



Advance Engineering & Surveying, PLLC

Consulting in: Civil & Environmental Engineering • Land Surveying • Land Development
11 Herbert Drive
Latham, N.Y. 12110

Nicholas Costa, PE
John P. Petrucco, LS

October 20, 2016

Ms. Kate Maynard, Principal Planner
City of Saratoga Springs
Office of Planning and Economic Development
City Hall
474 Broadway
Saratoga Springs, NY 12866

Re: Special Use Permit for
Mixed Use Development
at West Avenue, Saratoga Springs, NY

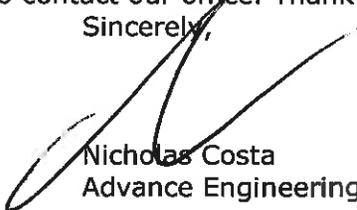
Dear Ms. Maynard:

As per our conversation with regards to the Special Use Permit for the above referenced project site we are enclosing the following items:

1. Three (3) Application for Special Use Permit;
2. Three (3) SEQR Environmental Assessment Form;
3. Three (3) Complete Sets of Plans;
4. Three (3) Water Service Connection Agreement;
5. Review fee in the amount of \$750.00; and
6. CD with digital copy of above listed documents.

We are also enclosing the original signed Application for Site Plan review with the original signatures of the applicant and the property owner. We trust that the enclosed package is complete and will allow you to commence the review. If there are any questions or you require additional information, please do not hesitate to contact our office. Thank you for your continued assistance.

Sincerely,


Nicholas Costa
Advance Engineering & Surveying, PLLC

NC/dac
Enclosures
cc: Mr. Bill Barber, w/encl.
corres.maynard.10.20.16.docx



CITY OF SARATOGA SPRINGS

PLANNING BOARD

City Hall - 474 Broadway
Saratoga Springs, New York 12866-2296
Tel: 518-587-3550 fax: 518-580-9480
<http://www.saratoga-springs.org>

[FOR OFFICE USE]

(Application #)

(Date received)

APPLICATION FOR: **SPECIAL USE PERMIT**

(Rev: 07/2016)

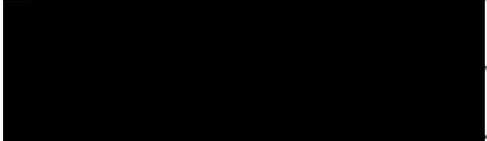
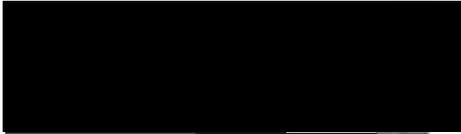
Project Name: Mixed-Use Development between 106 and 120 West Avenue

Property Address/Location: East Side of West Avenue; south of St. Charles Place; and north of Grand Avenue

Tax Parcel #: 165.72-1-25.1 Zoning District: T-5
(for example: 165.52-4-37)

Proposed Use: Mixed Use (Commercial and Residential)

Type of Special Use Permit: Permanent Temporary Renewable Modification

APPLICANT(S)*	OWNER(S) (If not applicant)	ATTORNEY/AGENT
Name <u>AB Acquisitions (Bill Barber)</u>	<u>West Ave Dev Assoc LLC</u>	<u>Nicholas Costa PE</u>
Address <u>298 Troy-Schenectady Road, Suite 201</u>	<u>120 West Ave. Suite 301</u>	<u>11 Herbert Drive</u>
<u>Latham, NY 12110</u>	<u>Saratoga Springs, NY 12866</u>	<u>Latham, NY 12110</u>
Phone 		
Email 		

Identify primary contact person: Applicant Owner Agent

* An applicant must be the property owner, lessee, or one with an option to lease or purchase the property in question.

Please check the following to affirm information is included with submission.

Sketch Plan Attached:
Applicant is encouraged to submit sketch plans showing features of the site and /or neighborhood and illustrate proposed use.

Environmental Assessment Form:
All applications must include a completed SEQR Short or Long Form. SEQR Forms can be completed at <http://www.dec.ny.gov/permits/6191.html>.

Water Service Connection Agreement- For all projects including new water connections to the City system, a copy of a signed water service connection fee agreement with the City Department of Public Works is required and **MUST** be submitted with this application.

Application Fee: \$750.00 \$250-modifications (check box)
A check for the total amount made payable to: "Commissioner of Finance" **MUST** accompany this application.

3 hard copies (*1 signed original) and one electronic copy (PDF) of complete application and ALL attachments.

Submission Deadline - Check City's website (www.saratoga-springs.org) for application deadlines and meeting dates.

Does any City officer, employee or family member thereof have a financial interest (as defined by General Municipal Law Section 809) in this application? YES NO . If YES, a statement disclosing the name, residence, nature and extent of this interest must be filed with this application.

I, the undersigned owner, leasee or purchaser under contract for the property, hereby request Special Use Permit approval by the Planning Board for the identified property above. I agree to meet all requirements under Section 240-7.1 of the Zoning Code of the City of Saratoga Springs.

Furthermore, I hereby authorize members of the Planning Board and designated City staff to enter the property associated with this application for purposes of conducting any necessary site inspections relating to this application.

Applicant Signature: 

Date: 10/20/16

If applicant is not current owner, owner must also sign.

Owner Signature: 

Date: 10/20/16

Short Environmental Assessment Form

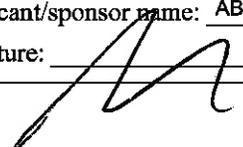
Part 1 - Project Information

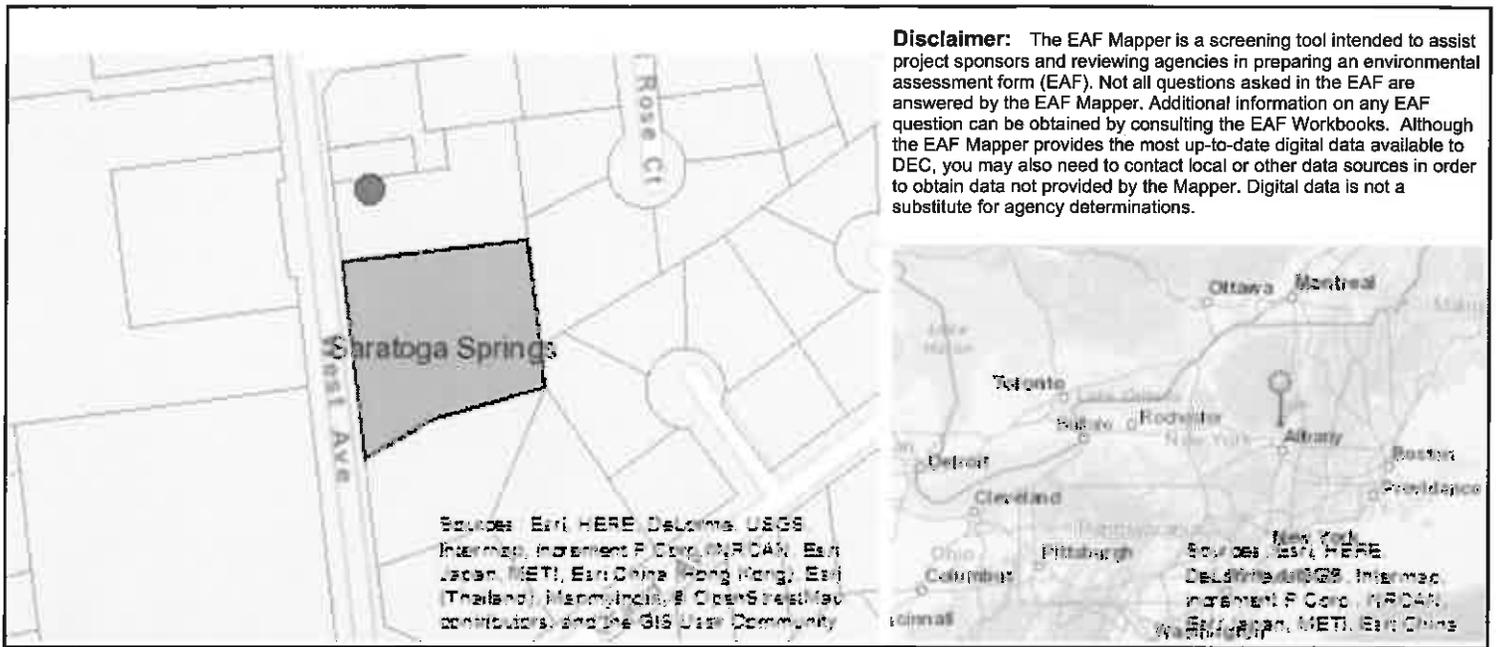
Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: Mixed-Use Development between 106-120 West Avenue			
Project Location (describe, and attach a location map): Between 106-120 West Avenue, Saratoga Springs, NY			
Brief Description of Proposed Action: Construction of Mixed Use Building with retail and residential space			
Name of Applicant or Sponsor: AB Acquisitions (Bill Barber)		Telephone: [REDACTED]	
		E-Mail: [REDACTED]	
Address: 298 Troy-Schenectady Road			
City/PO: Latham		State: NY	Zip Code: 12110
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval: City of Saratoga Springs Building Department - Building Permit			YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		1.148+/- acres	
b. Total acreage to be physically disturbed?		1.14+/- acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		1.148+/- acres	
4. Check all land uses that occur on, adjoining and near the proposed action.			
<input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other (specify): _____			
<input type="checkbox"/> Parkland			

<p>18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)?</p> <p>If Yes, explain purpose and size: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p> <p>_____</p>	<p>NO</p> <p><input checked="" type="checkbox"/></p>	<p>YES</p> <p><input type="checkbox"/></p>
<p>I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor name: <u>AB Acquisitions</u> Date: <u>09.21.16</u></p> <p>Signature: <u> N. Costa AGENT FOR APPLICANT</u></p>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National Register of Historic Places]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	No
Part 1 / Question 16 [100 Year Flood Plain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
Part 1 / Question 20 [Remediation Site]	No



City of Saratoga Springs
OFFICE OF PUBLIC WORKS
 5 Lake Avenue
 Saratoga Springs, New York 12866

ANTHONY J. SCIROCCO
 COMMISSIONER
 TIMOTHY J. COGAN
 DEPUTY COMMISSIONER

Phone 518-587-3550 ** Fax 518-587-2417
 www.saratoga-springs.org

NEW WATER SERVICE CONNECTION
AGREEMENT & APPLICATION FORM

Property Owner's Name: West Ave Dev Assoc LLC

Project Name (if applicable): Mixed-Use Development between 105 and 120 West A

Property Address: East Side of West Avenue; south of St. Charles Place; and north of Grand Avenue

Tax Map#: 165.72-1-25.1

Size of Tap (check one below):

3/4" 1"

Greater than 1"

A unit of water shall be defined as fourteen thousand (14,000) cubic feet of water per year.

Contact the Water Dept at ext. 2502 for assistance with water use estimation and meter specifications before signing below.

Number of Dwellings: _____

Estimated Cubic Feet of Water per Year: 406,510

To be completed in full without any contingencies or protest, on or before the Building Inspector approval of the rough plumbing, including the installation of the water meter, or at the time of the issuance of a tapping permit.

The undersigned represents to the City that they have full and complete authority to execute this document and bind and commit the developer to abide by the City Water Ordinance. This agreement shall be binding on all of the undersigned transferees.

The undersigned acknowledges that a copy of this document will be delivered to all appropriate and necessary governmental entities.

Authorized Signature: [Signature] Company Name: AB Acquisitions

Company Address: 298 Troy-Schenectady Road, Suite 201, Latham, NY 12110

Phone Number: [Redacted] Fax Number: _____ Date: 10-20-2016

Department of Public Works Approval: [Signature] Date: 10/20/16

PRELIMINARY ENGINEERING PLANS FOR:

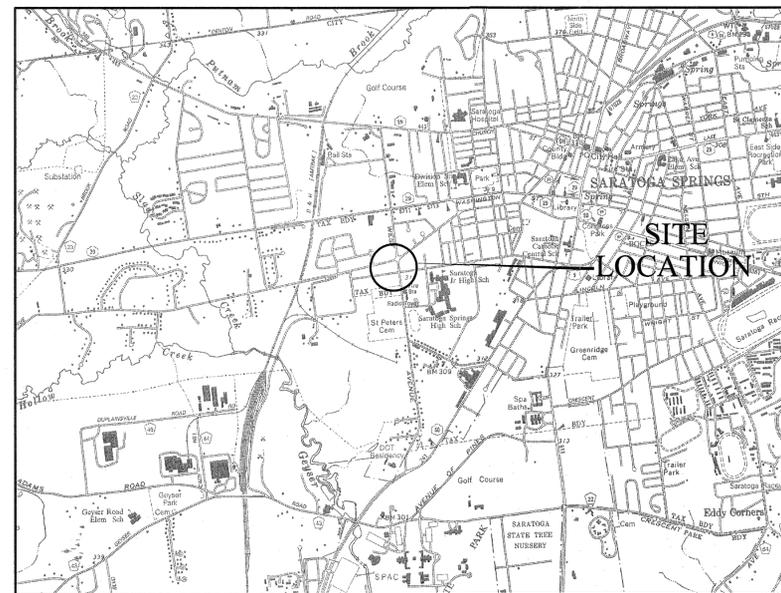
MIXED USE DEVELOPMENT

WEST AVENUE

CITY OF SARATOGA SPRINGS * SARATOGA COUNTY * NEW YORK

SEPTEMBER 2016

SHEET INDEX:		
SHEET 1	COVER	COVER SHEET
SHEET 2	EXIST	EXISTING CONDITIONS & REMOVALS
SHEET 3	SITE	SITE PLAN
SHEET 4	GRD	GRADING & UTILITY PLAN
SHEET 5	LNDSC	LANDSCAPE & LIGHTING PLAN
SHEET 6	DET - 1	CONSTRUCTION DETAILS - 1
SHEET 7	DET - 2	CONSTRUCTION DETAILS - 2
SHEET 8	DET - 3	CONSTRUCTION DETAILS - 3
SHEET 9	DET - 4	CONSTRUCTION DETAILS - 4
SHEET 10	ERO	EROSION CONTROL PLAN



APPLICANT:
 AB ACQUISITIONS, LLC
 298 TROY SCHENECTADY RD.
 LATHAM, N.Y. 12110

OWNER:
 WEST AVENUE DEVELOPMENT
 ASSOCIATES, LLC
 120 WEST AVENUE, SUITE 201
 SARATOGA SPRINGS, N.Y. 12866

CITY OF SARATOGA SPRINGS



NO.	REVISION	BY	DATE
A	ISSUED FOR SKETCH PLAN REVIEW	R.D.D. N.C.	4-25-16
B	ISSUED FOR SITE PLAN REVIEW	R.D.D. N.C.	9-9-16

