: UR3

6. Has a previous ZBA application/appeal been filed for this property?
 Yes (when? _____ For what? _____)
 No

7. Is property located within (check all that apply): Historic District Architectural Review District
 500' of a State Park, city boundary, or county/state highway?

8. Brief description of proposed action: _____
Applicants are seeking two small area variances for minimum lot size and minimum average width in order to subdivide the lot for a second buildable residential lot.

9. Is there a written violation for this parcel that is not the subject of this application? Yes No

10. Has the work, use or occupancy to which this appeal relates already begun? Yes No

11. Identify the type of appeal you are requesting (check all that apply):

INTERPRETATION (p. 2) VARIANCE EXTENSION (p. 2) USE VARIANCE (pp. 3-6) AREA VARIANCE (pp. 6-7)

FEES: Make checks payable to the "Commissioner of Finance". Fees are cumulative and required for each request below.

- Interpretation \$ 400
- Use variance \$1,000
- Area variance
- Residential use/property: \$ 150
- Non-residential use/property: \$ 500
- Extensions: \$ 150

INTERPRETATION – PLEASE ANSWER THE FOLLOWING (add additional information as necessary):

1. Identify the section(s) of the Zoning Ordinance for which you are seeking an interpretation:

Section(s) _____

2. How do you request that this section be interpreted? _____

3. If interpretation is denied, do you wish to request alternative zoning relief? Yes No

4. If the answer to #3 is "yes," what alternative relief do you request? Use Variance Area Variance

EXTENSION OF A VARIANCE – PLEASE ANSWER THE FOLLOWING (add additional information as necessary):

1. Date original variance was granted: _____ 2. Type of variance granted? Use Area

3. Date original variance expired: _____

5. Explain why the extension is necessary. Why wasn't the original timeframe sufficient?

When requesting an extension of time for an existing variance, the applicant must prove that the circumstances upon which the original variance was granted have not changed. Specifically demonstrate that there have been no significant changes on the site, in the neighborhood, or within the circumstances upon which the original variance was granted:

USE VARIANCE – PLEASE ANSWER THE FOLLOWING (add additional information as necessary):

A use variance is requested to permit the following: _____

For the Zoning Board to grant a request for a use variance, an applicant must prove that the zoning regulations create an unnecessary hardship in relation to that property. In seeking a use variance, New York State law requires an applicant to prove all four of the following “tests”.

- I. That the applicant cannot realize a reasonable financial return on initial investment for any currently permitted use on the property. “Dollars & cents” proof must be submitted as evidence. The property in question cannot yield a reasonable return for the following reasons:

A. Submit the following financial evidence relating to this property (attach additional evidence as needed):

1) Date of purchase: _____ Purchase amount: \$ _____

2) Indicate dates and costs of any improvements made to property after purchase:

<u>Date</u>	<u>Improvement</u>	<u>Cost</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

3) Annual maintenance expenses: \$ _____ 4) Annual taxes: \$ _____

5) Annual income generated from property: \$ _____

6) City assessed value: \$ _____ Equalization rate: _____ Estimated Market Value: \$ _____

7) Appraised Value: \$ _____ Appraiser: _____ Date: _____

Appraisal Assumptions: _____

B. Has property been listed for sale with the Multiple Listing Service (MLS)? Yes If "yes", for how long? _____ No

1) Original listing date(s): _____ Original listing price: \$ _____

If listing price was reduced, describe when and to what extent: _____

2) Has the property been advertised in the newspapers or other publications? Yes No

If yes, describe frequency and name of publications: _____

3) Has the property had a "For Sale" sign posted on it? Yes No

If yes, list dates when sign was posted: _____

4) How many times has the property been shown and with what results? _____

2. That the financial hardship relating to this property is unique and does not apply to a substantial portion of the neighborhood. Difficulties shared with numerous other properties in the same neighborhood or district would not satisfy this requirement. This previously identified financial hardship is unique for the following reasons:

AREA VARIANCE – PLEASE ANSWER THE FOLLOWING (add additional information as necessary):

2.3

The applicant requests relief from the following Zoning Ordinance article(s) _____

<u>Dimensional Requirements</u>	<u>From</u>	<u>To</u>
Lot 1: Minimum Lot Size	6,600 sq. ft.	5,319 sq. ft.
Lot 1: Minimum Average Width	60 ft.	48 ft.
Lot 2: Minimum Lot Size	6,600 sq. ft.	5,279 sq. ft.
Lot 2: Minimum Average Width	60 ft.	48 ft.
_____	_____	_____
_____	_____	_____

Other: _____

To grant an area variance, the ZBA must balance the benefits to the applicant and the health, safety, and welfare of the neighborhood and community, taking into consideration the following:

- 1. Whether the benefit sought by the applicant can be achieved by other feasible means. Identify what alternatives to the variance have been explored (alternative designs, attempts to purchase land, etc.) and why they are not feasible.

