



# CITY OF SARATOGA SPRINGS

City Hall - 474 Broadway  
Saratoga Springs, New York 12866  
Tel: 518-587-3550 fax: 518-580-9480

[FOR OFFICE USE]  
\_\_\_\_\_  
(Application #)  
\_\_\_\_\_  
(Date received)

## APPLICATION FOR: APPEAL TO THE ZONING BOARD FOR AN INTERPRETATION, USE VARIANCE, AREA VARIANCE AND/OR VARIANCE EXTENSION

	<u>APPLICANT(S)*</u>	<u>OWNER(S) (If not applicant)</u>	<u>ATTORNEY/AGENT</u>
Name	REX AND ELISABETH RUTHMAN		Rex Ruthman
Address	[REDACTED]		
Phone	[REDACTED]	/	/
Email	[REDACTED]		

\* An applicant must be the property owner, lessee, or one with an option to lease or purchase the property in question.

Applicant's interest in the premises:  Owner  Lessee  Under option to lease or purchase

### PROPERTY INFORMATION

3 Garside Drive, Saratoga NY 180.17-1 -19  
 1. Property Address/Location: \_\_\_\_\_ Tax Parcel No.: \_\_\_\_\_  
 (for example: 165.52 - 4 - 37)  
 2. Date acquired by current owner: 1/20/2006 3. Zoning District when purchased: PUD  
 vacant PUD(Green Acres)  
 4. Present use of property: \_\_\_\_\_ 5. Current Zoning District: \_\_\_\_\_  
 6. Has a previous ZBA application/appeal been filed for this property?  
 Yes (when? \_\_\_\_\_ For what? \_\_\_\_\_)  
 No  
 7. Is property located within (check all that apply)?  Historic District  Architectural Review District  
 500' of a State Park, city boundary, or county/state highway?  
 8. Brief description of proposed action: \_\_\_\_\_  
 To secure a variance of the "set Back" of 25 feet, as provided in the PUD Legislation for the subject lot. The reason is a determination of federally regulated wetlands within the building envelope to an extent prohibiting use of the entire lot.

9. Is there a written violation for this parcel that is not the subject of this application?  Yes  No

10. Has the work, use or occupancy to which this appeal relates already begun?  Yes  No

11. Identify the type of appeal you are requesting (check all that apply):  
 INTERPRETATION (p. 2)  VARIANCE EXTENSION (p. 2)  USE VARIANCE (pp. 3-6)  AREA VARIANCE (pp. 6-7)

FEES: Make checks payable to the "Commissioner of Finance". Fees are cumulative and required for each request below.

- Interpretation \$ 400
- Use variance \$1,000
- Area variance
- Residential use/property: \$ 150
- Non-residential use/property: \$ 500
- Extensions: \$ 150

**INTERPRETATION** – PLEASE ANSWER THE FOLLOWING (add additional information as necessary):

1. Identify the section(s) of the Zoning Ordinance for which you are seeking an interpretation:  
 Zoning Ordinance, Appendices, C-127 "Green Acres PUD" (see submission "APPENDIX C" provided herewith.  
 Section(s) \_\_\_\_\_

2. How do you request that this section be interpreted? \_\_\_\_\_  
 I request that the "building envelope" detailed on the Subdivision Map be varied to permit construction of a residence within fifteen feet of Garside Road, rather than the twenty five feet provided, to allow adjustment because of Federally Delineated wetlands in the approved bulding envelope, making its original permitted use impossible. (See wetlands designation, Exhibit "H" provided herewith.

3. If interpretation is denied, do you wish to request alternative zoning relief? Yes No
4. If the answer to #3 is "yes," what alternative relief do you request?  Use Variance  Area Variance

**EXTENSION OF A VARIANCE** – PLEASE ANSWER THE FOLLOWING (add additional information as necessary):

1. Date original variance was granted: \_\_\_\_\_ 2. Type of variance granted?  Use  Area
3. Date original variance expired: \_\_\_\_\_
5. Explain why the extension is necessary. Why wasn't the original timeframe sufficient?

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

When requesting an extension of time for an existing variance, the applicant must prove that the circumstances upon which the original variance was granted have not changed. Specifically demonstrate that there have been no significant changes on the site, in the neighborhood, or within the circumstances upon which the original variance was granted:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**USE VARIANCE** -- PLEASE ANSWER THE FOLLOWING (add additional information as necessary):

A use variance is requested to permit the following: \_\_\_\_\_

For the Zoning Board to grant a request for a use variance, an applicant must prove that the zoning regulations create an unnecessary hardship in relation to that property. In seeking a use variance, New York State law requires an applicant to prove all four of the following "tests".

I. That the applicant cannot realize a reasonable financial return on initial investment for any currently permitted use on the property. "Dollars & cents" proof must be submitted as evidence. The property in question cannot yield a reasonable return for the following reasons:

If the matter is considered a "USE" variance, then loss of the building envelope after purchase of the property for @200,000 imposes a severe hardship, as it cannot be used as approved by the City of Saratoga in the first instance, cannot be constructed on as the approved lot shows, and is essentially converted to a green space. I believe the City should have required the wetland determination in the first instance as part of SEQRA, and failure to do so should not impose a penalty amounting to a ~~confiscation on the applicant.~~

A. Submit the following financial evidence relating to this property (attach additional evidence as needed):

2006 18,000.00

1) Date of purchase: \_\_\_\_\_ Purchase amount: \$ \_\_\_\_\_

2) Indicate dates and costs of any improvements made to property after purchase:

<u>Date</u>	<u>Improvement</u>	<u>Cost</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

3) Annual maintenance expenses: \$ \_\_\_\_\_ 4) Annual taxes: \$ \_\_\_\_\_

5) Annual income generated from property: \$ \_\_\_\_\_

6) City assessed value: \$ \_\_\_\_\_ Equalization rate: \_\_\_\_\_ Estimated Market Value: \$ \_\_\_\_\_

7) Appraised Value: \$ \_\_\_\_\_ Appraiser: \_\_\_\_\_ Date: \_\_\_\_\_

Appraisal Assumptions: \_\_\_\_\_

B. Has property been listed for sale with the Multiple Listing Service (MLS)?  Yes If "yes", for how long? \_\_\_\_\_  No

1) Original listing date(s): \_\_\_\_\_ Original listing price: \$ \_\_\_\_\_

If listing price was reduced, describe when and to what extent: \_\_\_\_\_  
With the current wetland determination the property has lost significant value but I have not had it appraised.

2) Has the property been advertised in the newspapers or other publications?  Yes  No

If yes, describe frequency and name of publications: \_\_\_\_\_

3) Has the property had a "For Sale" sign posted on it?  Yes  No

If yes, list dates when sign was posted: \_\_\_\_\_

4) How many times has the property been shown and with what results? \_\_\_\_\_

2. That the financial hardship relating to this property is unique and does not apply to a substantial portion of the neighborhood. Difficulties shared with numerous other properties in the same neighborhood or district would not satisfy this requirement. This previously identified financial hardship is unique for the following reasons:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



**AREA VARIANCE** -- PLEASE ANSWER THE FOLLOWING (add additional information as necessary):

The applicant requests relief from the following Zoning Ordinance article(s) \_\_\_\_\_

<u>Dimensional Requirements</u>	<u>From</u>	<u>To</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

Other: \_\_\_\_\_  
\_\_\_\_\_

To grant an area variance, the ZBA must balance the benefits to the applicant and the health, safety, and welfare of the neighborhood and community, taking into consideration the following:

- 1. Whether the benefit sought by the applicant can be achieved by other feasible means. Identify what alternatives to the variance have been explored (alternative designs, attempts to purchase land, etc.) and why they are not feasible.