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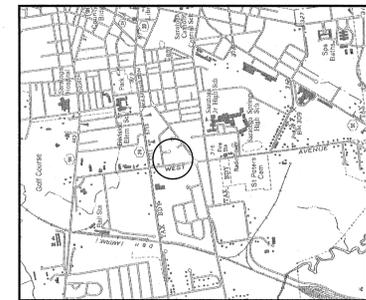
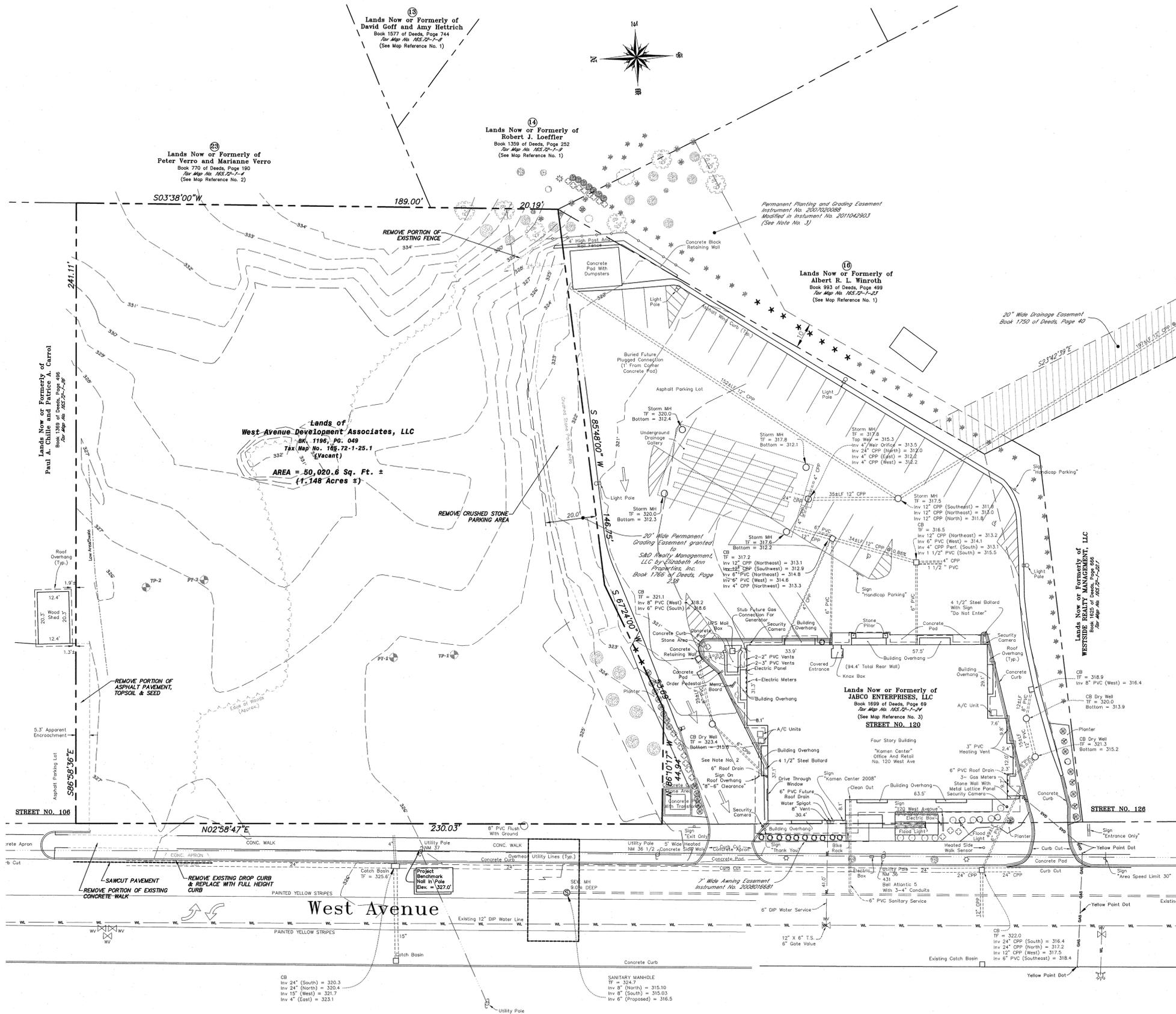


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 E-MAIL: nicostap@att.net



COVER SHEET
MIXED USE DEVELOPMENT
 WEST AVENUE CITY OF SARATOGA SPRINGS
 COUNTY OF SARATOGA NEW YORK
 SCALE: NONE SHEET 1 OF 9
 DATE: SEPTEMBER, 2016

SHEET NO.
COVER
 1 OF 10 16046-SITE



SITE LOCATION MAP
1" = 2000'

SURVEY NOTES:

1. BASE MAPPING INFORMATION SHOWN HEREON WAS PERFORMED BY VAN DUSEN & STEVES LAND SURVEYORS AND DOES NOT CONSTITUTE A SURVEY CONDUCTED BY ADVANCE ENGINEERING & SURVEYING, PLLC.
2. TAX MAP DESIGNATION: 165.72 - 1 - 25.1.

SITE SOILS DATA:

Test Pits dug on 8/9/16

TP#1
0-8" topsoil
8-24" Brown fine sandy loam
24-42" clinders, brick, conc block, etc.
42-76" Reddish brown sandy loam, bottom layer wet
76-84" gray clay
76" groundwater

TP#2
0-16" Dark brown sandy loam topsoil
16-48" Light brown fine sandy loam
48-84" Reddish brown fine sandy loam
84-96" Reddish brown fine sandy loam, wet
96" Gray clay (wet)

PT#1
Tested from 4-6" in the reddish brown sandy loam
With a 4" diameter PVC pipe 30" in length
Presoaked hole for 1 hour, refilling pipe after water level dropped 6-12"
Rate: 1.5 minutes for 6" drop

PT#2
Tested from 5-7" in the reddish brown sandy loam
With a 4" diameter PVC pipe 30" in length
Presoaked hole for 1 hour, refilling pipe after water level dropped 6-12"
Rate: 1.0 minutes for 6" drop

ZONING REQUIREMENTS:

ZONE: T-5 (NEIGHBORHOOD CENTER)

BUILD TO DISTANCE FROM FRONT LOT LINE: 0-12 FT.

SIDE SETBACK: 0 FT. MIN.

REAR SETBACK: 0 FT. MIN.

BUILDING HEIGHT: 2 STORY MIN., 50 FT. MAX.

MIN. BUILD OUT ALONG FRONTAGE: 70%

APPLICANT:

AB ACQUISITIONS, LLC
298 TROY SCHENECTADY RD.
LATHAM, N.Y. 12110

OWNER:

WEST AVENUE DEVELOPMENT ASSOCIATES, LLC
120 WEST AVENUE, SUITE 201
SARATOGA SPRINGS, N.Y. 12866

CITY OF SARATOGA SPRINGS



NO.	REVISION	DATE
A	ISSUED FOR SKETCH PLAN REVIEW	4-25-16
B	ISSUED FOR SITE PLAN REVIEW	9-9-16

ADVANCE ENGINEERING & SURVEYING, PLLC
100 WEST AVENUE, SUITE 201
SARATOGA SPRINGS, NY 12866
PHONE: (518) 885-3172
E-MAIL: info@aesny.com



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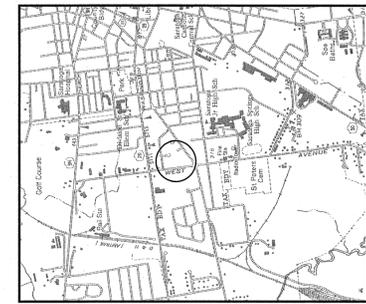


**EXISTING CONDITIONS & REMOVALS
MIXED USE DEVELOPMENT**

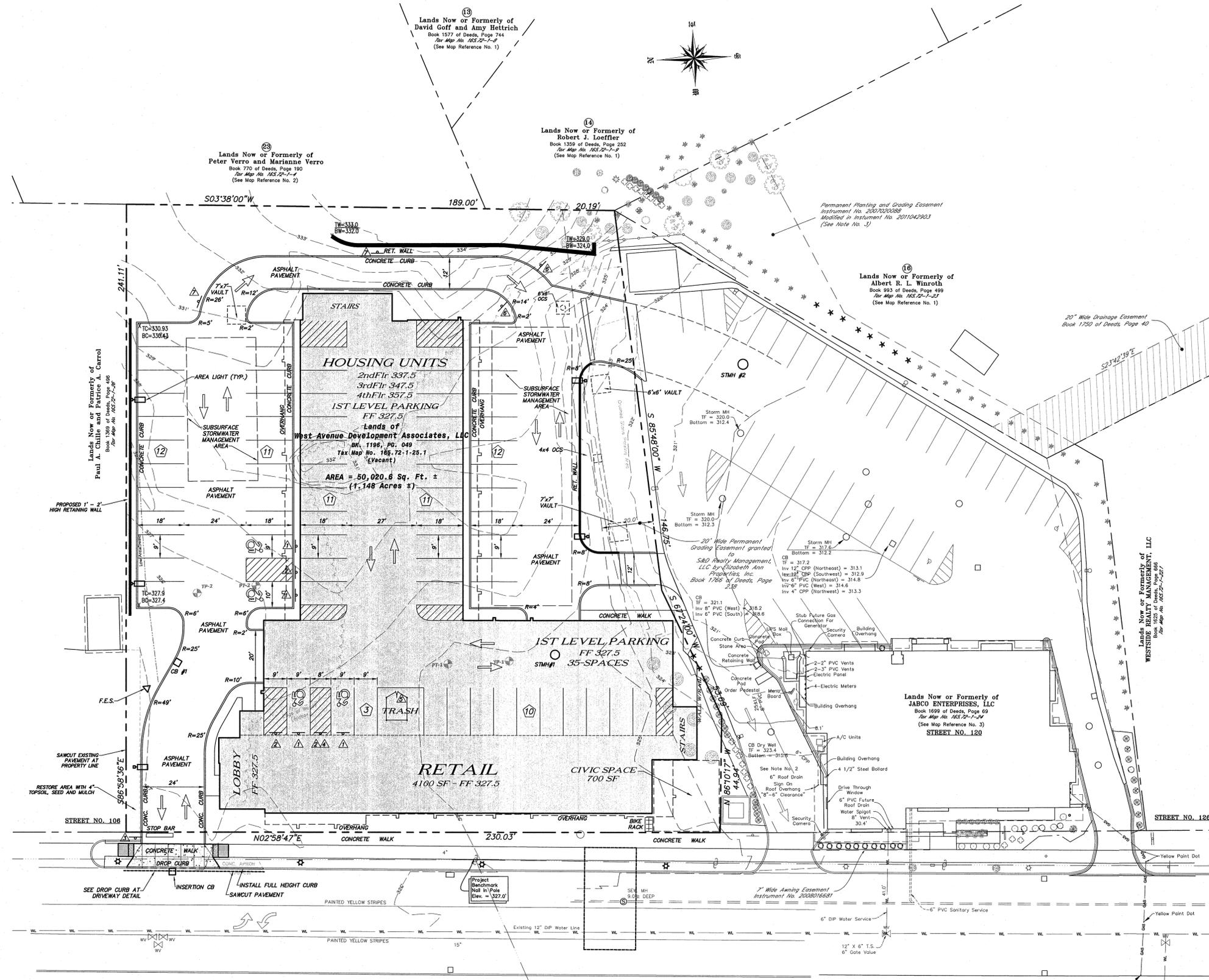
WEST AVENUE
CITY OF SARATOGA SPRINGS
COUNTY OF SARATOGA
NEW YORK

SCALE: 1" = 20'
SHEET ZOF-9

DATE: SEPTEMBER, 2016



SITE LOCATION MAP
1" = 2000'



PARKING REQUIREMENTS:

- RETAIL REQUIREMENT**
1 SPACE PER 300 SF OF FLOOR AREA
4100 SF FLOOR AREA = 14 SPACES REQUIRED
- HOUSING REQUIREMENTS:**
1.5 SPACES / UNIT
36 UNITS = 54 SPACES REQUIRED
- PARKING PROVIDED:**
70 SPACES (INCLUDES 4 HANDICAP)

SITE DEVELOPMENT DATA

	EXISTING
LOT AREA	50,020 SF = 1.15 ACRES
PROPOSED TOTAL IMPERVIOUS AREAS	
BUILDING ROOF AREA	23,990 SF
ASPHALT PAVEMENT & CONCRETE SURFACES	17,545 SF
TOTAL IMPERVIOUS	41,535 SF
PERCENT IMPERVIOUS	83%

SITE SETBACKS

	REQUIRED FOR T-5 ZONE	PROPOSED
FRONT	0-12 FT.	0.4 FT.
NORTH SIDE	0 FT. MIN.	31.9 FT.
SOUTH SIDE	0 FT. MIN.	1.2 FT.
REAR	0 FT. MIN.	30.9 FT.

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120 WEST AVENUE, SUITE 201
SARATOGA SPRINGS, N.Y. 12866

CITY OF SARATOGA SPRINGS

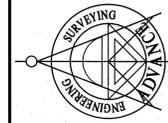


NO.	REVISION	DATE
A	ISSUED FOR SKETCH PLAN REVIEW	4-25-16
B	ISSUED FOR SITE PLAN REVIEW	9-2-16

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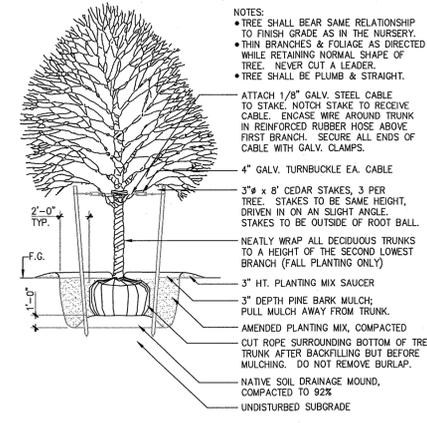
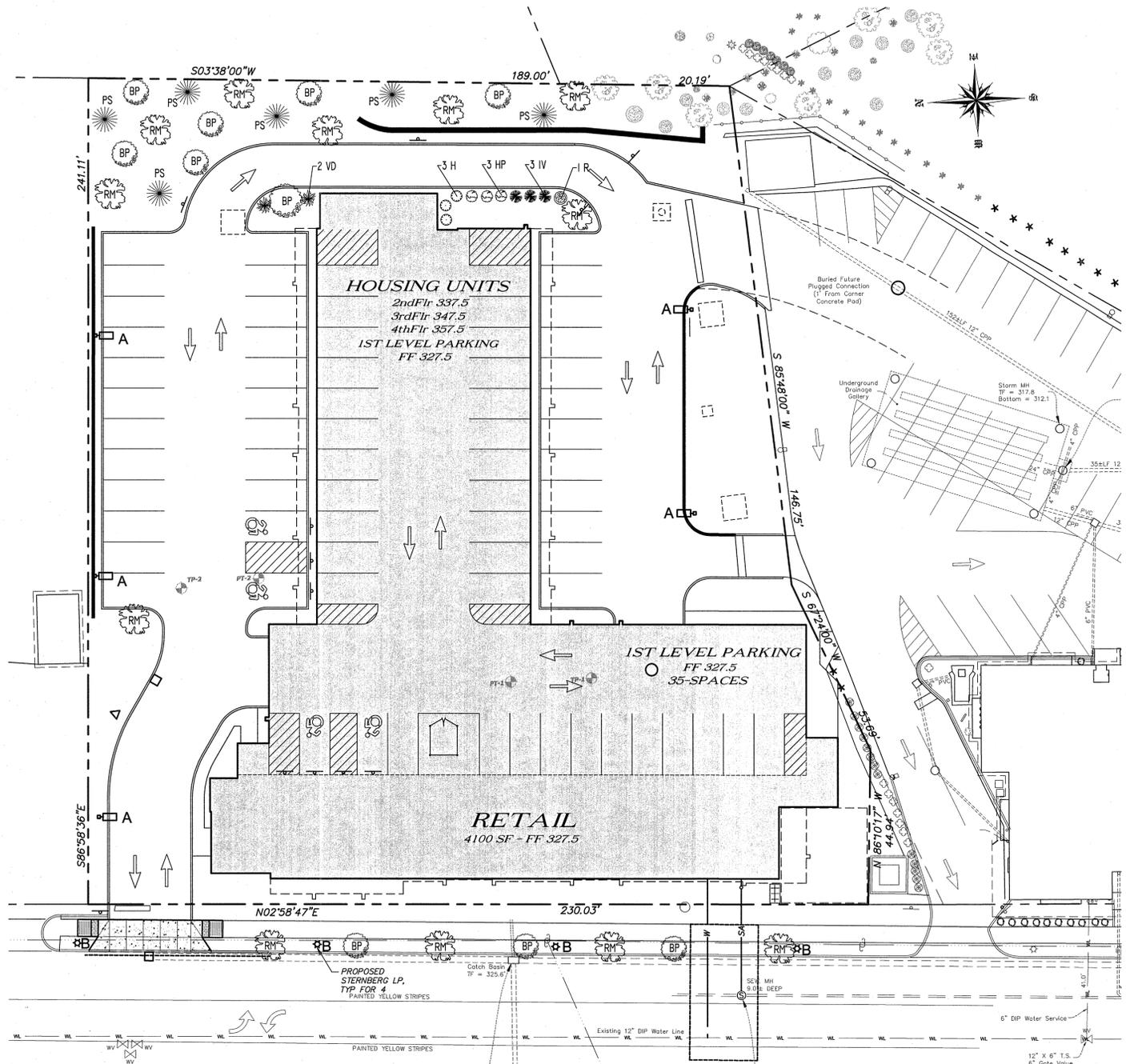