Please see attached Project Narrative.

- 2. Whether granting the variance will produce an undesirable change in the character of the neighborhood or a detriment to nearby properties. Granting the variance will not create a detriment to nearby properties or an undesirable change in the neighborhood character for the following reasons:

Please see attached Project Narrative.

DISCLOSURE

Does any City officer, employee, or family member thereof have a financial interest (as defined by General Municipal Law Section 809) in this application? No Yes If "yes", a statement disclosing the name, residence and nature and extent of this interest must be filed with this application.

APPLICANT CERTIFICATION

I/we, the property owner(s), or purchaser(s)/lessee(s) under contract, of the land in question, hereby request an appearance before the Zoning Board of Appeals.

By the signature(s) attached hereto, I/we certify that the information provided within this application and accompanying documentation is, to the best of my/our knowledge, true and accurate. I/we further understand that intentionally providing false or misleading information is grounds for immediate denial of this application.

Furthermore, I/we hereby authorize the members of the Zoning Board of Appeals and designated City staff to enter the property associated with this application for purposes of conducting any necessary site inspections relating to this appeal.

Kimberly R. Swartz
(applicant signature)

9/26/2016

Date: _____

9/26/2016

Date: _____

(applicant signature)

If applicant is not the currently the owner of the property, the current owner must also sign.

Owner Signature: _____

Date: _____

Owner Signature: _____

Date: _____

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Kimberly and Michael Southern - Single Lot Subdivision			
Project Location (describe, and attach a location map): 124 York Avenue, Saratoga Springs, NY			
Brief Description of Proposed Action: Single lot subdivision which requires subdivision approval and two area variances of the minimum lot size and two 12 ft. area variances of the average lot width.			
Name of Applicant or Sponsor: Kimberly and Michael Southern		Telephone: [REDACTED]	
		E-Mail: [REDACTED]	
Address: [REDACTED]			
City/PO: [REDACTED]		State: [REDACTED]	Zip Code: [REDACTED]
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: Saratoga Springs Planning Board Subdivision Approval		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		_____ 0.243 acres	
b. Total acreage to be physically disturbed?		_____ 0.121 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		_____ 0.243 acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Parkland			

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>Kimberly R Southern</u> Date: <u>9/26/16</u></p> <p>Signature: <u>Kimberly R Southern</u></p>		

**124 YORK AVENUE
MICHAEL AND KIMBERLY SOUTHERN
AREA VARIANCE APPLICATION**



PROJECT NARRATIVE

The applicants are seeking two area variances to permit a single lot subdivision in connection with a parcel of property known as 124 York Avenue (“Property”) which is located in the UR-3 of the Saratoga Springs Zoning Code (“Code”) (commonly known as Parcel ID 166.46-3-5) . The relief the applicants seeks is as follows:

1. Lot 1: 1,281 square feet from the minimum lot size of 6,600 square feet (19%) and 12 feet from the minimum average lot width of 60 feet (20%).
2. Lot 2: 1,321 square feet from the minimum lot size of 6,600 square feet (20%) and 12 feet from the minimum average lot width of 60 feet (20%).

**124 YORK AVENUE
MICHAEL AND KIMBERLY SOUTHERN
AREA VARIANCE APPLICATION**

The applicants intend to place a small, single family home on the newly created lot in order for them to return to the area to care for aging parents. The existing home would be kept in the family for the applicants' children.

A. Parcel History

The furthest research in the chain of title for the Parcel is evidenced by an 1880 deed when two lots were created on one deed from the vast land holdings of the Estate of W.L.F. Warren who died in 1860. A home was erected on the extreme northeastern edge of the lands closest to York Avenue in 1875 according to the City Assessor's records. The land description in the deeds includes reference to two lots, namely "the west half of Lot No. 53 and a portion of the east half of lot No. 52." (A copy of the 1947 deed is attached as Exhibit A). However, the lots were never on separate deeds and have been sold pursuant to a single deed description since that time. As is clear from a review of the history of the neighborhood and is demonstrated by the average lot configuration (discussed below), the two lots described in the chain of title were estimated at 50ft x 110 ft. each. At some point between 1937 and 1947, two feet from the easterly side of the lots were sold to a neighbor which resulted in the current configuration of 48ft x 110ft. Taken together, the Property's lands total 48 ft. x 220 ft.

