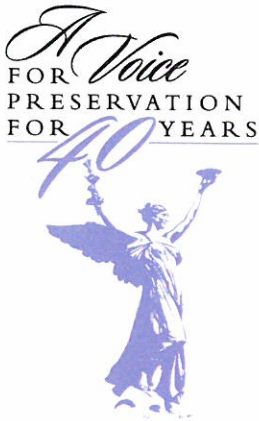


Saratoga Springs
Preservation Foundation

February 9, 2018



Mr. Steven Rowland, Chair
Saratoga Spring, Design Review Commission
City Hall
474 Broadway
Saratoga Springs, NY 12866

RE: RIP VAN DAM HOTEL, 353 Broadway

The Saratoga Springs Preservation Foundation has reviewed the revised plans and views provided for the proposed hotel addition at 353 Broadway.

The circa 1840 Rip Van Dam Hotel is a contributing building to the Broadway Historic District listed on the National Register of Historic Places.

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The Foundation is pleased with many of the changes that have been made – the relocation of the stair tower; the increased fenestration of the east façade that faces Broadway; and the increased height and decorative detail of the colonnade on Washington Street. However, as stated in previous letters to the Design Review Commission and the Planning Board, the Foundation remains concerned about its scale, mass, and height. It looms over the historic Rip Van Dam Hotel as well as the circa 1819 building at 351 Broadway, the oldest building on Broadway, and impacts the viewshed of Universal Preservation Hall. In several of the renderings provided Universal Preservation Hall is no longer visible or portions of its steeple are obscured.


While the applicant has shared several views of the proposed addition, they fail to provide views that show the building as viewed from different vantage points from the sidewalk of Broadway. Saratoga Springs is a community with many pedestrians on Broadway so these are important vantage points to be considered. Missing are views from vantage points across the street on the sidewalk (east) from the middle of the intersection of Washington Street and Broadway, 351 Broadway, 353 Broadway, and vantage points further north.

The Foundation understands that removal of an entire floor may not work for the applicant for financial reasons. However, those reasons are not to be considered by the land use review boards. The Foundation is open to the potential solution of stepping back portions of the top floor to address the concerns about mass, scale and height and its impacts to the adjacent historic structures and viewshed of Universal Preservation Hall.

Thank you in advance for your thoughtful consideration.

Sincerely,


Matthew E. Veitch
President


Samantha Bosshart
Executive Director

Cc: James Quinn, Applicant Project Manager
Sonny Bonacio, Applicant Builder
Bradley Birge, Administrator of Planning and Economic Development
Mike Torpey, Planning Board Chair
Kate Maynard, Senior Planner
Bill Moore, Zoning Board of Appeals Chair
Susan Barden, Senior Planner