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E-MAIL: ncosta@aesllc.com

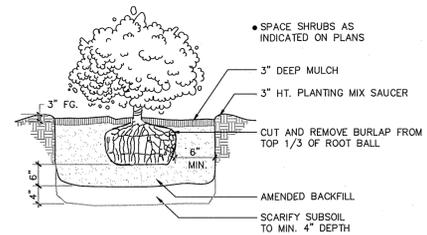


SITE PLAN
MIXED USE DEVELOPMENT
WEST AVENUE CITY OF SARATOGA SPRINGS
COUNTY OF SARATOGA NEW YORK
DATE: SEPTEMBER, 2016
SCALE: 1" = 20'
SHEETS OF 9

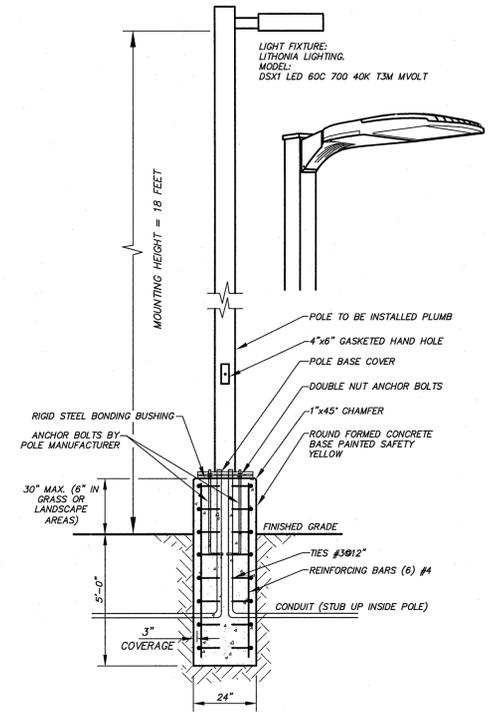
SHEET NO.
SITE
3 OF 10 16046-SITE



DECIDUOUS TREE PLANTING
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE

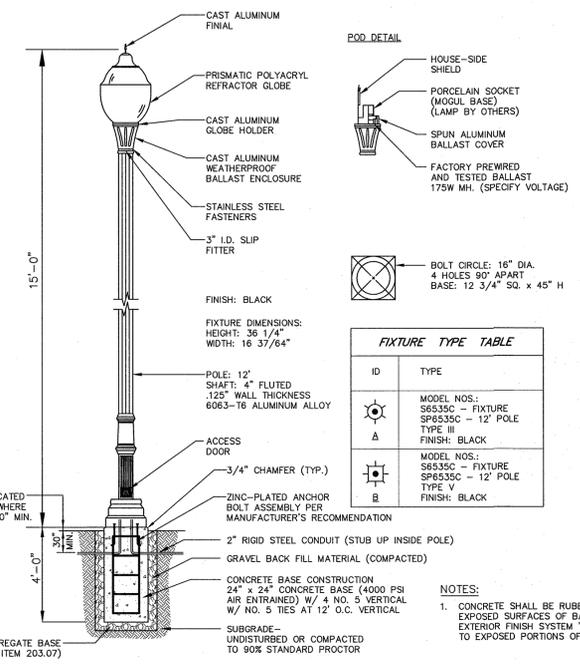


- NOTES:**
1. CONDUITS AND GROUNDING SHALL BE AS REQUIRED BY THE ELECTRICAL DESIGN.
 2. ALL CONCRETE SHALL BE 3000 PSI @ 28 DAYS.
 3. DESIGNED FOR 90 MPH WIND WITH FIXTURE OF 13 SF.
 4. FOUNDATION DIAMETER AND REINFORCING CIRCLE SHALL BE COORDINATED WITH ANCHOR BOLT LIMITS.
 5. FOUNDATIONS SHALL BEAR ON UNDISTURBED NATURAL SOIL OR COMPACTED CRUSHED STONE.
 6. ALL EXCAVATIONS SHALL BE BACKFILLED WITH STRUCTURAL FILL AND COMPACTED TO 95% OR MAXIMUM MATERIAL DENSITY.
 7. EXPOSED AREAS OF CONCRETE AND ONE FOOT MIN. BELOW FINISHED GRADE SHALL BE FORMED.

LIGHT FIXTURE AND POLE BASE DETAIL - A (ON-SITE)
NO SCALE

SITE PLANTING SCHEDULE

PLANT (COMMON)	PLANT (BOTANICAL)	SYMBOL	SIZE	QUANTITY	SPACING
BRADFORD PEAR	PYRUS CALLERYANA	BP	2 1/2" CAL. - 6'-8"	10	AS SHOWN
RED MAPLE	ACER RUBRUM "KARPIK"	RM	2 1/2" CAL. - 6'-8"	12	AS SHOWN
WHITE SPRUCE	PICEA GLAUCIA	PS	5' - 6" HEIGHT	6	AS SHOWN
ENDLESS SUM. HYD.	HYDRANGEA MACROPHYLLA	H	CONT. #5	3	AS SHOWN
PEE GEE. HYDRANGEA	HYDRANGEA PANICULATA	HP	CONT. #5	3	AS SHOWN
SWEETSPIRE L. HENRY	ITEA VIRGINICA	IV	CONT. #5	3	AS SHOWN
OLGA RHODODENDRON	RHODODENDRON SMALL LEAF	R	CONT. 24-30"	1	AS SHOWN
VB. "BLUE MUFFIN"	VBURNUM DENTATUM	VD	CONT. #7	2	AS SHOWN



LIGHT FIXTURE AND POLE BASE DETAIL - B (WITHIN R.O.W)
NO SCALE

Luminaire Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	X	Lithonia Lighting	DSX1 LED WITH (2) 20 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 700 mA	DSX1 LED WITH (2) 20 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 700 mA	DSX1_LED_40C_700_40K_T3M_MVOLT.IES	8920.182	0.9	178



CITY OF SARATOGA SPRINGS

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AB ACQUISITIONS, LLC
298 TROY SCHENECTADY RD.
LATHAM, N.Y. 12110

OWNER:
WEST AVENUE DEVELOPMENT ASSOCIATES, LLC
120 WEST AVENUE, SUITE 201
SARATOGA SPRINGS, N.Y. 12866

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PHONE: (518) 698-3772
E-MAIL: ncostello@aei.net

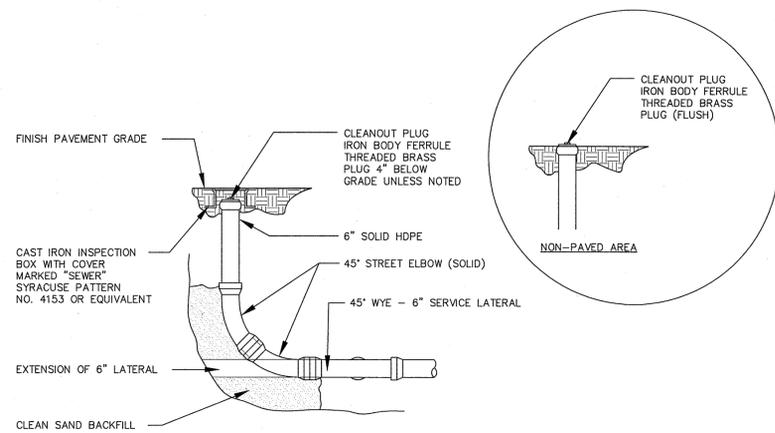
LANDSCAPE & LIGHTING PLAN
MIXED USE DEVELOPMENT

WEST AVENUE CITY OF SARATOGA SPRINGS
COUNTY OF SARATOGA NEW YORK

DATE: SEPTEMBER, 2016
SCALE: 1" = 5' 0"
SHEET 5 OF 9

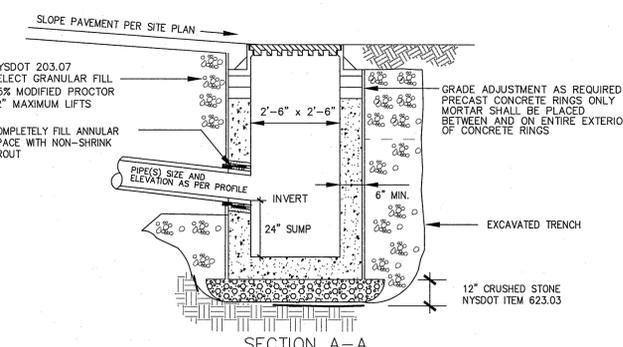
SHEET NO.
LNDSO
5 OF 10 16046-SITE

NO.	REVISION	BY	DATE
A	ISSUED FOR SKETCH PLAN REVIEW	R.D.D.	4-25-16
B	ISSUED FOR SITE PLAN REVIEW	R.D.D.	9-9-16



SANITARY CLEAN OUT DETAIL

N.T.S.

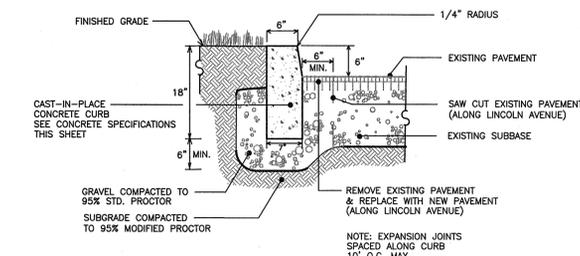


CATCH BASIN DETAIL

N.T.S.

TYPE 1 CURB - CAST-IN-PLACE CONCRETE

N.T.S.

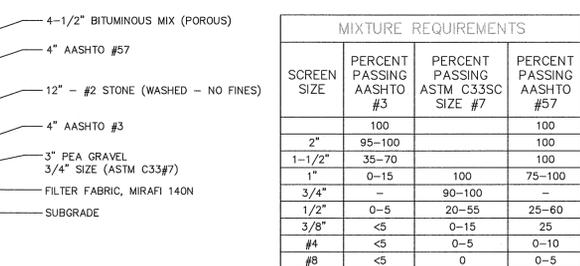


TYPICAL TRENCH DETAIL

N.T.S.

ITEM	DEPTH	MATERIAL	NYS DOT ITEM NO.	METHOD OF PLACEMENT
PIPE ZONE BEDDING (ENCOUNTERED DRY COND.)	6" MIN.	CRUSHED STONE	203.07	MECHANICAL COMPACTION
PIPE ZONE BEDDING (ENCOUNTERED WET COND.)	6" MIN.	CRUSHED STONE	623.03	MECHANICAL COMPACTION
PIPE ZONE BEDDING (HAUNCHING)	PIPE O.D./2	CRUSHED STONE	203.07	MECHANICAL COMPACTION
PIPE ZONE BACKFILL	12" MIN. COVER	SELECT BORROW	203.05	MECHANICAL COMPACTION
FINAL TRENCH BACKFILL	VARIES	SEE NOTE 1	SEE NOTE 1	MECHANICAL COMPACTION
TRENCH & CULVERT EXCAVATION	VARIES	N/A	206.04	N/A

- NOTES:
- FINAL TRENCH BACKFILL
 - IN NON-PAVED AREAS, FINAL TRENCH BACKFILL SHALL BE EXCAVATED MATERIAL WHEN DETERMINED SUITABLE BY THE ENGINEER OF RECORD; OTHERWISE IT SHALL BE SELECT GRANULAR FILL (NYS DOT ITEM 203.07), MIN. MOD. PROCTOR DENSITY SHALL BE 85 PERCENT.
 - IN PAVED AREAS, FINAL TRENCH BACKFILL SHALL BE SELECT GRANULAR FILL (NYS DOT ITEM 203.07), MIN. MODIFIED PROCTOR DENSITY SHALL BE 95 PERCENT.
 - ALL PIPE ZONE BEDDING, PIPE ZONE BACKFILL, AND FINAL TRENCH BACKFILL SHALL BE PLACED IN 6 INCH MAX. COMPACTED LIFTS. ALL BEDDING AND BACKFILL MATERIALS SHALL BE MECHANICALLY COMPACTION TO THE SATISFACTION OF THE ENGINEER & PER THE REFERENCE NYSDOT SPECIFICATIONS.
 - EXCAVATION SHALL BE KEPT DRY AND DEWATERED AT ALL TIMES.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION EQUIPMENT SELECTION AND OPERATION OPERATION TO ACHIEVE REQUIRED RESULTS.
 - RESTORE PAVEMENT IN KIND PER REGULATORY AGENCY REQUIREMENTS, AS APPLICABLE.
 - ALL DIP WATERMANS AND DIP APPURTENANCES SHALL BE WRAPPED IN POLYPROPYLENE.



- NOTES:
- ALL AGGREGATE PERCENTAGES ARE BASED ON THE TOTAL WEIGHT OF THE AGGREGATE. THE ASPHALT CONTENT IS BASED ON THE TOTAL WEIGHT OF THE MIX.
 - BINDER CONTENT 5.5%, BINDER GRADE PG-64-22P.

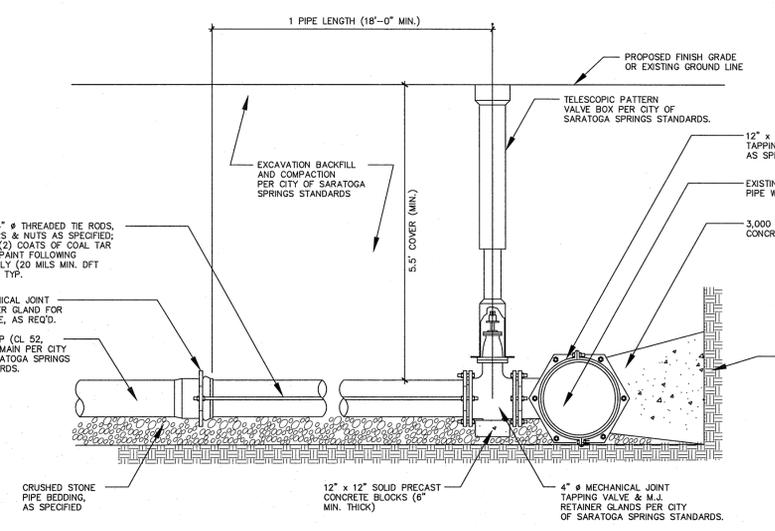
ACTIVITY	SCHEDULE
ENSURE THAT PAVED AREA IS CLEAN OF DEBRIS	MONTHLY
ENSURE THAT PAVED AREA DEWATERS BETWEEN STORMS	MONTHLY AND AFTER STORMS > 0.5"
ENSURE THAT THE AREA IS CLEAN OF SEDIMENTS	MONTHLY
MOW UPLAND AND ADJACENT AREA, AND SEED BARE AREAS	AS NEEDED
VACUUM SWEEP FREQUENTLY TO KEEP SURFACE FREE OF SEDIMENTS	TYPICALLY 3 TO 4 TIMES A YEAR
INSPECT THE SURFACE FOR DETERIORATION OR SPALLING	ANNUALLY

CONSTRUCTION GUIDELINES (PER NYS STORMWATER MANAGEMENT DESIGN MANUAL - AUGUST 2010)

- INSTALLATION PROCEDURES ARE VITAL TO THE SUCCESS OF PERVIOUS PAVEMENT PROJECTS, PARTICULARLY PERVIOUS ASPHALT AND CONCRETE PAVEMENT MIXES. THE SUBGRADE CANNOT BE OVERLY COMPACTIONED WITH THE INCLUSION OF FINE PARTICULATES OR THE VOID RATIO CRITICAL TO PROVIDING STORAGE FOR LARGE STORM EVENTS WILL BE LOST. WEATHER CONDITIONS AT THE TIME OF INSTALLATION CAN AFFECT THE FINAL PRODUCT. EXTREMELY HIGH OR LOW TEMPERATURES SHOULD BE AVOIDED DURING CONSTRUCTION OF PERVIOUS ASPHALT AND CONCRETE PAVEMENTS.
- AREAS FOR PERVIOUS PAVEMENT SYSTEMS SHALL BE CLEARLY MARKED BEFORE ANY SITE WORK BEGINS TO AVOID SOIL DISTURBANCE AND COMPACTION DURING CONSTRUCTION.
- PERVIOUS PAVEMENT AND OTHER INFILTRATION PRACTICES SHOULD BE INSTALLED TOWARD THE END OF THE CONSTRUCTION PERIOD. UPSTREAM CONSTRUCTION SHALL BE COMPLETED AND STABILIZED BEFORE CONNECTION TO ANY PERVIOUS PAVEMENT SYSTEM. A DENSE AND VIGOROUS VEGETATIVE COVER SHALL BE ESTABLISHED OVER ANY CONTRIBUTING PERVIOUS DRAINAGE AREAS BEFORE RUNOFF CAN BE ACCEPTED INTO THE FACILITY.
- SUBSURFACE ARE SHOULD BE EXCAVATED TO PROPOSED DEPTH. EXISTING SUBGRADE SHALL NOT BE COMPACTIONED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT PRIOR TO PLACEMENT OF GEOTEXTILE AND STONE BED. WHERE EROSION OF SUBGRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING, THIS MATERIAL SHALL BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES WITH A YORK RAKE OR EQUIVALENT AND LIGHT TRACTOR.
- THE BOTTOM OF THE INFILTRATION BED SHALL BE AT LEVEL GRADE.
- PLACE GEOTEXTILE AND RECHARGE BED AGGREGATE IMMEDIATELY AFTER APPROVAL OF SUBGRADE PREPARATION TO PREVENT ACCUMULATION OF DEBRIS OR SEDIMENT. PREVENT RUNOFF AND SEDIMENT FROM ENTERING THE STORAGE BED DURING THE PLACEMENT OF THE GEOTEXTILE AND AGGREGATE BED.
- PLACE GEOTEXTILE IN ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDATIONS. ADJACENT STRIPS OF FILTER FABRIC SHALL OVERLAP A MINIMUM OF 16 INCHES. FABRIC SHALL BE SECURED AT LEAST 4 FEET OUTSIDE OF BED. THIS EDGE STRIP SHOULD REMAIN IN PLACE UNTIL ALL BARE SOILS CONTIGUOUS TO BEDS ARE STABILIZED AND VEGETATED.
- AS THE SITE IS FULLY STABILIZED, EXCESS GEOTEXTILE CAN BE CUT BACK TO THE EDGE OF THE BED.