In 1947, the lots were purchased by Francis and Jean Southern, a married couple who moved from Woodlawn Avenue with their children following World War II. At that time, the City lacked zoning and, as such, there was no reason for Francis Southern to concern himself with the 48 ft. of lot width (now non-conforming) or the fact that his two lots appeared on a single deed would someday restrict his ability to subdivide as of right. Unaware of implications of keeping the two lots on a single deed, Francis Southern moved his family (including the

**124 YORK AVENUE
MICHAEL AND KIMBERLY SOUTHERN
AREA VARIANCE APPLICATION**

applicant's father) into the home on York Avenue and worked every day as a Captain for the Saratoga Springs Fire Department on Lake Avenue – a job within walking distance of the house. Unfortunately for his family, Francis Southern was killed while on the job in 1975 and left his wife, Jean, behind to manage the affairs of the family alone. Incidentally, “Southern Place” off of Maple Avenue was named for Captain Southern to honor his memory and service.

In the years that followed, Jean resided in the home and likely remained unaware of the City's moves to impose zoning in the 1960's which would commence a decades-long process of ultimately limiting the family's ability to “sell off” the second lot recited in the deed which fronts on to Middle Avenue. Jean died in January of 2014 and the applicants, Michael Southern and his wife Kimberly, took title to the lands of his grandmother pursuant to an Executor's Deed dated August 28, 2014.

Since taking ownership, the Southernns rehabilitated the entire inside of the existing home while keeping the 1880s façade and historic character intact. They have rented the property to tenants as they reside in Massachusetts at the present time. Their current plans are to retire to Saratoga Springs if they are permitted to build a small, bungalow style retirement home on the second lot fronting onto Middle Avenue which would also house Michael's aging parents on the first floor. The new home and the existing home from 1875 would remain in the family for eventual ownership by the Southernns' children. The Southernns have no intention of parting with the lots which have been in the family for over 65 years.

B. Area Variance Standards and Applicants' Support for Relief

As mentioned, the Property is situated in the Urban Residential-3 zoning district and is subject to minimum lot size requirements of 6,600 square feet for 1-unit and 8,000 square feet

**124 YORK AVENUE
MICHAEL AND KIMBERLY SOUTHERN
AREA VARIANCE APPLICATION**

for 2-units. The proposed subdivision would create two lots of 5,298 square feet (48ft x 110ft) with a 48-foot average lot width. The applicants seek relief from City Zoning Ordinance Section 2.3's minimum lot size requirements through two small 20% variances. As set forth in Section 8.3.1 of the City's Zoning Ordinance the test for an area variance is as follows:

1. Whether the benefit sought by the applicant can be achieved by other feasible means

Any additional land for the applicants' proposed lots to be conforming would necessarily have to come from their neighbors. However, the land to the southwest (Mark Dillon 166.46-3-3.1) is 52ft x 96ft (or 4,992 square feet) is already undersized and therefore any sale would only create further non-conformance of his lot. The land to the southeast (Anne Boyer 166.46-3-38) is 70ft x 100ft (or 7,000 feet), which means that there is only 400 feet available before there would be a resulting non-conformance. The land to the northeast (Robert and Eileen Christopher 166.46-3-4) is already significantly undersized at 5754 square feet with a two family residence (Code requires 8000 square feet) for which any sale would only compound the existing non-conformance. The land to the northwest (Geraldine Dorey 166.46-3-6) has a square footage of 7837 which leaves only 1,237 square feet available before the lot becomes non-conforming.

As noted above, the combined lots of the applicants require additional lands totaling 2,603 square feet for compliance and there is no neighbor (or combination of neighbors) with enough available lands for sale. The total available land solely based upon minimum lot size is 1637 before neighboring lots become non-conforming which is simply not sufficient for the proposal. Furthermore, the additional implications to existing improvements, setback

**124 YORK AVENUE
MICHAEL AND KIMBERLY SOUTHERN
AREA VARIANCE APPLICATION**

limitations, and overall lot coverage would also have serious implications for any sale of neighboring land to the applicants.