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

- 2. Whether granting the variance will produce an undesirable change in the character of the neighborhood or a detriment to nearby properties. Granting the variance will not create a detriment to nearby properties or an undesirable change in the neighborhood character for the following reasons:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

3. Whether the variance is substantial. The requested variance is not substantial for the following reasons:

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4. Whether the variance will have adverse physical or environmental effects on neighborhood or district. The requested variance will not have an adverse physical or environmental effect on the neighborhood or district for the following reasons:

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5. Whether the alleged difficulty was self-created (although this does not necessarily preclude the granting of an area variance). Explain whether the alleged difficulty was or was not self-created:

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DISCLOSURE

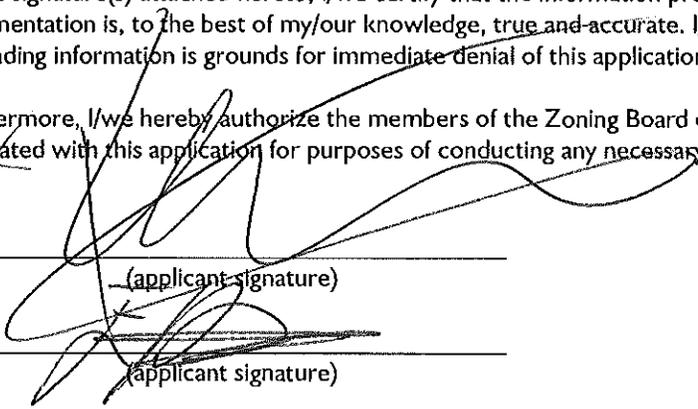
Does any City officer, employee, or family member thereof have a financial interest (as defined by General Municipal Law Section 809) in this application?  No  Yes If "yes", a statement disclosing the name, residence and nature and extent of this interest must be filed with this application.

APPLICANT CERTIFICATION

I/we, the property owner(s), or purchaser(s)/lessee(s) under contract, of the land in question, hereby request an appearance before the Zoning Board of Appeals.

By the signature(s) attached hereto, I/we certify that the information provided within this application and accompanying documentation is, to the best of my/our knowledge, true and accurate. I/we further understand that intentionally providing false or misleading information is grounds for immediate denial of this application.

Furthermore, I/we hereby authorize the members of the Zoning Board of Appeals and designated City staff to enter the property associated with this application for purposes of conducting any necessary site inspections relating to this appeal.

  
\_\_\_\_\_  
(applicant signature)  
\_\_\_\_\_  
(applicant signature)

April 10, 2016  
Date: \_\_\_\_\_  
April 10, 2016  
Date: \_\_\_\_\_

If applicant is not the currently the owner of the property, the current owner must also sign.

Owner Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Owner Signature: \_\_\_\_\_

Date: \_\_\_\_\_

**ZONING AND BUILDING INSPECTOR DENIAL  
OF APPLICATION FOR LAND USE AND/OR BUILDING**

APPLICANT: \_\_\_\_\_ TAX PARCEL NO.: \_\_\_\_\_ - \_\_\_\_\_ - \_\_\_\_\_

PROPERTY ADDRESS: \_\_\_\_\_ ZONING DISTRICT: \_\_\_\_\_

This applicant has applied to use the identified property within the City of Saratoga Springs for the following:  
Construction of a residential dwelling within the 25 foot set back provided in the PUD for Green Acres, and is not entitle to a permit without a variance.  
No variance being had a this time, the applicant is denied.

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This application is hereby denied upon the grounds that such use of the property would violate the City Zoning Ordinance article(s) Green Acres PUD, City Of Saratoga Zoning Ord. Appendices, C-127. As such, the following relief would be required to proceed:

Extension of existing variance       Interpretation

Use Variance to permit the following: \_\_\_\_\_

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Area Variance seeking the following relief:

<u>Dimensional Requirements</u>	<u>From</u>	<u>To</u>
Building Envelope Requirement	25 ft to Road	15 ft to road
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

Other: \_\_\_\_\_

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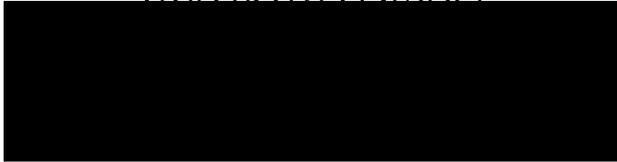
Note: \_\_\_\_\_

Advisory Opinion required from Saratoga County Planning Board

\_\_\_\_\_  
ZONING AND BUILDING INSPECTOR

\_\_\_\_\_  
DATE

REX S. RUTHMAN



Susan Barden  
Senior Planner  
City of Saratoga Springs

Duane Miller  
Assistant Building Inspector  
City of Saratoga Springs

Saratoga City Hall,  
474 Broadway Ste 10  
Saratoga Springs NY 12866

Re: # 3 Garside Road; Rex and Elisabeth Ruthman, application for a Building Permit; Application for a variance of the set back requirement for a single family lot at Green Acres Subdivision

Dear Ms. Barden, Dear Mr. Miller,

I write this letter to cover different specific and one general object. The general object is to get approval of a building permit for a single family home, the plans for which have been submitted for some time.

At the time of the original submission I was directed to notify the United States Corps of Engineers and secure a wetland determination regarding the lot in question, which I have done. I am herewith submitting a copy of the full application presently before the Corps of Engineers.

As you can see the Application has information pertinent both to the building permit presently pending, and the variance I propose.

[1] There is a full original subdivision map, a site plan, a flood plane plan showing the location of the proposed house, copies of plans already submitted to the Building Department, a history of the site, the lot and the Subdivision, photos of the lot in question.

[2] There is a full boundary survey.

[3] There is a full wetland study and wetland boundary map

[4] There is a full detail of the planned structure on the site with topological data.

[5] There is the original legislation and zoning specifications for the Green Acres Subdivision.

[6] There is NYS DEC determination no historic or parkland sites are affected.

The purpose of this data, one set for the Building Department, is to resolve outstanding issues that have or may exist with regard to the property. The set for the Board of Zoning

Appeals is to accompany the enclosed copie(s) of the application for a variance being submitted herewith.

It is my understanding an application for a variance may be made from a finding of the building department denyinig a request for relief. I have requested, and been advised, I am not entitled to construct the planned residence within less than twenty five feet from Garside Road without a variance. I am seeking that variance now.

The basis for the request for a variance is that a hardship now exists by reason of wetland identification. Construction of the proposed residence was planned before any wetland was known to exist, based upon the approved subdivision lot set forth in the Green Acres subdivision site map and details. That approval was in 1999. There was no note or mention of any wetland on or affecting 3 Garside Drive, nor was such a wetland ever disclosed. It is my view that the SEQRA review of the proposed subdivision should have disclosed actual or possible wetlands, or at least acknowledged the possibility. I paid \$180,000 for the property in question in 2006.

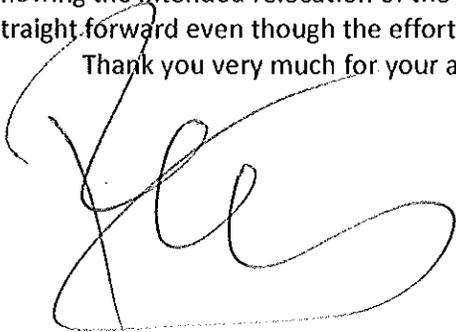
Because of the "overlap" of the planned structure with the new wetland, a permit has to be secured to permit any construction at all. Applicant is seeking permission to fill 2500± square feet of the site, which would create a site for the building and very limited working space.

If the building could be built fifteen feet, rather than twenty five feet, from Garside Road, the extra ten feet would not be inconsistent with properties already located on the subdivision (see included subdivision map), and since the Applicant property is the last property on the street, would not impact the street. The House faces Saratoga lake, and the site does not present any "back yard" fronting on Garside Drive in any case. In fact the "back yard " would be used for parking.

The extra frontage facing Sarartoga Lake would open the view for the adjacent properties, allow for grading and terracing between the wetland and the proposed residence, and alleviate a substantial unexpected hardship in having half the lot determined to be a wetland.

In closing, please find submitted with my Application for Variance, a site plan detail showing the intended relocation of the residence, and profile resulting. The request is very straight forward even though the effort to get to this point has not been.

Thank you very much for your attention to this matter.