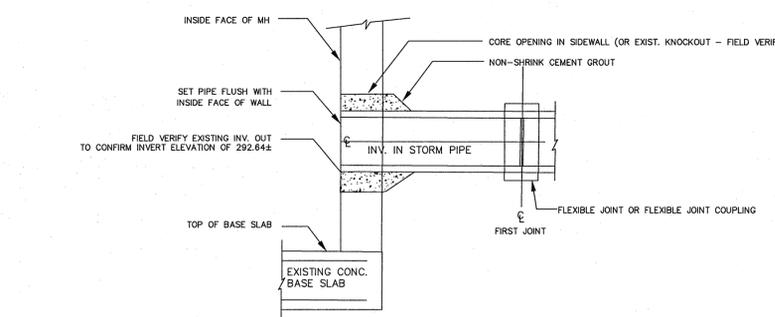
POROUS ASPHALT PAVEMENT SECTION & NOTES

N.T.S.



CONNECTION TO EXISTING WATER MAIN DETAIL

N.T.S.



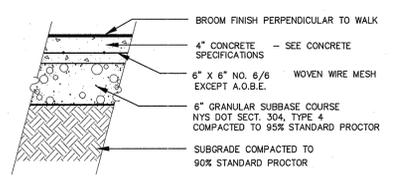
PIPE CONNECTION TO EXISTING MANHOLE DETAIL

N.T.S.

NOTES:

- EXPANSION JOINT SPACING - 20'-25' O.C.
- CONTROL JOINT SPACING - 5' O.C. NOMINAL
- CROSS SLOPE - 1/8" TO 1/4" PER FOOT (MAX. SLOPE 1:50 TYP.) TOWARDS STREET OR A.O.B.E.
- MAX. SLOPE ALONG THE LENGTH OF THE WALK SHOULD NOT EXCEED 1:12

TYPE 1 - CONCRETE WALK 5' WIDE

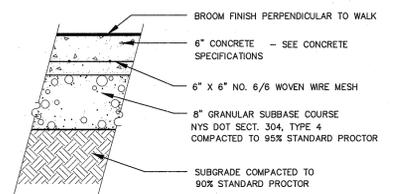


N.T.S.

NOTES:

- EXPANSION JOINT SPACING - 20'-25' O.C.
- CONTROL JOINT SPACING - 5' O.C. NOMINAL
- CROSS SLOPE - 1/8" TO 1/4" PER FOOT (MAX. SLOPE 1:50 TYP.) TOWARDS STREET OR A.O.B.E.
- MAX. SLOPE ALONG THE LENGTH OF THE WALK SHOULD NOT EXCEED 1:12

TYPE 2 - CONCRETE WALK GREATER THAN 5' WIDE



N.T.S.

CONCRETE WALK

CITY OF SARATOGA SPRINGS CONCRETE SPECIFICATIONS

THESE GENERAL CONCRETE SPECIFICATIONS SHALL APPLY TO ALL CONCRETE WORK WITHIN THE CITY OF SARATOGA SPRINGS INSTALLED WITHIN A CITY RIGHT-OF-WAY AND/OR WITHIN THE APPROVAL AUTHORITY OF THE PLANNING BOARD.

ALL CONCRETE THAT MAY COME IN CONTACT WITH DEICING CHEMICALS SHALL MEET OR EXCEED THESE MINIMUM SPECIFICATIONS.

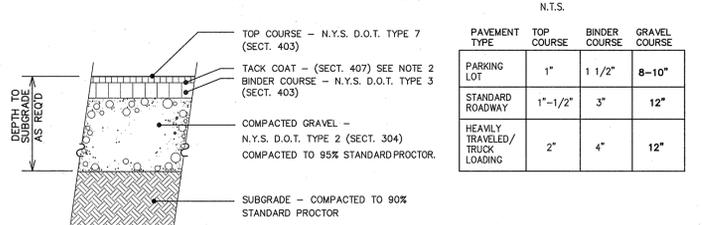
CONCRETE SHALL BE ONLY PORTLAND CEMENT CONCRETE AIR-ENTRAINED OF DURABLE MATERIALS AND SHALL HAVE (1) A LOW WATER-CEMENT RATIO (MAXIMUM 0.46), (2) A SLUMP OF 4 INCHES OR LESS, (3) A CEMENT CONTENT OF 605 LB PER CUBIC YARD OR MORE, (4) PROPER FINISHING AFTER BLEED WATER HAS EVAPORATED FROM THE SURFACE, (5) ADEQUATE DRAINAGE WITH A SLOPE OF 1/8 INCH PER LINEAR FOOT OR MORE, (6) A MINIMUM OF 7 DAYS MOIST CURING AT OR ABOVE 50 DEGREES F, (7) A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS, AND (8) A MINIMUM 30-DAY DRYING PERIOD AFTER MOST CURING IF CONCRETE IS PLACED IN THE FALL AND WILL BE EXPOSED TO FREEZE-THAW CYCLES AND DEICERS WHEN SATURATED. THE EXACT LENGTH OF TIME FOR SUFFICIENT DRYING TO TAKE PLACE MAY VARY WITH CLIMATE AND WEATHER CONDITIONS.

TECHNICAL SPECIFICATIONS FOR CONCRETE AS HEREIN DEFINED SHALL COMPLY WITH THE APPLICABLE SPECIFICATIONS OF THE "NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS CONSTRUCTION AND MATERIALS", 1985.

ANY CLARIFICATION, REVISIONS, MODIFICATIONS THERETO SHALL ONLY BE MADE SUBJECT TO APPROVAL OF THE CITY OF SARATOGA SPRINGS PLANNING BOARD.

*A SUPER PLASTICIZER MAY BE USED TO INCREASE SLUMP AND WORKABILITY WITHOUT INCREASING THE WATER-CEMENT RATIO.

CONCRETE SPECIFICATIONS



- NOTES:
- PAVEMENT SECTIONS SPECIFIED ARE TYPICAL FOR STREET, DRIVEWAY AND PARKING LOT CONSTRUCTION WHERE TRAFFIC VOLUMES AND LOADING ARE NOT EXCESSIVE. BASED ON ANTICIPATED VOLUMES AND LOADS, THE CITY ENGINEER MAY REQUIRE STRUCTURAL PAVEMENT SECTION TO BE INCREASED TO CARRY DESIGN LOADING.
 - TACK COAT/BINDER COURSE BEFORE PLACING TOP COURSE IF MORE THAN 48 HOURS HAS ELAPSED AFTER PLACING THE BINDER COURSE.
 - THE CITY ENGINEER MAY REQUIRE COMPACTION TESTING AND/OR CORE SAMPLES TO VERIFY PAVEMENT THICKNESSES. ALL TESTING SHALL BE AS ORDERED BY THE CITY ENGINEER AND SHALL BE PAID FOR BY THE CONTRACTOR.
 - NOTIFY THE CITY ENGINEER 48 HOURS MINIMUM PRIOR TO COMMENCING PAVING OPERATIONS.

ASPHALT PAVEMENT

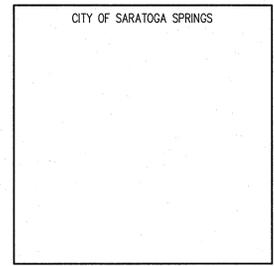
N.T.S.

APPLICANT:

AB ACQUISITIONS, LLC
298 TROY SCHENECTADY RD.
LATHAM, N.Y. 12110

OWNER:

WEST AVENUE DEVELOPMENT ASSOCIATES, LLC
120 WEST AVENUE, SUITE 201
SARATOGA SPRINGS, N.Y. 12866

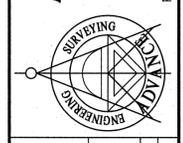


NO.	REVISION	DATE
A	ISSUED FOR SKETCH PLAN REVIEW	4-26-16
B	ISSUED FOR SITE PLAN REVIEW	9-9-16

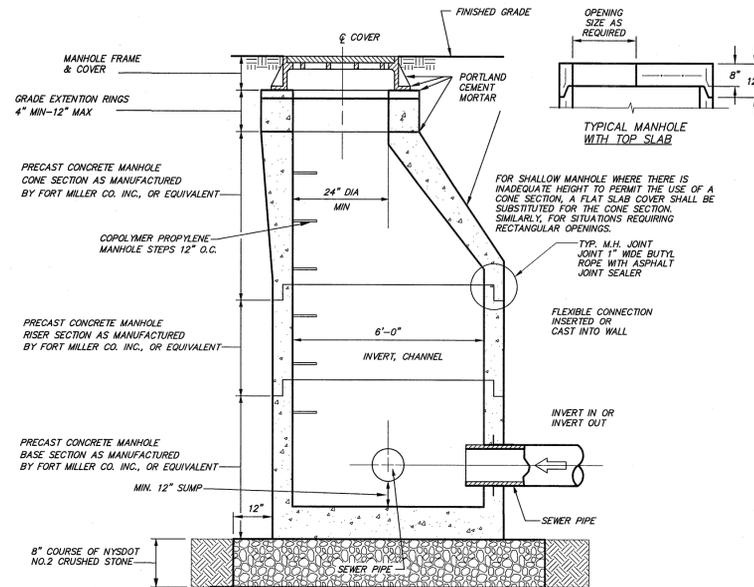
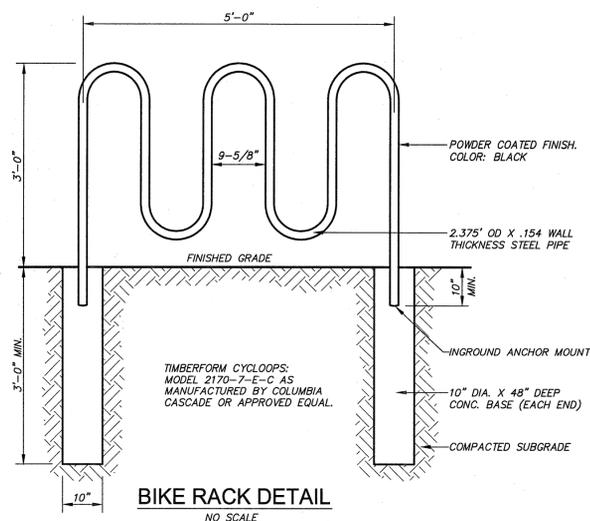
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CONSULTING IN - CIVIL & ENVIRONMENTAL ENGINEERING
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COMMERCIAL AND RESIDENTIAL



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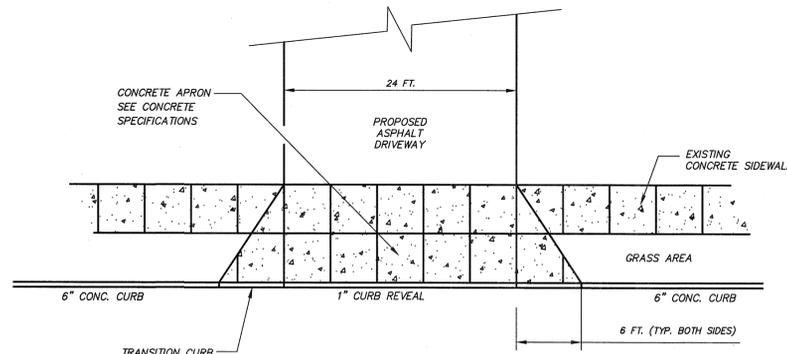
CONSTRUCTION DETAILS - 1
MIXED USE DEVELOPMENT
WEST AVENUE CITY OF SARATOGA SPRINGS
COUNTY OF SARATOGA NEW YORK
SCALE: NONE
DATE: SEPTEMBER, 2016
SHEET C O F 9



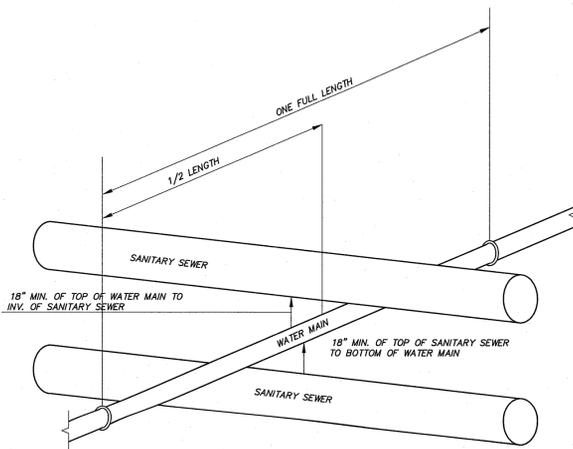
- NOTES:
- CONCRETE DIMENSIONS

DIAM. OPENING	HEIGHT
24"	24" OR 42"
30"	34"
 - REINFORCEMENT FOR MANHOLE AND SLAB TOP SHALL BE DESIGNED BY A LICENSED NEW YORK STATE PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION. SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW. STRUCTURE SHALL BE DESIGNED FOR HS20-44 VEHICULAR LOADING PLUS 25% IMPACT.
 - CONCRETE TO TEST 4000 P.S.I. AT 28 DAYS IN CONFORMANCE WITH A.S.T.M. C-478.
 - EACH MANHOLE EXTERIOR SHALL RECEIVE TWO BITUMINOUS COATS.

PRECAST CONCRETE STORM MANHOLE
NO SCALE

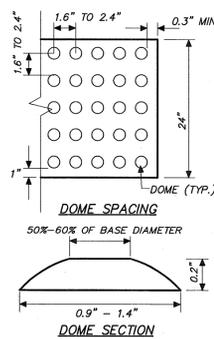


DROP CURB AT COMMERCIAL DRIVEWAY

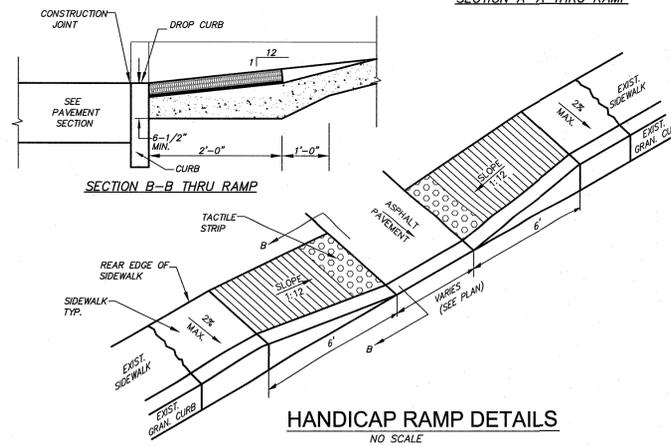


- NOTES:
- WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL & VERTICAL SEPARATIONS AS STIPULATED ABOVE, ONE OF THE FOLLOWING METHODS MUST BE SPECIFIED (IN ACCORDANCE WITH TEN STATES STANDARDS):
- HORIZONTAL SEPARATION:**
- SEWERS SHALL BE LAID AT LEAST 10 FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE.
- VERTICAL SEPARATION:**
- THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO WATER PIPE, AND SHALL BE PRESSURE TESTED AT 150 PSI TO ASSURE WATER TIGHTNESS.
 - EITHER THE WATER MAIN OR THE SEWER LINE MAY BE ENCASED IN A WATER TIGHT CARRIER PIPE WHICH EXTENDS TO FEET ON BOTH SIDES OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE OF MATERIALS APPROVED BY THE HEALTH DEPARTMENT FOR USE IN WATER MAIN CONSTRUCTION.