As such, there is no other feasible alternative that will deliver the same benefits to the applicant.

2. Whether the variance is substantial

The relief the applicants seeks is as follows:

1. Lot 1: 1,281 square feet from the minimum lot size of 6,600 square feet (19%) and 12 feet from the minimum average lot width of 60 feet (20%).
2. Lot 2: 1,321 square feet from the minimum lot size of 6,600 square feet (20%) and 12 feet from the minimum average lot width of 60 feet (20%).

While there is no litmus test for a zoning board of appeals as to *de facto* substantiality, the applicants submit that, given the metrics of the surrounding neighborhood which is overwhelming out of conformance in amounts far in excess of 20%, the relief sought in this application is not substantial in nature.

3. Whether granting the variance will produce an undesirable change in the character of the neighborhood or a detriment to nearby properties.

In assessing the merits of a request for relief, the applicants undertook an exhaustive analysis of the properties within approximately 700 feet of the Property in order to empirically

**124 YORK AVENUE
MICHAEL AND KIMBERLY SOUTHERN
AREA VARIANCE APPLICATION**

determine the “character of the neighborhood¹.” In all, the applicants reviewed records for 121 properties within study area and the results are as follows:

- a. Only 9 properties of 121 are conforming in both average lot width and minimum lot size or 7.44%. This results in a non-conformance rate of 92.56%.
- b. Only 9 properties of the 121 are conforming in minimum lot size (or 7.44%) which results in a non-conformance rate of 92.56%.
- c. 29 properties of the 121 examined are conforming in average lot width, thereby resulting in a non-conformance rate of approximately 76%.
- d. Lots with less than 5300 square feet in size totaled 52 (or 43%).

The character of the neighborhood is reflective of the subdivision design over the course of many, many years resulting in the most common lot configuration of 50 ft. of lot width. In fact, 66% of the homes have a frontage between 40 feet and 52 feet². As such, the relief the applicants seek is in no way out of character with the surrounding neighborhood and, as noted by the deed history, intentional in the description of two lot which would have been 50 ft. x 110 ft. in the original configuration.

As the applicants propose to keep the existing single-family home and erect one small bungalow on the new lot, there is nothing proposed which is outside the scope and impact of the

¹ The applicants have compiled data on 121 homes in and around the York Avenue property as demonstrative of the neighborhood in general. The area along Lake Avenue was not examined as that road is the primary east-west corridor through the City and reflective of a different character. The properties examined in the applicants’ analysis were largely taken from York Avenue, Middle Avenue, Avery Street, James Street, North Street, and Warren Street. The Average Lot Width, Lot Size, Frontage and Use were all examined as part of the data collection process. The information was taken directly from municipal records on www.saratogasprings.oarsystem.com or www.maphost.com/saratoga.

² This number increases significantly is the corner lots are removed, as they receive the benefit of lot width/frontage calculations which are different from interior lots.

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92% of non-conforming surrounding homes. The neighbors on two sides have significantly non-conforming lots which are consistent with the historic density of this neighborhood; dating back to the 1800s. In fact, the applicants posit that a home on the newly created lot will create uniformity in the neighborhood layout which presently has the absence of a home along Middle Avenue which looks “off” due to the appearance of an empty lot.

4. Whether the variance will have adverse physical or environmental effects on neighborhood or district

Due to the *de minimus* nature of the relief requested, there will be no adverse physical or environmental effects on the neighborhood.

5. Whether the alleged difficulty was self-created

As noted extensively above, the applicants cannot make the argument that their lots were on two separate deeds prior to the institution of zoning in the 1960s. As such, the argument of a pre-existing non-conforming lot is unavailable to them. However, the applicants submit compelling historical data which demonstrates the recitation of two lots on a single deed in the chain of title which is traced to the applicants’ grandfather and grandmother. Since 1947, the Property has not been outside the Southern family and was most recently conveyed as a result of Jean Southern’s death. While the applicants must acknowledge self-created hardship in the strictest reading of the law, they ask that the Board consider all the information as grounds to determine that such self-creation is not fatal to an application for these area variances.