A large, stylized handwritten signature in black ink, appearing to be the initials 'JL' followed by a long, sweeping flourish.

REX S. RUTHMAN



Susan Barden  
Senior Planner  
City of Saratoga Springs

Duane Miller  
Assistant Building Inspector  
City of Saratoga Springs

Saratoga City Hall,  
474 Broadway Ste 10  
Saratoga Springs NY 12866

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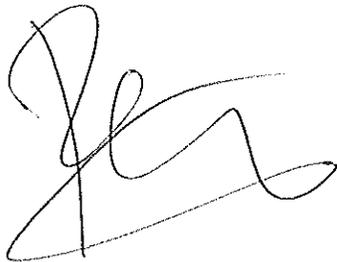
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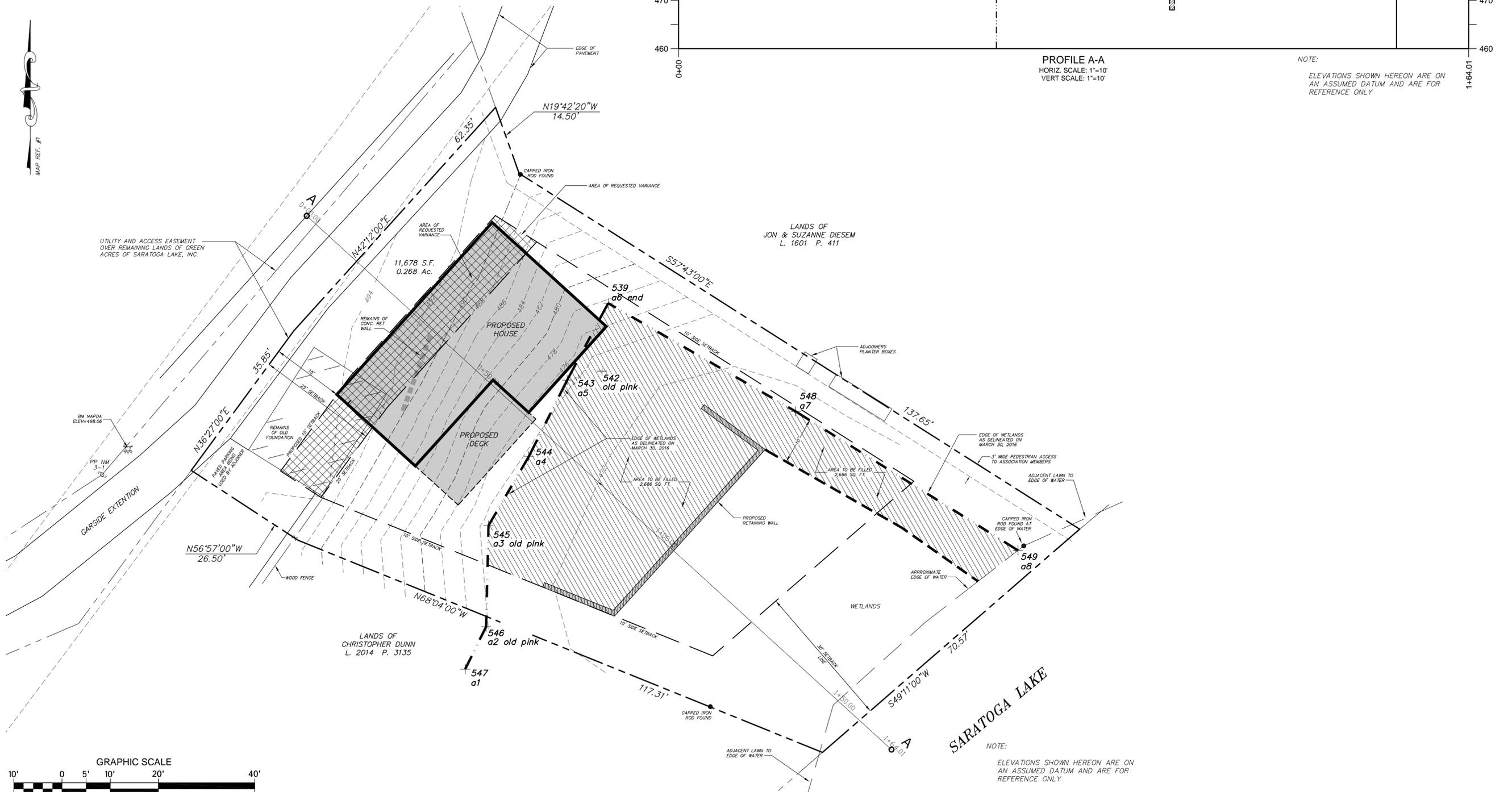
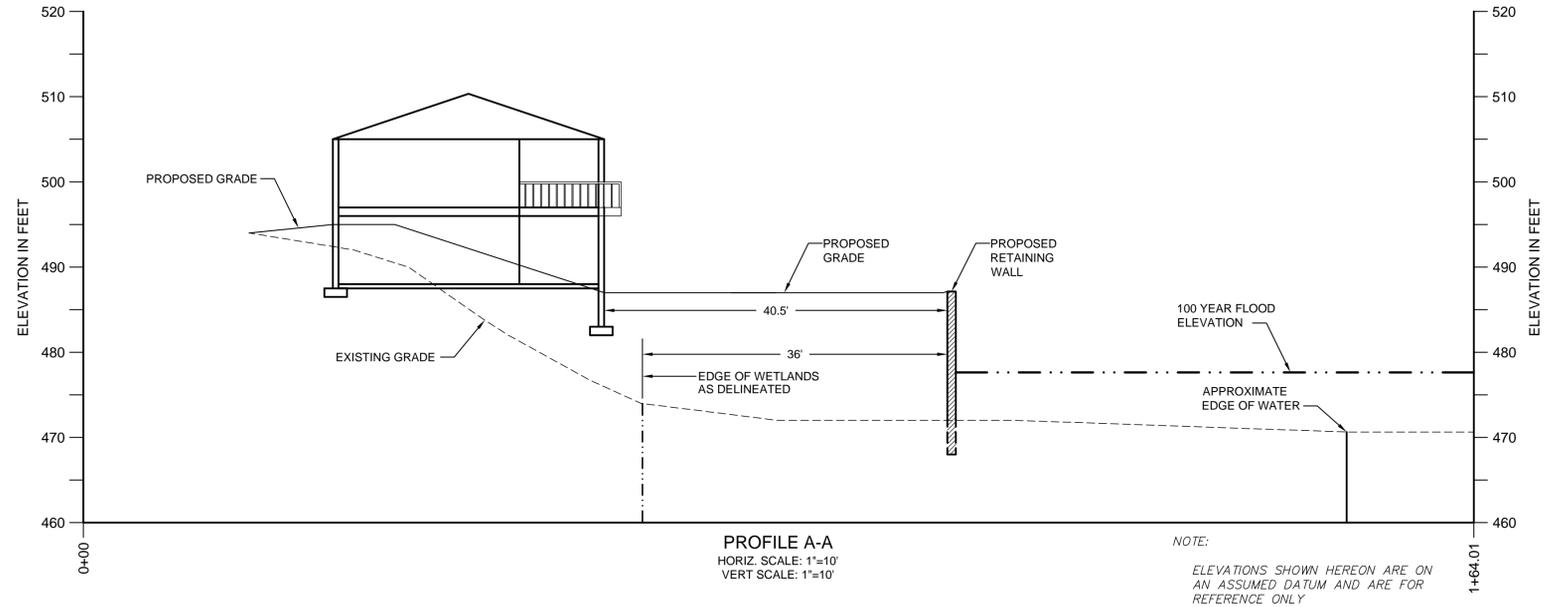
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Thank you very much for your attention to this matter.

A handwritten signature in black ink, consisting of several loops and a long horizontal stroke extending to the right.