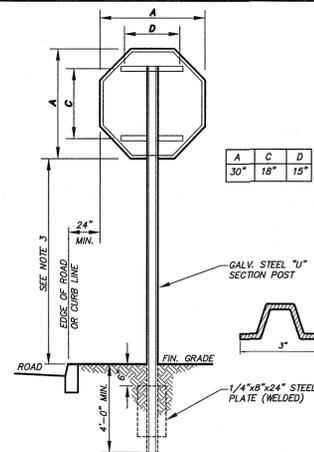
WATER MAIN CROSSING
NO SCALE



DETECTABLE WARNING STRIP DETAIL
(N.Y.S.D.O.T. ITEM NO. 608.21)
NO SCALE



HANDICAP RAMP DETAILS
NO SCALE



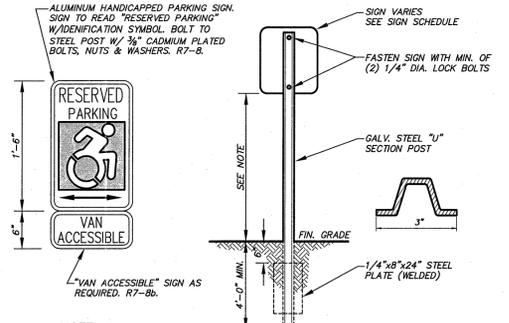
SINGLE POST STOP SIGN MOUNTING DETAIL
NO SCALE

- NOTES:
- ALL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE NYSDOT STANDARD SPECIFICATIONS—SECTION 645 AND 640 AND THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES"—2009 EDITION AND THE "NYS SUPPLEMENT."
 - STRIPING WORK WILL BE REVIEWED AND ACCEPTED BY THE AUTHORITY HAVING JURISDICTION.
 - SIGN MOUNTING HEIGHT SHALL BE A MINIMUM OF 7 FT. MINIMUM HEIGHT MAY BE ADJUSTED ONLY IN ACCORDANCE WITH PROVISIONS OUTLINED IN THE "NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES"—2009 EDITION AND THE "NYS SUPPLEMENT."
 - SIGN POST SHALL BE IN ACCORDANCE WITH NYSDOT STANDARD SPECS—SECTION 730.

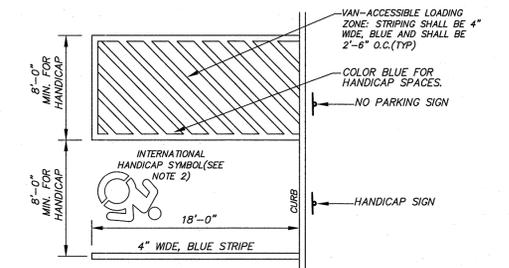
ON-SITE SIGN SCHEDULE

SIGN NO.	SIGN TEXT	SIGN SIZE	TEXT SIZE & COLOR	NO. REQ'D.	TYPE OF MOUNTING	MUTCD NO.
▲	RESERVED PARKING	12" x 18"	BACKGROUND WHITE/BLUE LEGEND GREEN/WHITE	4	GROUND MOUNTED METAL POSTS	R7-8
▲	NO PARKING	12" x 18"	BACKGROUND WHITE LEGEND RED	3	GROUND MOUNTED METAL POSTS	R7-1
▲	STOP	30" x 30"	BACKGROUND RED LEGEND WHITE	1	GROUND MOUNTED METAL POSTS	R1-1
▲	VAN ACCESSIBLE	12" x 6"	BACKGROUND WHITE LEGEND BLUE	1	GROUND MOUNTED METAL POSTS	R7-8P
▲	REFUSE PICKUP	12" x 18"	BACKGROUND WHITE LEGEND BLACK	2	INSTALLED ON GATE	CUSTOM
▲	DO NOT ENTER	36" x 36"	BACKGROUND WHITE LEGEND RED	2	GROUND MOUNTED METAL POSTS	R5-1
▲	ONE WAY	36" x 12"	BACKGROUND BLACK LEGEND WHITE	4	GROUND MOUNTED METAL POSTS	R6-1R

STOP BAR PAVEMENT MARKING DETAIL
NO SCALE

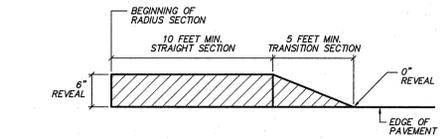


SINGLE POST SIGN MOUNTING DETAIL
NO SCALE



- NOTES:
- ALL DIMENSIONS SHALL BE IN ACCORDANCE WITH ADA STANDARDS AND CURRENT ZONING AND SITE REGULATIONS.
 - PAINTED HANDICAP SYMBOL TO BE IN ACCORDANCE W/ ADA STANDARDS.
 - SLOPE OF PAVEMENT SURFACE IN HANDICAP PARKING AREA SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - SEE PLAN FOR ACTUAL LOCATION OF SIGNAGE.

PAVEMENT MARKING DETAIL
NO SCALE



CURB TRANSITION DETAIL
NO SCALE

APPLICANT:
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LATHAM, N.Y. 12110

OWNER:
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120 WEST AVENUE, SUITE 201
SARATOGA SPRINGS, N.Y. 12866

CITY OF SARATOGA SPRINGS



NO.	REVISION	DATE
A	ISSUED FOR SKETCH PLAN REVIEW	4-26-16
B	ISSUED FOR SITE PLAN REVIEW	9-9-16

DESIGNED BY: ADVANCE ENGINEERING & SURVEYING, PLLC
CONSULTING IN - CIVIL & ENVIRONMENTAL ENGINEERING
LAND SURVEYING & DEVELOPMENT COMMERCIAL AND RESIDENTIAL

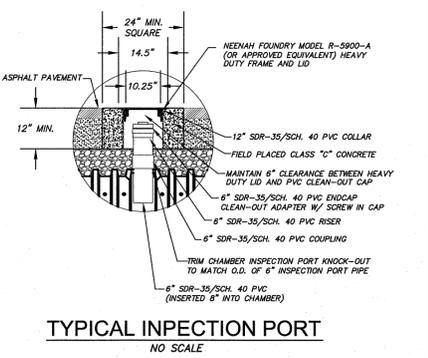
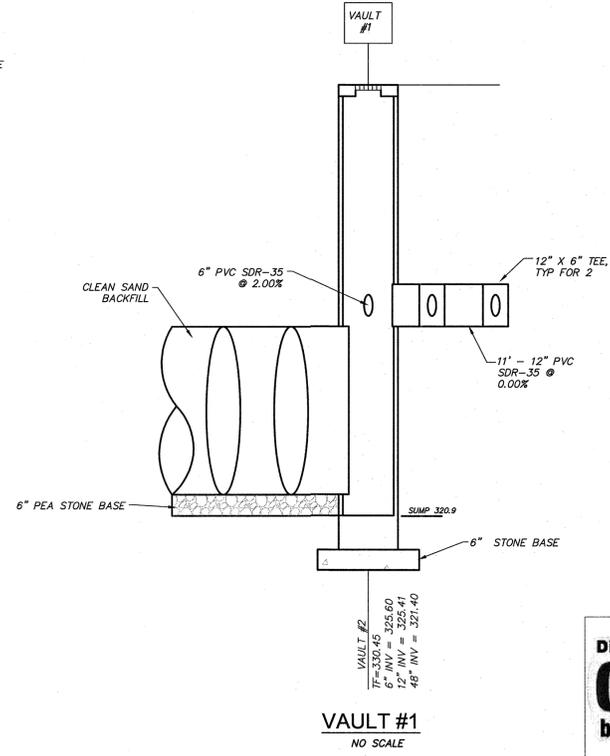
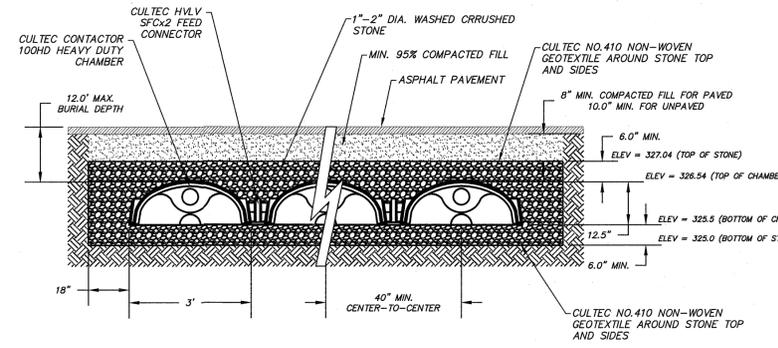
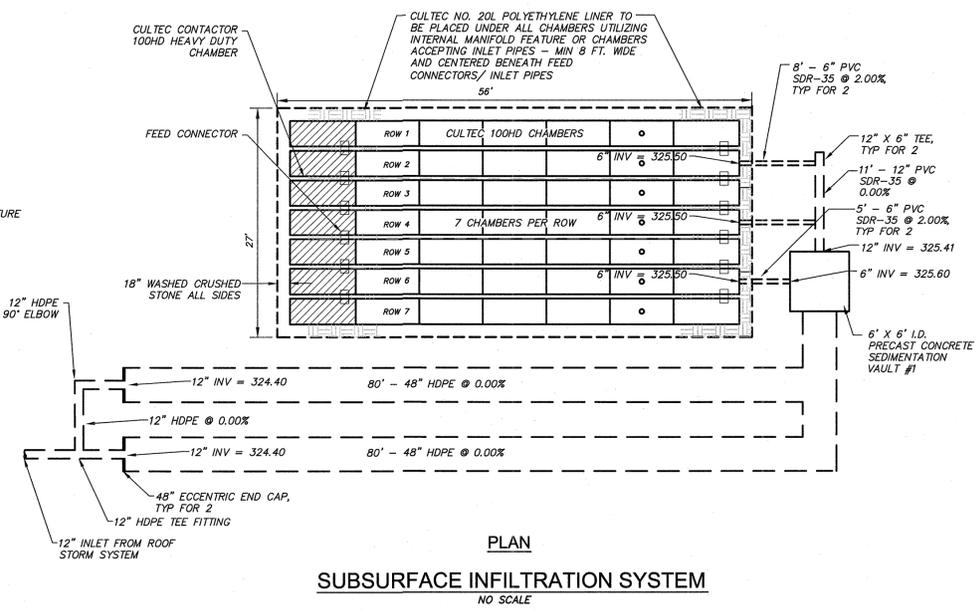
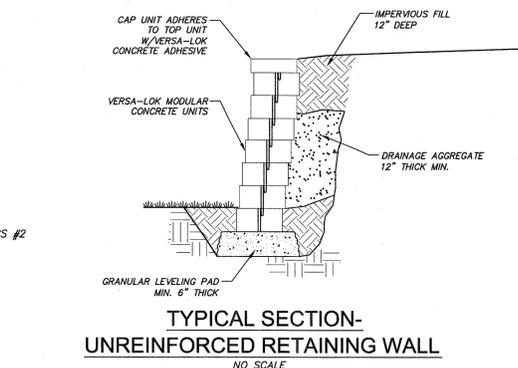
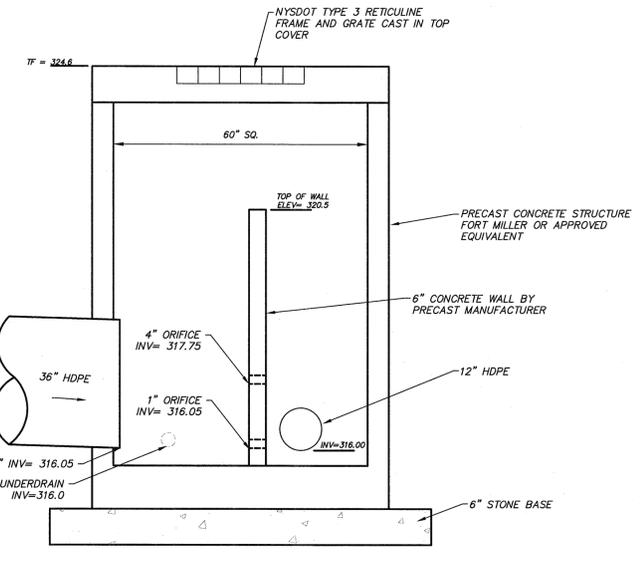
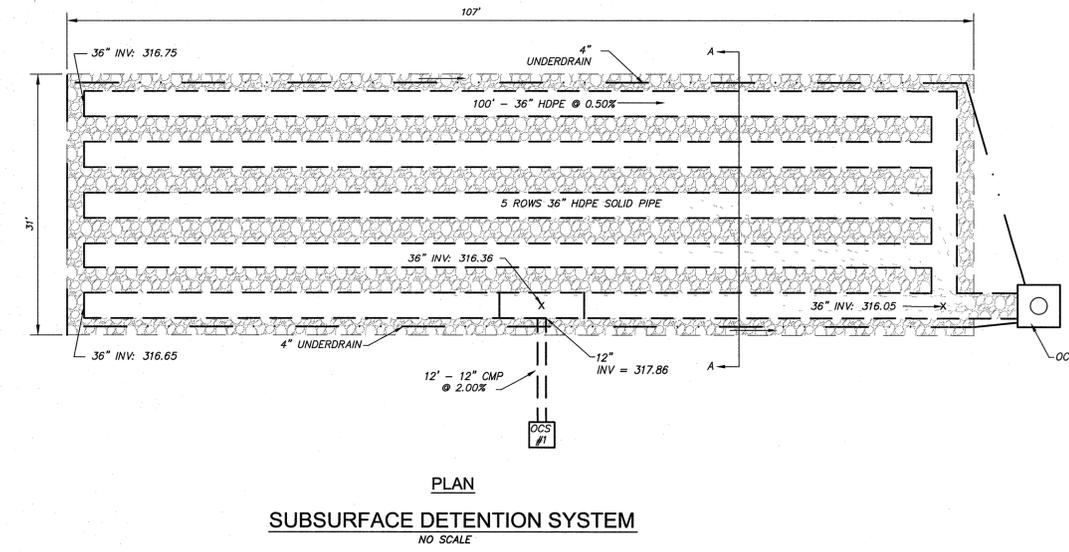
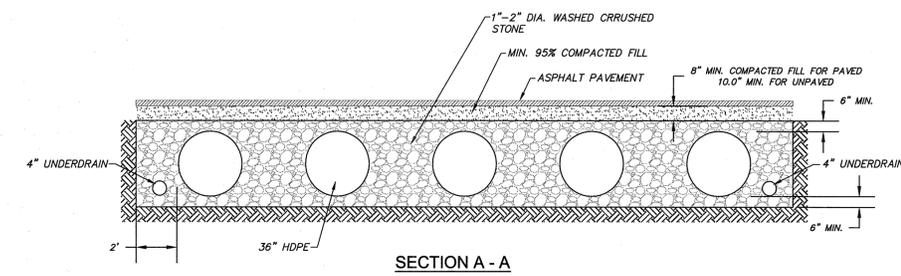
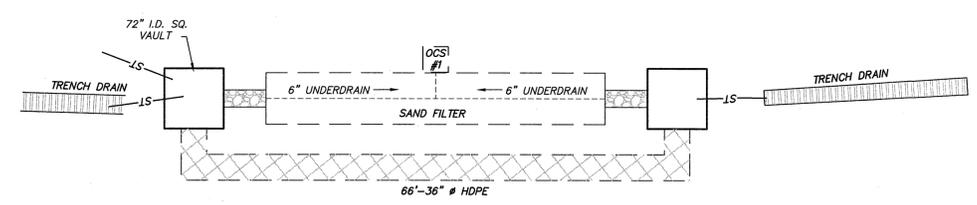
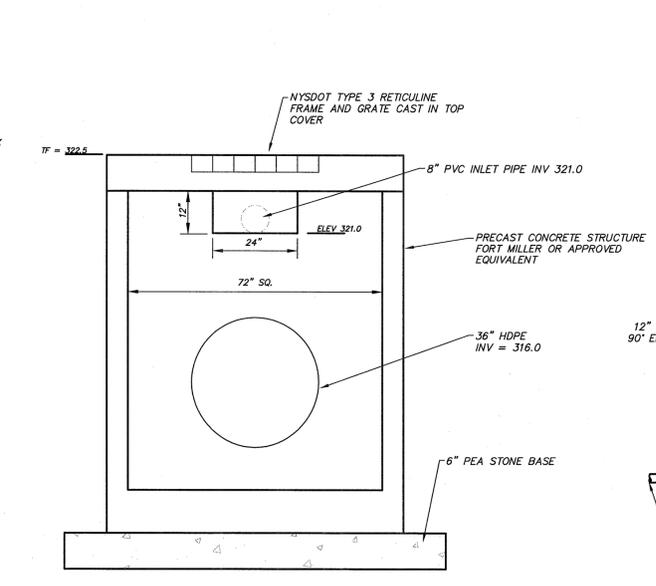
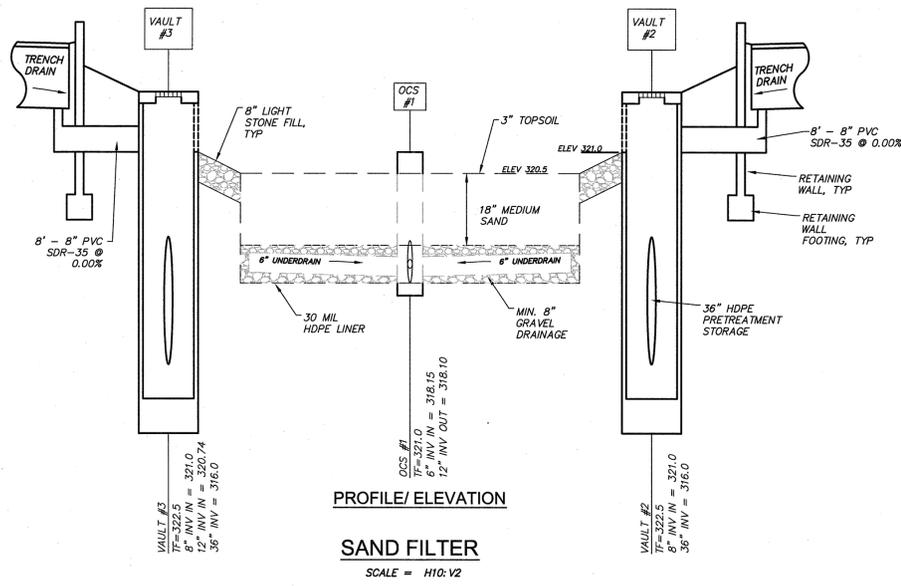