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C. Recent Precedents

In 2015, the Board granted similar relief to an owner in similar circumstances at 10 Avery Street (#2385) in area variances for two substandard lots within this same neighborhood. Nearly identical relief is requested by the applicants for lot width as was granted for Avery Street at 17% (60ft to 50ft). However, the applicants acknowledge that the minimum lot size relief is more than was granted in the Avery Street variances, but do note for the Board that the reasoning for the relief is largely the same, i.e. unintended merger of lots on a single deed, neighborhood which is nearly 100% out of conformance with the zoning requirements, proposed lot sizes which are in conformance with nearly half of the residences, available municipal water and sewer, access onto Middle Avenue, and the inability to purchase land from adjoining neighbors. For all these reasons, we ask the Board to consider the precedential effect of the Avery Street variances for minimum lot size and average lot width.

D. Photographs

124 York Avenue (Southwest exposure):



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129 Middle Avenue: Southwest adjoining neighbor



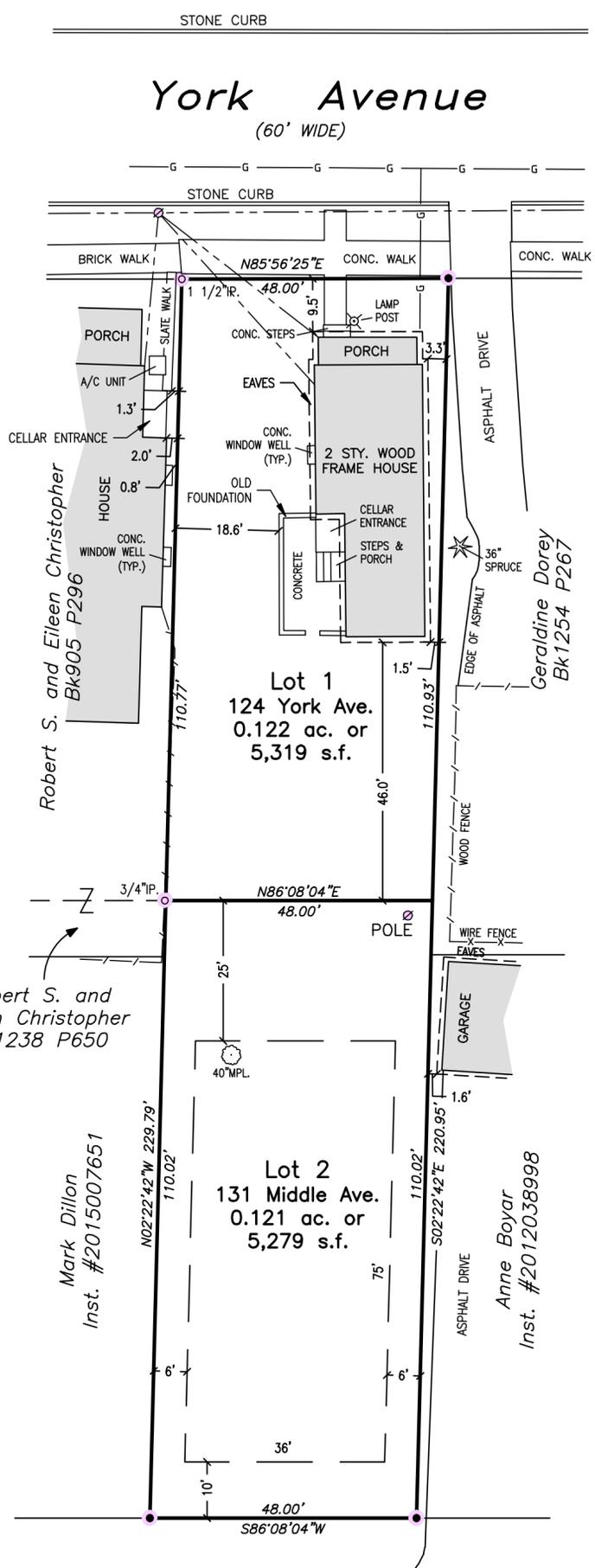
147 Middle Avenue: Southeast adjoining neighbor



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Middle Avenue View with proposed Lot 2:





Map Legend

- 5/8" steel rod set with a tag
- o marker found, labeled
- ∅ utility pole
- overhead wires
- - - - - wood fence

Map References:

1. "Map of Lands on New York and Lake Avenues belonging to William L.F. Warren" dated July 1, 1860 filed in the Saratoga County Clerk's Office in Map File Number W-58.
2. "Map of Lots Belonging To The Estate of Lucy C. Lester" filed April 1, 1922 prepared by Samuel Mott, CE filed in the Saratoga County Clerk's Office in Map File Number Card 1; Pocket 6; Folder 3.
3. "Survey of Lands of Wilbur L. and Rose Pratt" dated May 2, 1985 prepared by W. Bruce Hawks, L.S.
4. "Lands of Christopher, prepared for Robert S. and Eileen Christopher" dated December 7, 1978 prepared by Peter Kent Engineers.