**BFA** BREWER ENGINEERING ASSOCIATES, P.C.  
 CONSULTING ENGINEERS • PLANNERS  
 743 COLUMBIA TURNPIKE, EAST GREENBUSH, NEW YORK 12061  
 PHONE: 518.477.5253 FAX: 518.477.5233

**PROPOSED RESIDENCE OF  
 REX S. & ELISABETH A. RUTHMAN**  
 CITY OF SARATOGA SPRINGS, SARATOGA COUNTY  
 STATE OF NEW YORK

TITLE		FRONT SETBACK - 15 FT. VARIANCE MAP	
DRAWN BY	JDF	CHECKED BY	TJB
DATE	04/11/16	DATE	
SCALE	AS SHOWN	REVISION	
DRAWING NUMBER		1	
APN:		15-01	

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209 SUBSECTION 2 OF THE NEW YORK STATE EDUCATION LAW

**JOINT APPLICATION**  
**FOR**  
**REX S. & ELISABETH A. RUTHMAN**  
**3 GARSIDE ROAD EXTENSION**  
**LOT 3, "GREEN ACRES AT SARATOGA LAKE, PUD"**  
**CITY OF SARATOGA SPRINGS**  
**COUNTY OF SARATOGA**  
**STATE OF NEW YORK**

**PREPARED BY;**  
**BREWER ENGINEERING ASSOCIATES, P.C.**  
**743 COLUMBIA TURNPIKE**  
**EAST GREENBUSH, NEW YORK 12061**

**MARCH 2016**

# BREWER ENGINEERING ASSOCIATES, P.C.

CONSULTING ENGINEERS - PLANNERS

743 COLUMBIA TURNPIKE - EAST GREENBUSH - NEW YORK 12061 - (518) - 477-5253 - 477-5273

March 19, 2016

Christine Delorier, Senior Project Manager  
U. S. Army Corps of Engineers  
1 Buffington Street - Bldg. 10, 3rd Floor  
Watervliet, New York 12189-4000

RE: PROPOSED RESIDENCE OF REX S. & ELISABETH A. RUTHMAN"  
3 GARSIDE ROAD EXTENSION  
CITY OF SARATOGA SPRINGS, NY  
APPLICATION No. NAN-2015-00404-UDE

Dear Christine:

On behalf of the applicants, Rex S, and Elisabeth A. Ruthman, we are requesting that an Approved Jurisdictional Determination be issued for Application No. NAN-2015-00404-UDE. The application is being submitted for permission to construct a single family residence at 3 Garside Road Extension. (Joint Application is enclosed in Appendix "A").

We also request that you review the data we are submitting in support of our request that the proposed project be considered a "stand-alone-site". The supporting data for the stand-alone-site is enclosed in the Appendices, as is the required information needed to progress the application for the proposed project.

In your letter of October 15, 2015 under Item 3 you state that you checked the Corps records and were unable to find anything pertinent to Green Acres. Following review the City of Saratoga Springs Planning and Zoning Boards meeting minutes from January 2000 to November 2015 we find that Green Acres of Saratoga Lake, Inc., PUD was created by the City of Saratoga Springs by an ordinance for the purpose of promoting flexibility in the development and design of Green Acres by incorporating the area which has existed and been developed over the past 30 years into the City's zoning jurisdiction. There is a statement in the Ordinance that the area had been developed over the past 30 years. Actually development of the area started in 1923 which would have been 67 years prior to the PUD in 1999.

The property was acquired in 1922 by Mary F. Green. Following acquisition of the property lots were created and leased to individuals on which the lessors would construct cottages. The cottages and any other structures that were constructed on the leased lots would be owned by the lessors. According to City tax data, the first cottage was constructed in 1923. That cottage is the structure presently located at 26 Garside Road. According to City tax data several cottages were constructed in 1925, of which eight still remain. Four additional residences were constructed between 1935 and 1978.

PROPOSED RESIDENCE OF REX S.  
& ELISABETH A. RUTHMAN"  
3 GARSIDE ROAD EXTENSION  
CITY OF SARATOGA SPRINGS, NY  
APPLICATION No. NAN-2015-00404-UDE

MARCH 19, 2016  
PAGE 2

Since Green Acres PUD was approved in 1999, two structures that existed at the time of the PUD have been improved and replaced; one at 21 Garside Road and the other at 17 Garside Road. Both were removed and replaced with new residences constructed in 2002 and 2003, respectively. At the time of the approval of the PUD in 1999 Ruthmans', Lot 3 was occupied by a 450 square foot cottage. This is indicated on the enclosed PUD map as well as on the site plan prepared by Richard H. Green, P.E., dated February 16, 2006.

In 1967 Frederick Kmen, George E. Barter and Donald Todd, as trustees for Green Acres Association acquired the property from Grace Green Graham, daughter of Mary Green. At that time, according to the "Declaration of Protective Covenants, Restrictions, Easements and Liens of Green Acres of Saratoga Lake, Inc., (A Homeowners' Association)," all property, (land), was conveyed to the Association by deed dated September 7, 1967 recorded in the office of the Saratoga County Clerk on September 15, 1967 in Liber 816 of Deeds at Page 85. Subsequently, as shown on a Subdivision Plan prepared in 1999 entitled "Green Acres of Saratoga Lake, Inc. PUD" and filed in the office of the Saratoga County Clerk in Drawer "G" as Map No. 291 A & B, the Lot appurtenant to each home, with two homes existing on lot identified as 21/21A Garside Road, was conveyed to the owner of such home and homes. "Green Acres of Saratoga Lake, Inc.," was filed with the State of New York on January 4, 1972.

In 1999 to better control the future development of the site the Green Acres of Saratoga Lake, Inc., a PUD was created by the City of Saratoga Springs by an ordinance entitled - AN ORDINANCE PROVIDING FOR THE ESTABLISHMENT OF PLANNED UNIT DEVELOPMENT DISTRICT TO BE KNOWN AS "GREEN ACRES PLANNED UNIT DEVELOPMENT". (A copy of the Ordinance is enclosed in Appendix "C").

As evidence that the site occupied by Green Acres has been a long standing cottage development, we have quoted excerpts from portions of the Ordinance:

From Section IV - Purpose: (Page 127)

Historically the area included in Green Acres developed outside the now applicable zoning ordinance. It is the purpose of the Ordinance to provide a means to establish regulations and limit residential growth in the already developed area. It is the further purpose of this Ordinance to promote flexibility in the development and design of Green Acres by incorporating this area which has existed and been developed over the last 30 years into the City's zoning ordinance so as to legislative ratify the residential nature of the area and facilitate the use of land, promote good site design and visual quality and result in a more pleasing environment than otherwise possible. The Comprehensive Plan of the City of Saratoga Springs (as revised) proposes that this area be developed as a PUD.

From Section V - Use and Density: (Page 127 - Quote on Page 128)

Each lot will be established by surveyed descriptions incorporated in this legislation by reference on the attached sketch plan. No further development will be permitted on said lots other than as expressly provided for in this act.

From Section VI: Ownership, Tenancies and Homeowner's Association: (Page 128)

The PUD shall consist of 19 parcels (totaling approximately 7 acres) leased to corporation members and the remaining land (approximately 6 acres) shall be common space retained by the corporation. The leased lots are surveyed and the lot lines described in the PUD will be the same as the lot lines contained in the member's leases. Green Acres retains the right to convey the leased premises to its members or to other persons in fee simple. The common space shall be maintained by the corporation and expenses for the same shall be paid through revenues generated by the leases to the tenants. In the event that the lots are transferred to individuals, the corporation shall require the lot owners as a condition of the conveyance to agree through association or otherwise to contribute sufficient funds to maintain all common property retained by Green Acres.

From Section VII - Sketch Plan: (Page 128)

The attached Sketch Plan, Appendix B, shall be used by the City and the developer as a guide for overall development of "Green Acres Planned Unit Development". It may be amended and modified by the Saratoga Springs Planning Board so long as the use, density and development regulations as set forth in this Ordinance are met.

Sketch Plan, Appendix B, (Page 135) dated August 1999 indicates existing structures and owners as of that date and the area of each lot.