Design of:
ADVANCE ENGINEERING & SURVEYING, PLLC
CONSULTING IN - CIVIL & ENVIRONMENTAL ENGINEERING
LAND SURVEYING & DEVELOPMENT COMMERCIAL AND RESIDENTIAL

11 HERBERT DRIVE, LATHAM, N.Y. 12110
PHONE: (518) 885-3172
E-MAIL: nicostadps@gmail.com



CONSTRUCTION DETAILS - 2
MIXED USE DEVELOPMENT
WEST AVENUE CITY OF SARATOGA SPRINGS
COUNTY OF SARATOGA NEW YORK
SCALE: NONE
SHEET TOP 9
DATE: SEPTEMBER, 2016



KEY

6'-5.4"	3'	7'-9.0"
CONTACTOR 100 RHD STARTER (7 REQUIRED)		
3'	3'	7'-6.0"
CONTACTOR 100 EHD INTERMEDIATE (35 REQUIRED)		
3'	3'	7'-9.0"
CONTACTOR 100 EHD END (7 REQUIRED)		
1'-7.7"	1'	
HVLV SFC&G FEED CONNECTOR (12 REQUIRED)		

CULTEC No. 20L POLYETHYLENE LINER

DATE	4-25-16
BY	N.C.
REVISION	ISSUED FOR SKETCH PLAN REVIEW
	ISSUED FOR SITE PLAN REVIEW
NO.	A
	B

ADVANCE ENGINEERING & SURVEYING, PLLC
CONSULTING IN -
CIVIL & ENVIRONMENTAL ENGINEERING
LAND SURVEYING & DEVELOPMENT
COMMERCIAL AND RESIDENTIAL

11 HERBERT DRIVE, LATHAM, N.Y. 12110
PHONE: (518) 868-3772
E-MAIL: mcostello@aerial.com

CONSTRUCTION DETAILS - 3
MIXED USE DEVELOPMENT
WEST AVENUE CITY OF SARATOGA SPRINGS
COUNTY OF SARATOGA NEW YORK
SCALE: NONE
DATE: SEPTEMBER, 2016
SHEET 7 OF 9

Call 811
before you dig

CITY OF SARATOGA SPRINGS

SHEET NO.
DET 3
8 OF 10 16046-SITE

GENERAL NOTES:

- THESE DRAWINGS SHOW SEDIMENT CONTROLS AND GRADING FOR CONSTRUCTION OF ROADS AND INFRASTRUCTURE ONLY. SEE NOTE 16 BELOW FOR ADDITIONAL GRADING INFORMATION.
- GRADING OF CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL CONDITIONS TO THE ENGINEER.
- CONTRACTOR SHALL PROVIDE DUST AND EROSION CONTROL PER NEW YORK STATE GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL, BY NEW YORK STATE DESIGN PROFESSIONAL SEAL AND THIS PLAN SHALL BE AVAILABLE ON-SITE AT ALL TIMES DURING CONSTRUCTION. ALL CONTRACTORS ENTERING THE SITE THAT WILL BE DISTURBING EARTH, ARE REQUIRED TO SIGN THE SWPPP, TO BE COVERED BY THE SPOES PERMIT FOR CONSTRUCTION ACTIVITY.
- ALL POINTS OF CONSTRUCTION INGRESS OR EGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT OR DEBRIS ONTO PUBLIC ROADS.
- CONTRACTOR SHALL BLEND ALL NEW EARTHWORK INTO EXISTING GRADES AT LIMITS OF GRADING WORK. PROVIDE SMOOTH, ROUNDED TRANSITIONS AT ALL TOP AND BOTTOM OF SLOPES.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER.
- EXCAVATION REQUIRED WITHIN 3 FEET OF EXISTING UTILITY LINES SHALL BE DONE BY HAND; DO NOT EXCAVATE SOIL WITH MACHINERY. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL NOTIFY OWNER WHEN ROUGH GRADING IS COMPLETE. FINISH GRADES SHALL BE ADJUSTED IN THE FIELD, WHEN NECESSARY, ONLY BY APPROVAL OF THE OWNER AND ENGINEER.
- ALL AREAS REQUIRING FILL SHALL BE BROUGHT TO GRADE REQUIRED, IN 12" MAXIMUM COMPACTED LIFTS. GENERAL FILL SHALL BE FREE OF DELETERIOUS MATERIAL, CONTAIN NO GRAVEL LARGER THAN 3", AND SHALL BE COMPACTED IN AN APPROVED MANNER. SELECTION OF COMPACTION EQUIPMENT IS THE CONTRACTOR'S RESPONSIBILITY. NO EQUIPMENT OR COMPACTION ACTIVITIES SHALL BE PERFORMED IN THE AREAS OF THE PROPOSED AND FUTURE DISPERSAL FIELDS.
- ALL STORM SEWERS SHALL BE CONSTRUCTED ACCURATELY TO LINE AND GRADE, PROPERLY BEDDED, AND SHALL BE CONSTRUCTED SO THAT ALL JOINTS ARE SOIL TIGHT.
- EXTEND DESIGNATED LIMIT OF WORK AS NECESSARY TO ACCOMPLISH ROUGH GRADING, TREE PROTECTION, AND SITE UTILITY WORK AS REQUIRED BY THESE DRAWINGS, OR THE APPROVED SUBDIVISION DRAWINGS.
- PRIOR TO PROJECT CLOSE-OUT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND EXCESS MATERIALS FROM SITE, AND STABILIZE ALL DISTURBED AREAS.
- SLOPE SIZES OF EXCAVATIONS TO COMPLY WITH LOCAL CODES AND ORDINANCES HAVING JURISDICTION AND OSHA REGULATIONS. MAINTAIN SIDE SLOPES OF EXCAVATIONS IN A SAFE CONDITION UNTIL COMPLETION OF BACKFILLING.
- DURING GRADING OPERATIONS, DRAINAGE OF THE SITE AND ADJACENT AREAS SHALL BE MAINTAINED CONTINUOUSLY, TO PREVENT EROSION OR OTHER DAMAGE. WHEN IT IS NECESSARY TO INTERRUPT DRAINAGE OR OTHER EXISTING UTILITIES, PROVIDE TEMPORARY FACILITIES UNTIL PERMANENT WORK IS COMPLETED.
- ALL EXCAVATION TO MEET OSHA AND NYS DOT SAFETY STANDARDS.
- CONTRACTOR TO COMPLY WITH ALL OSHA AND OTHER STATE AND LOCAL SAFETY REQUIREMENTS DURING CONSTRUCTION. (PROPER SHORING, ETC.).
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN FIELD PRIOR TO COMMENCEMENT OF WORK AND NOTIFY OWNER AND ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
- UNDERGROUND UTILITY LOCATIONS ARE NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES, WHETHER FUNCTIONING OR ABANDONED WITHIN THE PROJECT AREA SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES STARTING WORK AND SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM HIS WORK. CONTRACTOR SHALL NOTIFY DIG SAFELY, NY, FORMERLY (UFPD) 1-800-982-7982 IN ACCORDANCE WITH 16 NYCRR PART 75.3.

WATER SYSTEM NOTES:

- ALL MATERIALS AND INSTALLATION SHALL FOLLOW THE APPROPRIATE AWWA GUIDELINES AND STANDARD SPECIFICATIONS.
- THE WATER SYSTEM PROVIDER IS THE CITY OF SARATOGA SPRINGS.
- ALL WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA C-851 OR OTHER METHOD APPROVED BY THE WWSA. FOLLOWING FLUSHING, WATER SAMPLES SHALL BE COLLECTED FROM THE MAIN AND EACH BRANCH. BACTERIOLOGICAL SAMPLING AND TESTING IS REQUIRED TWO (2) DAYS AFTER DISINFECTION. TESTING SHALL BE PERFORMED BY NYSOHD CERTIFIED LAB. RESULTS SHALL BE REPORTED TO THE CITY OF SARATOGA SPRINGS, DESIGN ENGINEER AND NYSOHD. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. WATER SAMPLES SHALL BE COLLECTED AND THE WATER MAIN SHALL NOT BE PLACED IN SERVICE UNTIL THE WATER HAS BEEN APPROVED AND NOTIFICATION THEREOF RECEIVED.
- WATER MAINS SHALL BE CLEANED, INSPECTED, AND DISINFECTED IN ACCORDANCE WITH AWWA STANDARDS FOR DISINFECTING WATER MAINS C-651-92 (WITH THE EXCEPTION OF SECTION 5.1.1 TABLE METHOD), THAT WILL GIVE A 50 ppm RESIDUAL THROUGHOUT THE SYSTEM FOR A 24-HOUR PERIOD. AFTER 24 HOURS, RESIDUAL SHOULD BE AT LEAST 25 ppm. IF NOT, REPEAT PROCEDURE (REPAIRED, RETESTED, REDISINFECTED, REPRESSURE TESTED, AND REINSPECT) WITH THE CITY OF SARATOGA SPRINGS, DESIGN ENGINEER, NYSOHD, AND ALL APPLICABLE REQUIREMENTS. RESULTS TO BE SUBMITTED TO THE TOWN, DESIGN ENGINEER. NO PIPELINE INSTALLATION WILL BE APPROVED WHEN LEAKAGE IS GREATER THAN THAT DETERMINED BY THE FOLLOWING FORMULA:

$$L = \frac{S \cdot D \cdot P^{1/2}}{133,200}$$

L = ALLOWABLE LEAKAGE, IN GALLONS PER HOUR (DOUBLE FOR THE REQUIRED 2-HOUR MINIMUM TEST)
 S = LENGTH OF PIPE TESTED, IN FEET
 D = NOMINAL DIAMETER OF PIPE, IN INCHES
 P = AVERAGE TEST PRESSURE DURING LEAKAGE TEST (PSIG)

EXAMPLE: THE MAXIMUM ALLOWABLE LEAKAGE OF 8" PIPE FOR A TWO-HOUR TEST PER ONE-THOUSAND-FOOT LENGTH OF PIPE SHALL BE 1.48 GALLONS AT 150 PSI PRESSURE.

$$\frac{8 \cdot 2 \cdot (150)^{1/2}}{133,200} = \frac{10000 \cdot 1.22}{133,200} = 0.74 \text{ GALLONS PER HOUR}$$

= 1.48 GALLONS FOR 2 HOURS
- CHLORINATED WATER FROM THE DISINFECTION PROCESS SHALL BE THOROUGHLY NEUTRALIZED WITH AN ACCEPTABLE CHEMICAL (SEE APPENDIX B OF AWWA C-651-92) PRIOR TO DISPOSAL, IF DISPOSAL IS NOT INTO A PUBLIC SEWER SYSTEM. THE NEUTRALIZATION PROCESS CAN TAKE PLACE IN A TANKER TRUCK OR OTHER MEANS ACCEPTABLE TO REGULATORY AGENCIES.
- THE MINIMUM SEPARATION DISTANCE BETWEEN WATER SERVICES AND SEWER LINES SHALL BE 18 INCHES MEASURED VERTICALLY FROM THE OUTSIDE OF PIPE TO OUTSIDE OF PIPE. WATER SERVICES AND SEWER LINES RUNNING PARALLEL SHALL HAVE A MINIMUM HORIZONTAL SEPARATION DISTANCE OF 10 FEET MEASURED FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE. A MINIMUM SEPARATION DISTANCE OF 4 FEET SHALL BE MAINTAINED BETWEEN THE WATER MAIN AND ALL CATCH BASINS.

- PER NYSOHD, TOWN WATER DEPARTMENT AND STATE UNDERWRITER REQUIREMENTS, ACTUAL HYDRANT FLOW, STATIC AND RESIDUAL PRESSURE TESTING WILL BE PERFORMED AND REPORTED TO SAID PARTIES.
- WATERLINE CONSTRUCTION FIELD QUALITY CONTROL
 - CLEAR INTERIOR OF PIPING AND STRUCTURES OF DIRT AND SUPERFLUOUS MATERIAL AS THE WORK MAINTAIN SWAB OR DRAG IN PIPING AND PULL PAST EACH JOINT AS IT IS COMPLETED.
 - IN LARGE, ACCESSIBLE PIPING, BRUSHES AND BROOMS MAY BE USED FOR CLEANING.
 - PLACE PLUG IN END OF INCOMPLETE PIPING AT END OF DAY AND WHENEVER WORK STOPS.
 - FLUSH PIPING BETWEEN MANHOLES AND OTHER STRUCTURES TO REMOVE COLLECTED DEBRIS.
- TEST NEW PIPING SYSTEMS AND PARTS OF EXISTING SYSTEMS THAT HAVE BEEN ALTERED, EXTENDED, OR REPAIRED FOR LEAKS AND DEFECTS IN ACCORDANCE WITH AWWA C600-93 OMITTING 5B.
 - DO NOT ENCLOSE, COVER, OR PUT INTO SERVICE BEFORE INSPECTION AND APPROVAL.
 - TEST COMPLETED PIPING SYSTEMS ACCORDING TO AUTHORITIES HAVING JURISDICTION.
 - SCHEDULE TESTS, AND THEIR INSPECTIONS BY AUTHORITIES HAVING JURISDICTION, WITH AT LEAST 24 HOURS ADVANCE NOTICE.
 - SUBMIT SEPARATE REPORTS FOR EACH TEST.
 - WHERE AUTHORITIES HAVING JURISDICTION DO NOT HAVE PUBLISHED PROCEDURES, PERFORM TEST AS FOLLOWS:
 - ALLOWABLE LEAKAGE IS A MAXIMUM OF 50 GALLONS PER INCH NOMINAL PIPE SIZE, FOR EVERY MILE OF PIPE, DURING A 24-HOUR PERIOD.
 - SANITARY SEWER: PERFORM AIR TEST ACCORDING TO UNI-B-6 AND ASTM C828.
 - FORCEMAIN: PERFORM AIR TEST ACCORDING TO UNI-B-6 AND ASTM C828.
 - PRECAST CONCRETE STRUCTURES: PERFORM HYDRAULIC TEST ACCORDING TO ASTM C 969.
 - LEAKS AND LOSS IN TEST PRESSURE CONSTITUTE DEFECTS THAT MUST BE REPAIRED.
 - REPLACE LEAKING PIPING USING NEW MATERIALS AND REPEAT TESTING UNTIL LEAKAGE IS WITHIN ALLOWANCES SPECIFIED.