Deed Reference:

Kimberly R. Southern and Michael P. Southern dated August 28, 2014 filed in the Saratoga County Clerk's Office in Instrument Number 2014027776.

Total Area= 0.243 ac. or 10,597 s.f.

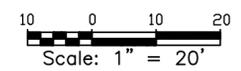
Middle Avenue (40' WIDE) UR-3 AREA REQUIREMENTS

Zoning District	Minimum Lot size Square Feet	Mean Average Width (feet)	Maximum Percent of Lot to be Occupied		Minimum Yard Dimensions				Principal Buildings		Accessory Building Minimum Distance to				
			Principal Building	Accessory Building	Front (feet)	Rear (feet)	Each Side (feet)	Total Side (feet)	Minimum First Floor Area (square feet)	Maximum Height (feet)	Principal Building (feet)	Front Lot Line (feet)	Side Lot Line (feet)	Rear Lot Line (feet)	Minimum Percent of Lot to be Permeable
UR-3	6,600 1-unit / 8,000 2-unit	60 1-unit / 80 2-unit	30	10	10	25	4	12	1 Story=1,200 2 Story=800	60	5	10	5	5	25

Unauthorized alteration or addition to a survey map bearing a licensed Land Surveyor's Seal is a violation of Section 7209 subdivision 2 of the New York State Education Law.

Only apparent easements (if any) are shown on this survey. No abstract of title was available.

DATE	REVISION



Proposed Subdivision
Kimberly R. and Michael P. Southern
Situate at
124 York Avenue
City of Saratoga Springs, Saratoga County NY

12 Lake Avenue
 Saratoga Springs,
 NY, 12866



DATE: Sept. 22, 2016
 TAX MAP: 166.46-3-5
 JOB NUMBER: S14-191.17

Variance for property 124 York Ave - #2925 SOUTHERN SUBDIVISION

From : mark dillon [REDACTED]

Fri, Nov 04, 2016 02:41 PM

Subject : Variance for property 124 York Ave - #2925 SOUTHERN SUBDIVISION**To** : lindsey gonzalez <lindsey.gonzalez@saratoga-springs.org>**Cc** : 'mark dillon' <mdillon@natek.com>, 'debbie dillon' <ddillon@natek.com>

Dear Zoning Board of Appeals:

My name is Mark Dillon and am the property owner of [REDACTED] Middle Avenue. I am writing in response to a Public Hearing Notification letter from Kimberly & Michael Southern who have applied for a variance on their property at 124 York Avenue. I understand that the public hearing on this application will be on Nov. 7th. I am submitting this written response in case I am unable to attend as I will be out of the area. It is my intention to attend if I am back in time for the meeting but would like the board know of my concerns if I am not.

My wife and I purchased the property at [REDACTED] Middle Avenue two years ago for many reasons: one being the location to the City and also due to the parcel next to us which is part of 124 York, was too small to build on or be subdivided. This is a property that has been this way since 1875.

We are not opposed to variances in general as they may necessary as to the special conditions to a particular piece of property that would create an undue hardship. I would hope that if I ever needed one I would be afforded the opportunity to seek one that was absolutely necessary.

The applicants have previously remodeled the existing house and now are seeking to add another structure/home to the premises. The proposed variance seeks to decrease the setbacks by 12ft on each lot and reduce the lot sizes by approximately 1,200 square feet. Such proposed lot sizes would be approximately 18% less than currently required. I certainly would have no issue if they were seeking a minimal variance due to the nature of the property. However, in this case the applicants are asking to split the parcels, add a new home and ask for a large variance both in setbacks and lot sizes, which is self-created.

We would be against the proposed two lot subdivision with the current plans for a new home to be constructed with the setbacks as proposed absent a showing of undue hardship.

Granting the variance as proposed would set a precedent that would allow for future property owners to squeeze in more than what is allowed and seeming only benefit said property owner.

Thank you for allowing me an opportunity to comment on the proposal.

Regards,

Mark and Debbie Dillon

Property owner at [REDACTED] middle ave.

[REDACTED]