Enclosed is a copy of Green Acres Of Saratoga Lake, Inc. P.U.D., dated September 28, 1999, approved by Planning Board of the City of Saratoga Springs on October 20, 1999 and filed in the Saratoga County Clerk's Office on March 6, 2000. You will note that on each lot it states Lands N/F of Green Acres of Saratoga Lake, Inc. leased to the individual lease holders. Following the filing of the PUD map the lots were Quit Claim deeded to each leaseholder.

We have enclosed property descriptions from the City of Saratoga Springs Tax Records for each of the lots to establish the type of structure, square footage and the year built. The records also indicate the current owners.

The original site plan prepared by Richard H. Green, P.E. dated February 16, 2006 indicated an existing cottage as of that date. The site plan prepared by Richard Green proposed a fill that would impact approximately 5,626 sq. ft. of potential wetlands. A revised site plan has been developed that would employ the construction of a retaining wall that would traverse the site at point approximately 82 feet to the east of the front property line. Constructing the retaining wall at this location would reduce the impact on the potential wetlands to approximately 2,686 sq. ft. (Plans for the original site plan and revised site plan are enclosed in Appendix "G").

The Ruthman's proposed to construct a two-story single family residence with a walk-out basement. The first floor living area will be approximately 1,296 square feet, the same square footage as the walk-out basement. The second floor would have an area of approximately 638 square feet. The total living area would be approximately 1,934 square feet. A retaining wall will be constructed at a point approximately 30 feet to the rear of the residence which will create a level yard area from the walk-out basement. (Building plans are enclosed in Appendix "L").

PROPOSED RESIDENCE OF REX S.  
& ELISABETH A. RUTHMAN"  
3 GARSIDE ROAD EXTENSION  
CITY OF SARATOGA SPRINGS, NY  
APPLICATION No. NAN-2015-00404-UDE

MARCH 19, 2016  
PAGE 4

A portion of the site immediately along the lake is within the 100 year flood as indicated on FEMA Map #36091C0461E. The normal elevation of the lake is 203 feet above sea level with the 100 year flood level at 210. The elevation of Garside Road Extension is 228+- feet, the elevation of the first floor of the proposed structure. The building plan shows a finished basement floor elevation of 217+- feet, approximately 7+- feet above the 100 year flood elevation. (The FEMA Map is included in Appendix "I").

In conclusion, and based on the foregoing, we request that an approved jurisdictional determination be issued allowing for this project to proceed on a "stand-alone basis, and for the project for the project to proceed on the basis of the wetland impact described herein.

As always, thank you for your assistance and help in this matter.

Sincerely,

  
BREWER ENGINEERING ASSOCIATES, P.C.

Richard Tice  
Project Development

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**A**

**JOINT APPLICATION FORM**



# JOINT APPLICATION FORM



For Permits/Determinations to undertake activities affecting streams, waterways, waterbodies, wetlands, coastal areas and sources of water withdrawal.

New York State

US Army Corps of Engineers (USACE)

You must separately apply for and obtain separate Permits/Determinations from each involved agency prior to proceeding with work. Please read all instructions.

<p>APPLICATIONS TO</p> <p><b>1. NYS Department of Environmental Conservation</b></p> <p>Check all permits that apply:</p> <p><input type="checkbox"/> Stream Disturbance</p> <p><input type="checkbox"/> Excavation and Fill in Navigable Waters</p> <p><input checked="" type="checkbox"/> Docks, Moorings or Platforms</p> <p><input type="checkbox"/> Dams and Impoundment Structures</p> <p><input type="checkbox"/> 401 Water Quality Certification</p> <p><input checked="" type="checkbox"/> Freshwater Wetlands</p> <p><input type="checkbox"/> Tidal Wetlands</p> <p><input type="checkbox"/> Coastal Erosion Management</p> <p><input type="checkbox"/> Wild, Scenic and Recreational Rivers</p> <p><input type="checkbox"/> Water Withdrawal</p> <p><input type="checkbox"/> Long Island Well</p> <p><input type="checkbox"/> Aquatic Vegetation Control</p> <p><input type="checkbox"/> Aquatic Insect Control</p> <p><input type="checkbox"/> Fish Control</p> <p><input type="checkbox"/> Incidental Take of Endangered/Threatened Species</p> <p><input checked="" type="checkbox"/> I am sending this application to this agency.</p>	<p><b>2. US Army Corps of Engineers</b></p> <p>Check all permits that apply:</p> <p><input checked="" type="checkbox"/> Section 404 Clean Water Act</p> <p><input type="checkbox"/> Section 10 Rivers and Harbors Act</p> <p><input checked="" type="checkbox"/> Nationwide Permit(s) - Identify Number(s):</p> <p>_____</p> <p>_____</p> <p>Preconstruction Notification -</p> <p><input type="checkbox"/> Y / <input type="checkbox"/> N</p> <p><input type="checkbox"/> I am sending this application to this agency.</p>	<p><b>3. NYS Office of General Services</b></p> <p>Check all permits that apply:</p> <p><input type="checkbox"/> State Owned Lands Under Water</p> <p><input type="checkbox"/> Utility Easement (pipelines, conduits, cables, etc.)</p> <p><input checked="" type="checkbox"/> Docks, Moorings or Platforms</p> <p><input type="checkbox"/> I am sending this application to this agency.</p>	<p><b>4. NYS Department of State</b></p> <p>Check if this applies:</p> <p><input type="checkbox"/> Coastal Consistency Concurrence</p> <p><input type="checkbox"/> I am sending this application to this agency.</p>
---	--	---	--

<p><b>5. Name of Applicant (use full name)</b> Rex S. Ruthman</p>	<p><b>Applicant must be:</b></p> <p><input checked="" type="checkbox"/> Owner</p> <p><input type="checkbox"/> Operator</p> <p><input type="checkbox"/> Lessee</p> <p>(check all that apply)</p>
<p>Mailing Address</p> <p>_____</p>	
<p>Post Office City</p> <p>_____</p>	<p>Taxpayer ID (If applicant is NOT an individual):</p>
<p>State _____ Zip Code _____</p>	
<p>Telephone (daytime)</p> <p>_____</p>	<p>Email</p> <p>_____</p>

<p><b>6. Name of Facility or Property Owner (if different than Applicant)</b></p>	
<p>Mailing Address</p> <p>_____</p>	
<p>Post Office City</p> <p>_____</p>	
<p>State _____ Zip Code _____</p>	
<p>Telephone (daytime)</p> <p>_____</p>	<p>Email</p> <p>_____</p>

<p><b>7. Contact/Agent Name</b> Rex Ruthman</p>	
<p>Company Name see above</p>	
<p>Mailing Address</p> <p>_____</p>	
<p>Post Office City</p> <p>_____</p>	
<p>State _____ Zip Code _____</p>	
<p>Telephone (daytime)</p> <p>_____</p>	
<p>Email</p> <p>_____</p>	

<p><b>8. Project / Facility Name</b> Green Acres OF Saratoga Lake. PUD</p>	<p>Property Tax Map Section / Block / Lot Number 180.17-1-19</p>	
<p>Project Location - Provide directions and distances to roads, bridges and bodies of waters: Saratoga Lake. Saratoga New York</p>		
<p>Street Address, if applicable 3 Garside Rd. Ext</p>	<p>Post Office City Saratoga Springs</p>	<p>State Zip Code NY 12866</p>
<p>Town / Village / City Saratoga Springs</p>		<p>County Saratoga</p>
<p>Name of USGS Quadrangle Map Saratoga NE Quadrant</p>		<p>Stream/Water Body Name Saratoga Lake</p>
<p>Location Coordinates: Enter NYTMs in kilometers, OR Latitude/Longitude</p>		
<p>NYTM-E</p>	<p>NYTM-N</p>	<p>Latitude 43.044848</p>
		<p>Longitude -73.630073</p>

<p><b>For Agency Use Only</b> DEC Application Number: _____</p>	<p>USACE Number: _____</p>
---	----------------------------

**JOINT APPLICATION FORM - PAGE 2 OF 2**  
Submit this completed page as part of your Application.

**9. Project Description and Purpose:** Provide a complete narrative description of the proposed work and its purpose. Attach additional page(s) if necessary. Include: description of current site conditions and how the site will be modified by the proposed project; structures and fill materials to be installed; type and quantity of materials to be used (i.e., square ft of coverage and cubic yds of fill material and/or structures below ordinary/mean high water) area of excavation or dredging, volumes of material to be removed and location of dredged material disposal or use; work methods and type of equipment to be used; pollution control methods and mitigation activities proposed to compensate for resource impacts; and where applicable, the phasing of activities. **ATTACH PLANS ON SEPARATE PAGES.**

Please see attached narrative and plans explaining plan to construct a residential dwelling in an approved subdivision.