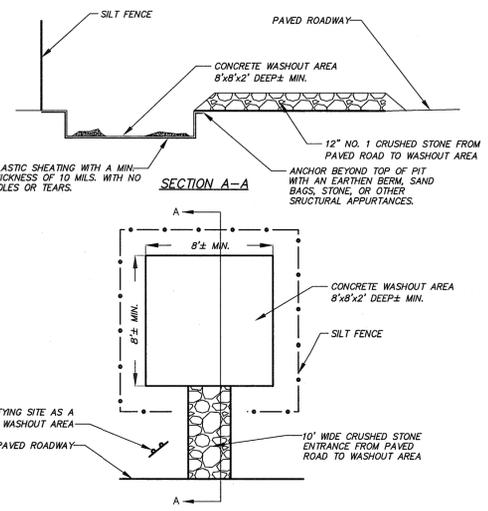
PRESSURE TESTS SHALL BE MADE ONLY AFTER THE COMPLETION OF BACKFILLING OPERATIONS, AND AT LEAST 36 HOURS AFTER THE CONCRETE THRUST BLOCKS HAVE BEEN CAST. ALL TESTS SHALL BE CONDUCTED UNDER THE SUPERVISION OF THE ENGINEER.

THE DURATION OF PRESSURE TESTS SHALL BE ONE HOUR, UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THE TEST PRESSURE SHALL BE 150 PSI FOR HYDROSTATIC TESTING ONLY, WITH A RECOMMENDED PRESSURE OF 2.5 TIMES THE MAXIMUM SYSTEM OPERATING PRESSURE.

THE PIPE LINE SHALL BE SLOWLY FILLED WITH WATER, BEFORE APPLYING THE SPECIFIED PRESSURE. ALL AIR SHALL BE EXPELLED FROM THE PIPELINE BY MAKING TAPS AT THE POINT OF HIGHEST ELEVATION. THE SPECIFIED PRESSURE MEASURED AT THE LOWEST POINT OF ELEVATION, SHALL BE APPLIED BY MEANS OF A PUMP CONNECTED TO THE PIPE IN A MANNER SATISFACTORY TO THE ENGINEER. AFTER COMPLETION OF THE TEST, THE TAPS SHALL BE TIGHTLY PLUGGED.

APPLICANT:
 AB ACQUISITIONS, LLC
 298 TROY SCHENECTADY RD.
 LATHAM, N.Y. 12110

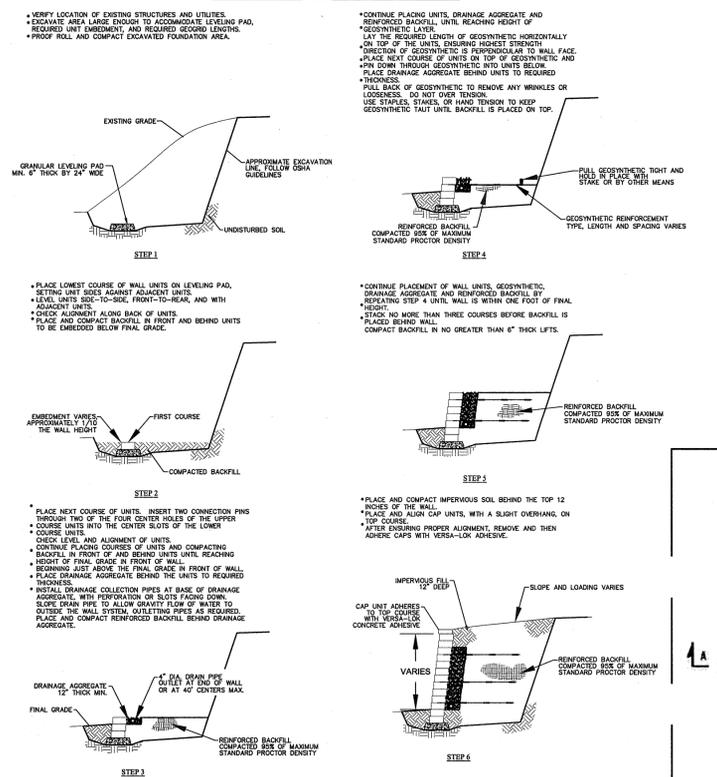
OWNER:
 WEST AVENUE DEVELOPMENT ASSOCIATES, LLC
 120 WEST AVENUE, SUITE 201
 SARATOGA SPRINGS, N.Y. 12866



CONCRETE WASHOUT AREA
NO SCALE

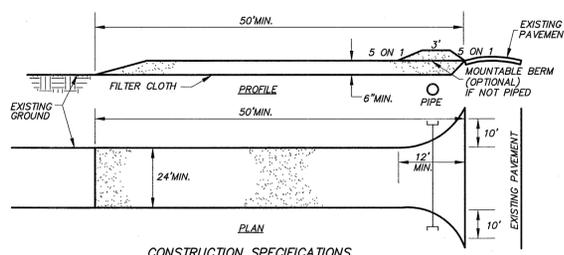
- NOTES:**
- CONTRACTOR SHALL CLEAN OUT THE CONCRETE WASHOUT AREA WHENEVER IT IS HALF-FULL AND SHALL DISPOSE OF DEBRIS.
 - UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL CLEAN OUT AND FILL IN THE WASHOUT AREA TO THE ADJACENT GRADE LEVEL.

CONSTRUCTION SEQUENCE



INSTALLATION NOTES:

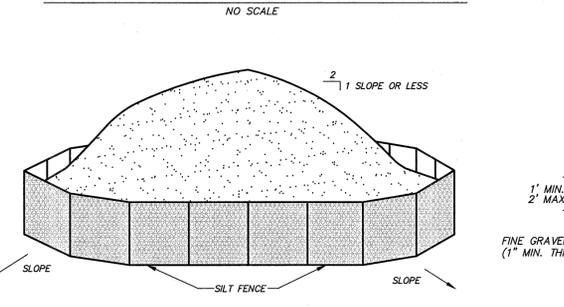
- STRIP VEGETATION AND ORGANIC SOIL FROM WALL AND GEOSYNTHETIC ALIGNMENT.
- BENCH CUT ALL EXCAVATED SLOPES.
- DO NOT EXCAVATE BEYOND EXCAVATION LINES SHOWN ON PLAN UNLESS DIRECTED BY SITE SOILS ENGINEER TO REMOVE UNSATURATED SOIL.
- CONTRACTOR SHALL ENSURE TEMPORARY EXCAVATIONS ARE STABLE AND PROVIDE EXCAVATION SUPPORT IF NEEDED.
- SITE SOILS ENGINEER SHALL VERIFY FOUNDATION SOILS AS BEING COMPETENT PER THE DESIGN PARAMETERS.
- LEVELING PAD SHALL CONSIST OF WELL GRADED ROAD BASE AGGREGATE, 3/4" CRUSHED, ANGULAR GRAVEL WITH SOME FINES.
- CONTRACTOR MAY OPT FOR A LEAN CONCRETE LEVELING PAD. PAD SHALL BE UNREINFORCED LEAN CONCRETE, 200-300 PSI, 3" THICK MAXIMUM.
- DRAINAGE AGGREGATE SHALL CONSIST OF CLEAN ANGULAR GRAVEL, 3/4" DIAMETER WITH LESS THAN 5% FINES.
- DRAINAGE PIPE SHALL BE PERFORATED OR SLOTTED PVC OR CORRUGATED HDPE PIPE.
- REINFORCED BACKFILL SHALL BE FREE OF DEBRIS, ORGANIC SOIL, AND EXPANSIVE SOILS.
- FOR UNITS TO BE EMBEDDED, COMPACT FILL IN FRONT OF UNITS AT THE SAME TIME FILL BEHIND UNITS IS COMPACTED.
- COMPACTION SHALL BE TO 95% OF MAXIMUM STANDARD PROCTOR DENSITY. (ASTM D-698)
- PARAMETERS SHALL BE DETERMINED BY THE SITE SOILS ENGINEER.
- COMPACTION WITHIN 3FT. OF WALL SHALL BE LIMITED TO HAND OPERATED EQUIPMENT.
- CONTRACTOR SHALL SLOPE SITE GRADES TO DIRECT SURFACE RUNOFF AWAY FROM WALL AT END OF EACH DAY TO AVOID WATER DAMAGING THE WALL WHILE UNDER CONSTRUCTION.
- ANY SURFACE DRAINAGE FEATURES, FINISH GRADING, PAVEMENT, OR TURF SHALL BE INSTALLED IMMEDIATELY AFTER WALL IS COMPLETED.
- FOLLOW APPLICABLE PROVISIONS OF THE WALL UNIT AND GEOSYNTHETIC MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS.
- IF SITE AND SOIL CONDITIONS, WALL GEOMETRY, OR WALL LOADINGS ARE DIFFERENT THAN IN THE DRAWINGS AND THE DESIGN PARAMETERS, THE CONTRACTOR MUST CONTACT DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.



CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - AS REQUIRED, BUT NOT LESS THAN 30 FEET
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - NOT LESS THAN THE FULL DRIVEWAY WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24" MINIMUM IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANING OF ANY MEASURES USED TO TRAP SEDIMENT.
- WASHING - WHEELS SHALL BE CLEANED WHEN NECESSARY TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE
NO SCALE

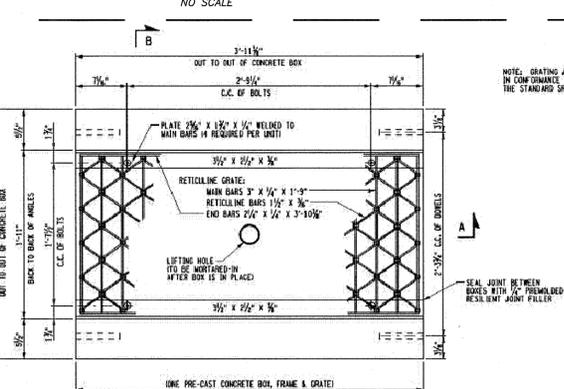


CONSTRUCTION SPECIFICATIONS

- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. REMOVAL FROM SHALL BE 2" MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
- USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2" BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
- FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF FILTER STONE WILL BE PLACED AGAINST THE 3" STONE AS SHOWN ON THE DRAWINGS.
- MAXIMUM DRAINAGE AREA 1 ACRE.

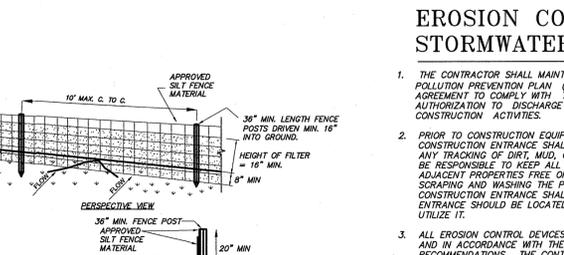
STONE & BLOCK DROP INLET PROTECTION DETAIL
NO SCALE

SOIL STOCKPILE STABILIZATION
NO SCALE



CONSTRUCTION SPECIFICATIONS

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1: 2
- SILT FENCE SHALL BE PLACED 5- FEET DOWNSLOPE OF EACH PILE. UPON COMPLETION OF SOIL STOCKPILING, TOPSOIL SHALL BE STABILIZED WITH SEED AND MULCH IF NOT TO BE DISTURBED/UTILIZED WITHIN 14 DAYS.
- SEE ADDITIONAL DETAILS FOR INSTALLATION OF SILT FENCE.
- TEMPORARY PERIMETER DIKES MAY BE REQUIRED TO DIRECT CLEAN RUNOFF FROM STOCKPILE AREAS. REFER TO EROSION AND SEDIMENT CONTROL PLAN.



CONSTRUCTION SPECIFICATIONS

- SILT FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO SILT FENCE FENCE WITH TIES SPACING EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE APPROVED MATERIAL, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER #, MIRAFIT 1000, STABILURA 7140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOTAP, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE
NO SCALE



CONSTRUCTION SPECIFICATIONS

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1: 2
- SILT FENCE SHALL BE PLACED 5- FEET DOWNSLOPE OF EACH PILE. UPON COMPLETION OF SOIL STOCKPILING, TOPSOIL SHALL BE STABILIZED WITH SEED AND MULCH IF NOT TO BE DISTURBED/UTILIZED WITHIN 14 DAYS.
- SEE ADDITIONAL DETAILS FOR INSTALLATION OF SILT FENCE.
- TEMPORARY PERIMETER DIKES MAY BE REQUIRED TO DIRECT CLEAN RUNOFF FROM STOCKPILE AREAS. REFER TO EROSION AND SEDIMENT CONTROL PLAN.

CONSTRUCTION SPECIFICATIONS

- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. REMOVAL FROM SHALL BE 2" MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
- USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2" BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
- FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF FILTER STONE WILL BE PLACED AGAINST THE 3" STONE AS SHOWN ON THE DRAWINGS.
- MAXIMUM DRAINAGE AREA 1 ACRE.

STONE & BLOCK DROP INLET PROTECTION DETAIL
NO SCALE

EROSION CONTROL AND STORMWATER MANAGEMENT:

- THE CONTRACTOR SHALL MAINTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) ON SITE AND SHALL SIGN THE AGREEMENT TO COMPLY WITH THE PLAN AS A CONDITION OF AUTHORIZATION TO DISCHARGE STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- PRIOR TO CONSTRUCTION EQUIPMENT ENTERING OR EXITING THE SITE, A CONSTRUCTION ENTRANCE SHALL BE BUILT UNLESS EXISTING CONDITIONS PREVENT ANY TRACKING OF DIRT, MUD, OR DEBRIS OFF THE SITE. THE CONTRACTOR WILL BE RESPONSIBLE TO KEEP ALL ROAD, PARKING, SPACES, SIDEWALKS AND ADJACENT PAVED AREAS FREE OF DIRT OR OTHER DEBRIS. THIS WILL INCLUDE SCRAPING AND WASHING THE PAVEMENT SURFACES WHENEVER NEEDED. THE CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AS SHOWN ON THE PLANS. THE ENTRANCE SHOULD BE LOCATED THAT ALL VEHICLES LEAVING THE SITE SHALL UTILIZE IT.
- ALL EROSION CONTROL DEVICES SHALL BE PLACED AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH THE FEDERAL, STATE, LOCAL AND MANUFACTURERS RECOMMENDATIONS. THE CONTRACTOR SHALL PLACE AND MAINTAIN ALL EROSION CONTROL DEVICES AS NEEDED THROUGHOUT THE PROJECT.
- SILT FENCE SHALL HAVE HARDWOOD STAKES 2X2 INCH AND 4 FEET LONG, WOVEN INTO THE FABRIC. THE BASE OF THE SILT FENCE SHALL BE EXCAVATED 50 AS TO PROVIDE AN AREA TO BURY THE BOTTOM OF THE FABRIC AT LEAST 6" INTO THE GROUND. THE STAKES SHALL BE DRIVEN TO A DEPTH THAT WILL PLACE THE BOTTOM FABRIC AT THE BOTTOM OF THE TRENCH, THEN BACK FILL THE BOTTOM FABRIC ON THE UPSTREAM SIDE WITH THE MATERIAL THAT WAS EXCAVATED.
- SILT FENCE SHALL BE PLACED WHEREVER SURFACE DRAINAGE CAN LEAVE THE SITE AND AT THE TOE OF THE FILL SLOPES TO PROTECT THE WETLANDS.
- STONE CHECK DAMS SHALL BE PLACED IN ALL DRAINAGE WAYS, BUT NOT IN STREAMS, CREEKS OR RIVERS. STONE FILTERS SHALL CONSIST OF UNIFORM MIX OF 1/4" TO 3/4" CLEAN STONE GRAPPED IN FILTER FABRIC AND COVERED WITH 4" STONE.
- AREAS SHALL BE TEMPORARY SEEDED WHEN THEY ARE SUBJECT TO EROSION AND WILL LIE DORMANT FOR A PERIOD OF 7 DAYS OR MORE.
 - IF SPRING, SUMMER OR EARLY FALL: SEED WITH RYE GRASS (ANNUAL OR PERENNIAL) AT 30 LBS. PER ACRE (APPROXIMATELY) 0.7 LB/1000 SQ. FT. OR USE 1 LB/1000 SQ. FT.)
 - IF LATE FALL OR EARLY WINTER, THEN SEED WITH CERTIFIED "AROGOSTOCH" WINTER RYE (CERIAL RYE) AT 100 LBS. PER ACRE (2.5 LB/1000 SQ. FT.)
- MULCH THE AREA WITH HAY OR STRAW AT 2 TONS/ACRE (APPROX. 0.05 LB/SQ. FT.). QUALITY OF HAY OR STRAW MULCH ALLOWABLE WILL BE DETERMINED BASED ON LONG TERM USE AND VISUAL CONCERNS. MULCH ANCHORING WILL BE REQUIRED WHERE WINDS OR AREAS OF CONCENTRATED WATER ARE OF CONCERN.
- EROSION CONTROL NOTES:
 - THE FOLLOWING CONDITIONS SHALL BE MET PRIOR TO THE CITY OF SARATOGA SPRINGS ACCEPTING DECISION OF THE ROADWAY AND STORM DRAINAGE ASSESSMENTS.
 - SEDIMENT SHALL BE REMOVED FROM ALL CATCH BASINS, DRYWELLS, DETENTION BASINS, AND STORM DRAINAGE PIPING PRIOR TO THE ROADWAY DEDICATION.