The lot is a lake front lot showing 98.19 feet of frontage and about 105 feet of depth.

The building envelope shown on the approved subdivision requires a "front yard" of 25 feet, leaving about 80 feet from the furthest part of the building envelope to the water line. The plan would result in construction at an elevation of 211 feet, with the level of the lake shown as 202 feet, and the flood level at 206 feet.

An ACOE representative has visited the land and flagged it at "the base of the slope, as generally shown on the profile submitted hereto.

Applicant respectfully requests a finding the jurisdictional wetland area shown is .10 acre or less, permit to engage in construction, dredging or filling in any jurisdictional wetland up to .10 acres; a permit to construct the applicants residence within the approved subdivision building envelope, as shown on the submitted site plan.

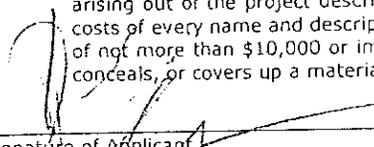
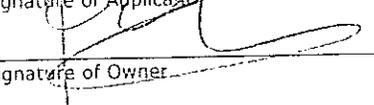
A copy of the approved subdivision lot, a profile showing the elevation of the proposed finished slab of the new home, A site drawing showing elevations and the building location are included with other papers deemed useful or necessary.

Proposed Use: <input checked="" type="checkbox"/> Private <input type="checkbox"/> Public <input type="checkbox"/> Commercial	Proposed Start Date: August 1 2015	Estimated Completion Date: December 1 2015
Has Work Begun on Project? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes, explain.		
The proposed new home in the approved subdivision has been designed.		
Will Project Occupy Federal, State or Municipal Land? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, please specify.		

**10. List Previous Permit / Application Numbers (if any) and Dates:**  
A building Permit has been applied for with the City Of Saratoga Springs but is on hold pending wetland review.

**11. Will this project require additional Federal, State, or Local Permits including zoning changes?**  Yes  No If yes, please list:  
 [1] NYSDEC has advised no NY wetlands within a mile, but this permit requires submission to DEC and perhaps OGS.  
 [2] There will be a buiding permit required  
 [3] Nationwide General Permit Number 29, ACOE

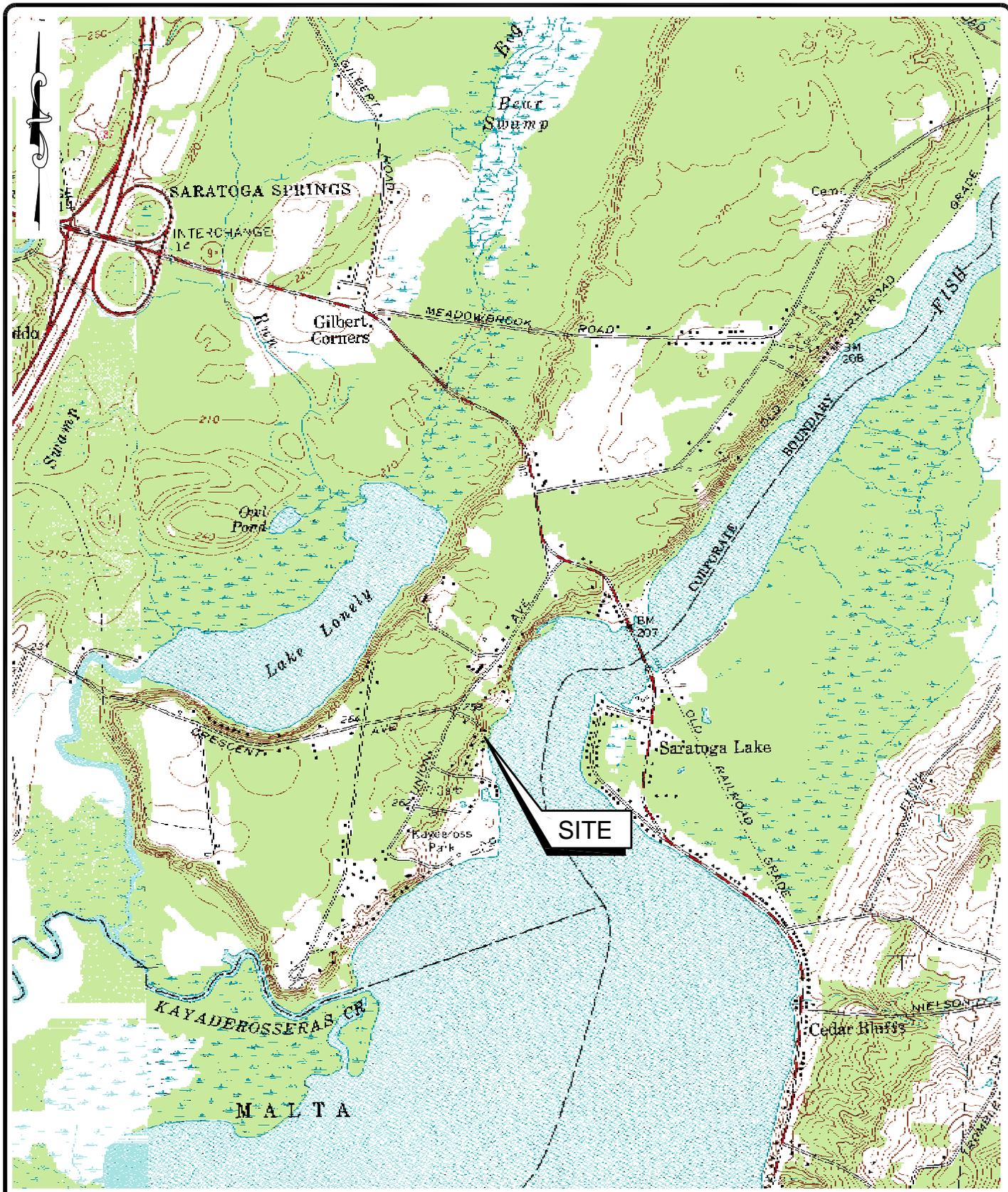
**12. Signatures.** If applicant is not the owner, both must sign the application.  
 I hereby affirm that information provided on this form and all attachments submitted herewith is true to the best of my knowledge and belief. False statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. Further, the applicant accepts full responsibility for all damage, direct or indirect, of whatever nature, and by whomever suffered, arising out of the project described herein and agrees to indemnify and save harmless the State from suits, actions, damages and costs of every name and description resulting from said project. In addition, Federal Law, 18 U.S.C., Section 1001 provides for a fine of not more than \$10,000 or imprisonment for not more than 5 years, or both where an applicant knowingly and willingly falsifies, conceals, or covers up a material fact; or knowingly makes or uses a false, fictitious or fraudulent statement.