NO.	REVISION	DATE	BY	APPD.
A	ISSUED FOR SKETCH PLAN REVIEW	4-25-16	N.C.	N.C.
B	ISSUED FOR SITE PLAN REVIEW	9-9-16	N.C.	N.C.

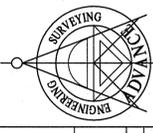


ADVANCE ENGINEERING & SURVEYING, PLLC
 CONSULTING IN -
 CIVIL & ENVIRONMENTAL ENGINEERING
 LAND SURVEYING & DEVELOPMENT
 COMMERCIAL AND RESIDENTIAL

Design of:
 CONSTRUCTION DETAILS - 4
 MIXED USE DEVELOPMENT

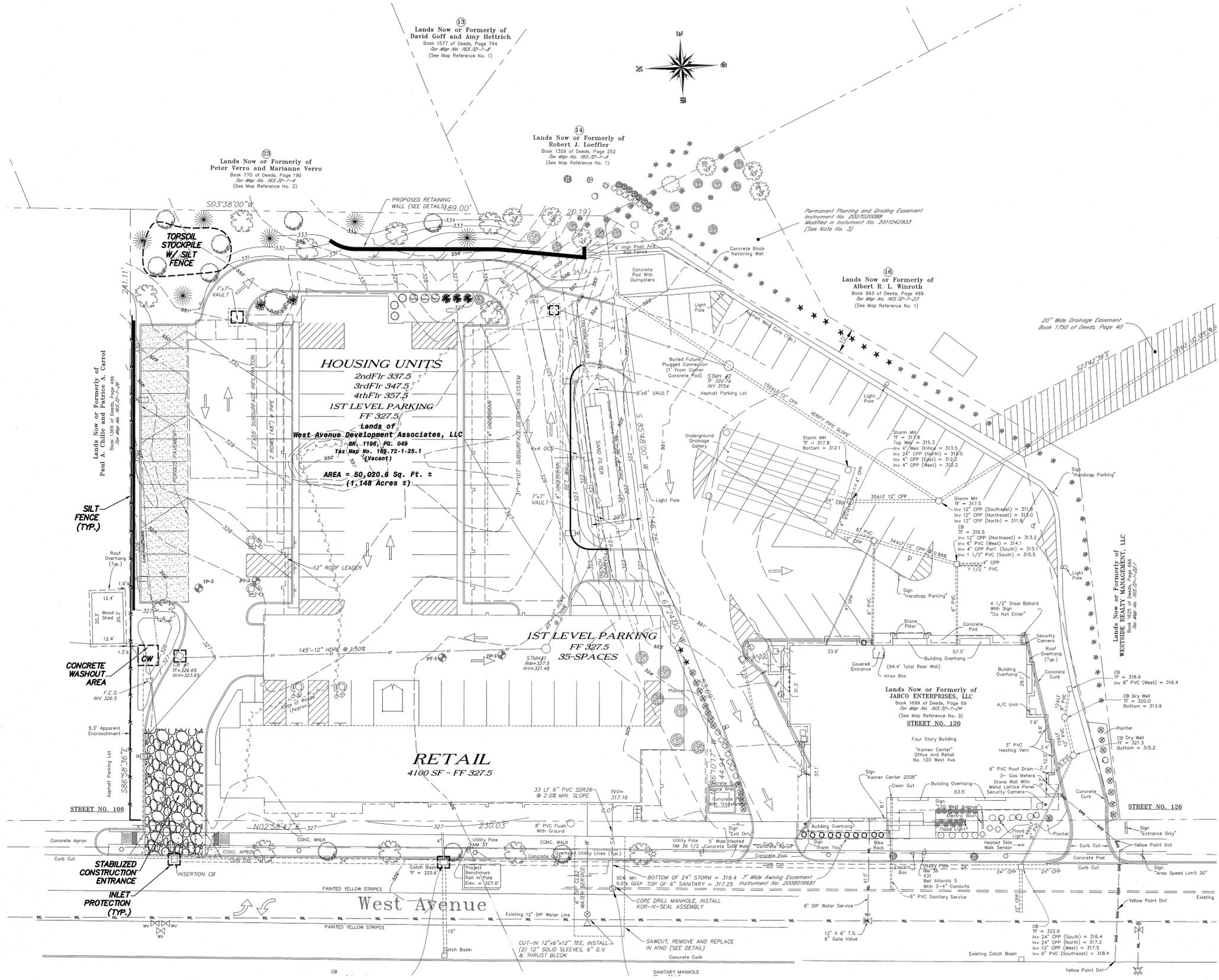
WEST AVENUE CITY OF SARATOGA SPRINGS
 COUNTY OF SARATOGA NEW YORK
 SCALE: NONE
 SHEET 8 OF 9

PHONE: (518) 886-3772
 E-MAIL: nicostad@aeand.com
 NICHOLAS COSTA, P.E.



DATE: SEPTEMBER, 2016





- EROSION & GRADING NOTES:**
- AREAS TO BE FILLED WILL BE CLEARED & GRUBBED. TOPSOIL WILL BE STOCKPILED FOR RE-USE.
 - FILL WILL NOT BE PLACED IN LAYERS NOT TO EXCEED 9" & COMPACTED BY MEANS OF A MECHANICAL COMPACTOR BETWEEN LIFTS.
 - FROZEN MATERIALS OR SOFT, HIGHLY COMPRESSIBLE MATERIALS WILL NOT BE USED AS FILL.
 - FILL WILL NOT BE PLACED ON FROZEN SURFACE.
 - FILLING WILL BE COMPLETED AS A CONTINUOUS OPERATION.
 - AS SOON AS FINAL GRADES ARE ACHIEVED, THE AREAS WILL BE STABILIZED.
 - SEED & MULCH ALL DISTURBED AREAS IMMEDIATELY AFTER CONSTRUCTION.
 - CONTRACTOR MUST PROTECT ALL SURFACE WATER FROM SILTATION DURING CONSTRUCTION WITH APPROPRIATE MEASURES, INCLUDING BUT NOT LIMITED TO PLACING STRAW BALES AND SILTATION FENCING AROUND THE WORK AREA.
 - ANY SOILS TRACKED OUT ONTO PUBLIC ROADS WILL BE SWEEPED UP IMMEDIATELY.
 - A CONCRETE WASHOUT AREA MUST BE DUG BEFORE ANY POURING IS TO TAKE PLACE.
 - ANY PUMPING THAT IS TO BE DONE ON SITE MUST BE RUN THROUGH A FILTER AND/OR STONE.
 - A FINAL GRADING INSPECTION WILL HAVE TO BE CONDUCTED BEFORE COMPLETION OF CONSTRUCTION OR CERTIFICATE OF OCCUPANCY IS ISSUED.
 - ANY AND ALL EXPOSED SOILS MUST BE STABILIZED BEFORE COMPLETION OF CONSTRUCTION OR CERTIFICATE OF OCCUPANCY IS ISSUED.
 - ALL LAWN AREAS SHALL BE PLANTED BY HYDROSEEDING METHODS AND IF IT IS COMPLETED DURING THE WINTER IT SHALL BE PROTECTED WITH EROSION BLANKETS.
 - STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

- GENERAL EROSION & SEDIMENT CONTROL PLAN NOTES:**
- LOCATIONS OF EROSION AND SEDIMENT CONTROL STRUCTURES ARE AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN.
 - ALL PROPOSED EROSION CONTROLS SHALL BE INSTALLED PRIOR TO BEGINNING OF CONSTRUCTION. FINAL LOCATION & CONSTRUCTION SHALL BE REVIEWED BY THE ENGINEER.
 - STAKEOUT OF ALL PROPOSED EROSION CONTROLS SHALL BE DONE BY A NEW YORK STATE LICENSED PROFESSIONAL SURVEYOR.
 - REMOVE EROSION CONTROLS ONLY UNDER THE AUTHORIZATION OF THE ENGINEER.
 - CONTRACTOR MUST PROTECT ALL SURFACE WATERS FROM SILTATION DURING CONSTRUCTION WITH APPROPRIATE MEASURES INCLUDING, BUT NOT LIMITED TO, PLACING STRAW BALES AND SILTATION FENCING AROUND WORK.
 - EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED. ADDITIONAL MEASURES MAY BE REQUIRED DURING CONSTRUCTION AS DIRECTED BY THE ENGINEER.
 - EROSION AND SEDIMENT CONTROL METHODS SHALL COMPLY WITH "THE NEW YORK GUIDELINES FOR URBAN AND SEDIMENT CONTROL" LATEST EDITION.
 - EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSPECTED PERIODICALLY AND AFTER EACH RAINFALL EVENT. THE CONTRACTOR SHALL REPAIR THE EROSION AND SEDIMENT CONTROL DEVICES AS NECESSARY AND AS DIRECTED BY THE ENGINEER.
 - ALL TEMPORARY EXPOSED FACES OF EARTH CUTS AND FILLS SHALL BE VEGETATED OR PROTECTED FROM EROSION IMMEDIATELY UPON COMPLETION OF EARTHWORK. PROVISIONS SHALL BE MADE IN ORDER TO MINIMIZE THE AREA TO BE DISTURBED AND PREVENTING WATER RUNOFF TO CONCENTRATE AND ERODE THE WORKED EARTH SLOPE.
 - UPON COMPLETION OF GRADING OPERATIONS THE WORKED AREAS SHALL BE STABILIZED BY THE FOLLOWING METHODS, DEPENDING UPON THE CLASSIFICATION OF THE AREA AS EITHER TO RECEIVE PERMANENT OR TEMPORARY SEEDING:
 - SEED BED PREPARATION-
 - IF AREAS ARE DEEMED AS REQUIRING TOPSOIL, THEN APPLY TOPSOIL TO A UNIFORM MINIMUM DEPTH OF FOUR(4) INCHES. TOPSOIL SHALL BE FRAGILE AND LOAMY, FREE OF DEBRIS, OBJECTIONABLE WEEDS, AND STONES, AND CONTAIN NO TOXIC MATERIALS. IF TOPSOIL IS OBTAINED UNLESS NEARLY THAN PREPARE SEED BED BY SCARPING, COMPACTED AREAS AND REMOVING DEBRIS, ROCKS AND STUMPS. SEEDING SHALL RECEIVE THE FOLLOWING SOIL AMENDMENTS:
 - A) LIME TO A pH OF 6.0
 - B) FERTILIZER WITH 500 LBS OF 5-10-10 OR EQUIVALENT PER ACRE (14 LBS./1000 SQ. FT.)
 - IF AREAS ARE DEEMED AS REQUIRING TOPSOIL, THEN APPLY TOPSOIL TO A UNIFORM MINIMUM DEPTH OF FOUR(4) INCHES. TOPSOIL SHALL BE FRAGILE AND LOAMY, FREE OF DEBRIS, OBJECTIONABLE WEEDS, AND STONES, AND CONTAIN NO TOXIC MATERIALS. IF TOPSOIL IS OBTAINED UNLESS NEARLY THAN PREPARE SEED BED BY SCARPING, COMPACTED AREAS AND REMOVING DEBRIS, ROCKS AND STUMPS. SEEDING SHALL RECEIVE THE FOLLOWING SOIL AMENDMENTS:
 - A) LIME TO A pH OF 6.0
 - B) FERTILIZER WITH 500 LBS OF 5-10-10 OR EQUIVALENT PER ACRE (14 LBS./1000 SQ. FT.)
 - SEEDING SHALL BE WORKED INTO THE SEED BED WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT.
 - TEMPORARY SEEDINGS-
 - ANNUAL GRASS SEED SHALL BE APPLIED AT A RATE OF 0.9 LBS PER 1000 SQUARE FEET. USE WINTER RYE IF SEEDING DURING OCTOBER/NOVEMBER.
 - PERMANENT SEEDINGS-
 - SEEDINGS SHALL CONSIST OF 1 LB PER 1000 SQUARE FEET OF SEED CONTAINING AT LEAST 50% FAST SPROUTING PERENNIAL RYE GRASS AND 10% PINK CLOVER OR ALFALFA.
 - THE SEED MIX SHALL BE SPREAD BY UTILIZING A CYCLONE SEEDER, DRILL, OR MULTIPACK SEEDER. SEED DEPTH SHALL BE FROM 1/4 TO 1/2 INCH DEEP. SEED MAY ALSO BE APPLIED BY APPROPRIATE HYDROSEEDING METHODS.
 - ALL SEEDING AREAS SHALL BE MULCHED WITH STRAW MULCH APPLIED AT RATE OF 2 TON/ACRE (90 LBS PER 1000 SQUARE FEET) AND ANCHORED WITH "TERRA-TACK" OR EQUAL.
 - IF STABILIZATION BY SEEDING CANNOT OCCUR DURING THE RECOMMENDED SEEDING PERIODS, TOPSOIL, FILL, AND EXCAVATED MATERIALS SHALL BE TEMPORARILY STABILIZED WITH ANCHORED MULCH UNTIL SUCH TIME AS EFFECTIVE SEEDING CAN OCCUR.
 - STOCKPILE MATERIALS SHALL NOT BE LOCATED WITHIN 25 FEET OF ANY DITCH, STREAM, OR OTHER SURFACE WATER BODY.
 - IF CONSTRUCTION IS SUSPENDED, OR SECTIONS COMPLETED, AREAS SHALL BE SEED AND/OR MULCHED IMMEDIATELY.

APPLICANT:
 AB ACQUISITIONS, LLC
 298 TROY SCHENECTADY RD.
 LATHAM, N.Y. 12110

OWNER:
 WEST AVENUE DEVELOPMENT ASSOCIATES, LLC
 120 WEST AVENUE, SUITE 201
 SARATOGA SPRINGS, N.Y. 12866



CITY OF SARATOGA SPRINGS

NO.	REVISION	DATE
A	ISSUED FOR SKETCH PLAN REVIEW	4-25-16
B	ISSUED FOR SITE PLAN REVIEW	9-9-16

DESIGNED BY: ADVANCE ENGINEERING & SURVEYING, PLLC
 CONSULTING IN - CIVIL & ENVIRONMENTAL ENGINEERING
 LAND SURVEYING & DEVELOPMENT
 COMMERCIAL AND RESIDENTIAL

11 HERBERT DRIVE, LATHAM, N.Y. 12110
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EROSION CONTROL PLAN
MIXED USE DEVELOPMENT

WEST AVENUE CITY OF SARATOGA SPRINGS
 COUNTY OF SARATOGA NEW YORK

SCALE: 1" = 20'
 SHEET 9 OF 9

SHEET NO.
ERO

10 OF 10 16046-SITE