	Rex S Ruthman	Mr.	May 15 2015
Signature of Applicant	Printed Name	Title	Date
	Rex S Ruthman	Mr.	May 15 2015
Signature of Owner	Printed Name	Title	Date
Signature of Agent	Printed Name	Title	Date

<b>For Agency Use Only</b>	<b>DETERMINATION OF NO PERMIT REQUIRED</b>		
_____	Agency Project Number _____	_____	
(Agency Name)	has determined that No Permit is required from this Agency for the project described in this application.		
Agency Representative: Name (printed) _____	Title _____	_____	
Signature _____	Date _____	_____	

**B**

**SITE VICINITY MAP**



SOURCE: U.S.G.S. 7.5' Topographic  
 QUADRANGLE: SARATOGA SPRINGS, NY &  
 QUAKER SPRINGS, NY

### SITE VICINITY MAP

SCALE: 1"=2000'

**BEA** BREWER ENGINEERING  
 ASSOCIATES, P.C.  
 CONSULTING ENGINEERS \* PLANNERS  
 743 COLUMBIA TURNPIKE, EAST GREENBUSH, NEW YORK 12061  
 PHONE: 518.477.5253 FAX: 518.477.5233

PROPOSED RESIDENCE OF  
 REX S. & ELISABETH A. RUTHMAN  
 CITY OF SARATOGA SPRINGS, SARATOGA COUNTY  
 STATE OF NEW YORK

C

**ORDINANCE CREATING GREEN ACRES**

CITY OF SARATOGA SPRINGS ZONING ORDINANCE

-----  
CHAPTER 240  
OF THE CITY CODE OF THE CITY OF SARATOGA SPRINGS, NEW YORK  
ZONING ORDINANCE  
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ADOPTED BY THE CITY COUNCIL, SEPTEMBER 4, 2012; EFFECTIVE OCTOBER 4, 2012

Appendix C:

9. Green Acres Planned Unit Development (formerly 241.9)

AN ORDINANCE PROVIDING FOR THE ESTABLISHMENT OF PLANNED  
UNIT DEVELOPMENT DISTRICT TO BE KNOWN AS  
"GREEN ACRES PLANNED UNIT DEVELOPMENT"

BE IT ORDAINED by the City Council of the City of Saratoga Springs, New York, following a public hearing as follows:

Section 1 - Name:

This Ordinance shall be known as "Green Acres Planned Unit Development" and amends Chapter 240 of the Code of the City of Saratoga Springs, New York entitled "Zoning".

Section II - Zoning Change:

The Zoning Ordinance of the City of Saratoga Springs and the zoning map of the City of Saratoga Springs as set forth herein be and the same are hereby amended by changing from the existing zoning district of UR-2 as hereinafter described, and creating within the boundaries of said newly described area a residential planned unit development district to be known and described as "Green Acres Planned Unit Development", hereinafter referred to as "Green Acres".

Section III - Boundaries:

The area of "Green Acres Planned Unit Development" owned by Green Acres of Saratoga Lake, Inc., hereinafter the "Corporation") consists of approximately thirteen (13.2) acres located in the City of Saratoga Springs and is bounded and described as set forth in Appendix A- Legal Description, and Appendix B - Sketch Plan, attached hereto and made a part hereto.

The property is designated on the Assessor's Map of the Outside Tax District as set forth on Appendix C - Tax Map Identification.

Section IV - Purpose:

Historically, the area included in Green Acres developed outside the now applicable zoning ordinance. It is the purpose of this Ordinance to provide a means to establish regulations and limits of residential growth in the already developed area. It is the further purpose of this Ordinance to promote flexibility in the development and design of Green Acres by incorporating this area which has existed and been developed over the last 30 years into the City's zoning ordinance so as to legislative ratify the residential nature of the area and facilitate the use of land, promote good site design and visual quality and result in a more pleasing environment than otherwise possible. The Comprehensive Plan for the City of Saratoga Springs (as revised) proposes that this area be developed as a PUD.

Section V - Uses and Density:

There shall be constructed within the boundaries of "Green Acres Planned Unit Development" residential use types consisting of single family detached dwelling

units. The maximum number of units that can be constructed shall be twenty (20). The maximum number of lots upon which said units can be constructed is nineteen (19). No more than one unit can be constructed upon a lot unless other provided for in this ordinance.

Within the PUD the following uses are allowed:

Single family detached:

Each lot will be established by surveyed descriptions incorporated in this legislation by reference on the attached sketch plan. No further development will be permitted on said lots other than as expressly provided for in this act.

Recreation:

Recreational facilities may be established on the 4.092 acre lot described as remaining lands of Green Acres of Saratoga Lake, Inc., which facilities may include a Clubhouse Center and related recreational amenities (swimming pool, outdoor court games, etc.). PUD site plan approval shall be required for development of the open space and/or common land.

Accessory:

Accessory uses permitted are as follows: private garages, storage sheds, swimming pools, solar/heating/ventilation equipment, private docks (up to 110 feet in length), temporary accessory dwelling, antennas and satellite dishes, home occupation and greenhouses (non-commercial).

Section VI: Ownership, Tenancies and Homeowner's Association:

The PUD shall consist of 19 parcels (totaling approximately 7 acres) leased to corporation members and the remaining land (approximately 6 acres) shall be common space retained by the corporation. The leased lots are surveyed and the lot lines described in the PUD will be the same as the lot lines contained in the members' leases. Green Acres retains the right to convey the leased premises to its members or to other persons in fee simple. The common space shall be maintained by the corporation and expenses for the same shall be paid through revenues generated by the leases to the tenants. In the event that the lots are transferred to individuals, the corporation shall require said lot owners as a condition of the conveyance to agree through association or otherwise to contribute sufficient funds to maintain all common property retained by Green Acres.

Section VII - Sketch Plan:

The attached Sketch Plan, Appendix B, shall be used by the City and the developer as a guide for overall development of "Green Acres Planned Unit Development". It may be amended and modified by the Saratoga Springs Planning Board so long as the use, density and development regulations as set forth in this Ordinance are met.

Section VIII - Utilities:

The entire "Green Acres Planned Unit Development" area will be serviced by municipal water and sanitary sewer lines in the manner directed by the Saratoga Springs Planning Board during the PUD site plan review process.

The water lines shall service all units on Garside Road as well as Garside Road Extension. Access to the water lines on Garside Road and Garside Road Extension shall be insured by Green Acres giving to the City a thirty two (32) foot permanent easement to Garside Road and a twenty (20) foot permanent easement to Garside Road Extension for the maintenance of said water lines.

All water lines shall be constructed to City standards and when completed shall be offered for dedication to the City of Saratoga Springs.

All lots shall continue to be serviced by County Sewer District #1. Said sanitary sewer facilities will be owned and maintained by the Saratoga County Sewer District #1.

#### Development Process:

Prior to the issuance of a building permit to develop any of the residential lots within "Green Acres Planned Unit Development" (other than a building permit which would otherwise be permitted under the Code) the Corporation shall receive PUD site plan approval from the Planning Board of the City of Saratoga Springs pursuant to Chapter 240-3.5. Such PUD site plan approval shall be limited to road improvements and all other right-of-way improvements, on or off-site, utilities and drainage system and shall be in conformance with Chapter 240-3.5 of the Zoning Ordinance of the City of Saratoga Springs. If in the development of the PUD site plan it becomes apparent that certain elements of the Site Plan are infeasible and in need of significant modification, any significant modification thereof must be approved in accordance with the Zoning Ordinance of the City of Saratoga Springs. Any standard concerning the construction of residential units to be constructed within "Green Acres Planned Unit Development" shall be governed by and comply with the appropriate codes, laws, rules and regulations, including the New York State Building Codes in force and effect at the time of site plan approval for the units to be so constructed.

Once PUD site plan approval has been granted for Phase I, PUD site plan approval shall not be required for any residential lot in the PUD.

#### Section X - Streets Roads:

Garside Road, which services the "Green Acres Planned Unit Development" as indicated upon the Sketch Plan, shall remain owned by Green Acres. It shall be constructed in accordance with city specifications, excluding width, curve radius, turnaround and slope. Its paved width shall be fourteen (14) feet. There shall also be installed along Garside Road wing curbs, along with street lights. No sidewalks will be installed. A permanent easement shall be given to the City for maintenance of the City water lines running under said extension.

Garside Road Extension shall remain owned by Green Acres. It shall be improved by paving of the same to a width of ten (10) feet. A permanent easement shall be given to the City for maintenance of the City water lines running under said extension.

Should any emergency cause the City of Saratoga Springs to operate, maintain or repair Garside Road, Garside Road Extension, or the drainage system in order to protect the health, safety and welfare of the residents, the City Department of Public Works shall be empowered to bill the real property owners of the improved land in an amount to be determined by the Commissioner of Public Works so as to reimburse the Department of Public Works for all expense incurred for such purpose.

Section XI - Off-site Improvements:

The developer, or its successor, shall not be responsible for any curbs, pavement improvements, street trees, street lighting within the existing public rights of ways of that portion of Crescent Street or Kaydeross Park Road that has frontage on the PUD.

Section XII - Phasing:

"Green Acres Planned Unit Development" shall be developed in accordance with the following phasing plan:

PHASE I RESIDENTIAL AREA

Water System, Drainage, Road Improvements,  
and Residential Lot Designations

PUD site plan approval must be obtained by December 31, 1999. If not obtained by said date, the zoning for the PUD shall expire and the property shall revert to RR-1 zoning.

PHASE II: RECREATION AREA

Clubhouse and Recreation Amenities

PUD site plan approval can be obtained at any time. There shall be no expiration date.

The approximate boundaries of these phases are shown on the sketch plan in Appendix B.

Section XIII - Drainage:

Storm Sewer. A storm sewer system for the road improvement shall be constructed that shall be sufficient to convey a 25 year storm.

Storm Management Facility. A storm management facility shall be constructed that shall be sufficient to treat the first flush and will utilize an overflow basin that will

protect sediments and potential pollutants from entering Saratoga Lake.

Section 4IV - Height, Setback, Area and Bulk Regulations (and Exceptions):

All lots shall comply with the requirements set forth in Schedule D attached hereto and made a part of this act, subject to the exceptions which appear in the schedule entitled "Green Acres Planned Unit Development, Area and Bulk Schedule Exceptions" attached hereto as Appendix E.

Height setback and area and bulk regulations for recreation facilities shall be determined by the Planning Board during PUD site plan approval for Phase II.

Section XV Reconstruction of Existing Structures:

The owner, its successors, assigns or its lessee of each lot shall have the right to replace, reconstruct or otherwise improve any existing structure including principal buildings and accessory buildings now situate (as shown on the site plan or as permitted pursuant to Appendix E herein) on a lot, whether or not within the area, bulk and/or setback requirements contained herein so long as said replacement, reconstruction, improvement does not require construction outside the existing footprint of said structure or said footprint as permitted in Appendix E.

Section XVI - Severability:

If any provision of this Ordinance shall be held invalid, the remainder of the Ordinance shall not be affected thereby.

Section XVII - Construction Standards:

All construction standards for buildings, private and public improvements and for utilities shall be prepared and approved by licensed architects, landscape architects, or engineers. All costs associated with this shall be borne by the owner whether the plans are provided by the City of Saratoga Springs or by the owner. Further, all completed construction shall be certified to the City of Saratoga Springs by licensed architects, landscape architects, or engineers as being completed in the manner called for in the plans and shall be certified in accordance therewith. City may require any or all costs connected with this to be borne by the owner.

Section XVIII - Change In Ownership:

In the event that ownership of the area wholly encompassed by "Green Acres Planned Unit Development", is transferred or conveyed to any third person, firm, corporation, partnership or other entity by the applicant herein, the City of Saratoga Springs reserves the right to require proof of financial responsibility of the transferee in accordance with the same procedures set forth in Chapter 240-3.5 of the Zoning Ordinance of the City of Saratoga Springs.

Section XIX - Effective Date:

This Ordinance shall take effect the day after publication as provided by the provisions of the City Charter of the City of Saratoga Springs, New York.

ADOPTED: September 22, 1999

APPENDIX "A"  
Legal Description



BOUNDARIES OF GREEN ACRES PLANNED UNIT DEVELOPMENT DISTRICT

GREEN ACRES OF SARATOGA LAKE, NY  
SARATOGA SPRINGS, NY

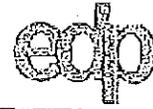
ALL THAT CERTAIN TRACT, PIECE OR PARCEL OF LAND SITUATE in the City of Saratoga Springs, County of Saratoga, State of New York lying along the southeasterly line of Crescent Avenue, County Road No. 22 and the easterly line of Kaydeross Park Road and being further bounded and described as follows:

Beginning at a point marked with a capped iron rod found at the point of intersection of the southeasterly line of Crescent Avenue, County Road No. 22 with the common the division line of lands now or formerly of Saratoga Settlement, Inc. as conveyed in Book 1028 of Deeds at Page 1163 to the northeast and the parcel herein being described to the southwest; thence from said point of beginning along said common division line the following two (2) courses and distances:

- 1) South 53 deg. 53 min. 50 sec. East, 292.50 feet to a point;
- 2) South 64 deg. 52 min. 00 sec. East, 304.75 feet to a marked with a capped iron rod found near the west shore line of Saratoga Lake; thence along the west shore line of Saratoga Lake as it winds and turns in a general southerly direction approximately 1,050 feet to the point of intersection of said west shore line with the common division line lands now of formerly of Mary Jane

900 Route 146, Clifton Park, New York 12065

phone (518) 371-7621 fax (518) 371-8500



Hales and Timothy Ross as conveyed in Book 1191 of Deeds as Page 322 to the south and the parcel herein being described to the north, said shore line having the following twelve (12) tie line courses and distances:

- 1) South 50 deg. 22 min. 10 sec. West, 115.27 feet to a point;
  - 2) South 49 deg. 11 min. 00 sec. West, 103.45 feet to a point;
  - 3) South 35 deg. 10 min. 00 sec. West, 45.96 feet to a point;
  - 4) South 28 deg. 29 min. 30 sec. West, 47.53 feet to a point;
  - 5) South 18 deg. 52 min. 10 sec. West, 111.98 feet to a point;
  - 6) South 07 deg. 07 min. 10 sec. West, 120.32 feet to a point;
  - 7) South 04 deg. 32 min. 00 sec. West, 59.16 feet to a point;
  - 8) South 10 deg. 07 min. 10 sec. East, 67.14 feet to a point;
  - 9) South 14 deg. 56 min. 20 sec. East, 82.85 feet to a point;
  - 10) South 67 deg. 29 min. 40 sec. East, 94.16 feet to a point;
  - 11) South 12 deg. 06 min. 40 sec. East, 51.98 feet to a point;
  - 12) South 43 deg. 01 min. 30 sec. East, 117.94 feet to a point;
- thence along said common division line in part, and the common division line of lands now or formerly of Milton Ross Associates, Inc. as conveyed in Book 1092 of Deeds at Page 203 to the south and the parcel herein being described to the north the following three (3) courses and distances:

- 1) North 68 deg. 44 min. 40 sec. West, 559.83 feet to a point marked with a concrete monument found;
- 2) North 39 deg. 29 min. 30 sec. West, 9.70 feet to a point;



3) North 68 deg. 59 min. 30 sec. West, 328.97 feet to a point marked with an iron rod found in the easterly line of Kaydeross Park Road; thence along the easterly line of Kaydeross Park Road and the southeasterly line of Crescent Avenue, County Road No. 22 the following four (4) courses and distances:

1) North 24 deg. 26 min. 20 sec. East, 524.76 feet to a point;  
2) North 23 deg. 07 min. 40 sec. East, 113.48 feet to a point of curvature;

3) Along a curve to the right an arc length of 113.29 feet to a point of tangency, said curve having a radius of 375.00 feet and a chord length of North 31 deg. 45 min. 50 sec. East, 112.86 feet;

4) North 40 deg. 26 min. 10 sec. East, 216.41 feet to a the point or place of beginning containing 13.2± acres of land to be the same more or less.

Said parcel made subject to any and all enforceable covenants, conditions, easements and restrictions of record as they may appear.

The purpose of this description is to describe a proposed P.U.D. and not to be used for the conveyance of Real Property.

Prepared by: TJM  
March 18, 1996

  
E. Daniel Fuller, P.L.S. No. 49,135

C:\4116\000\042521\FULLER.DWG

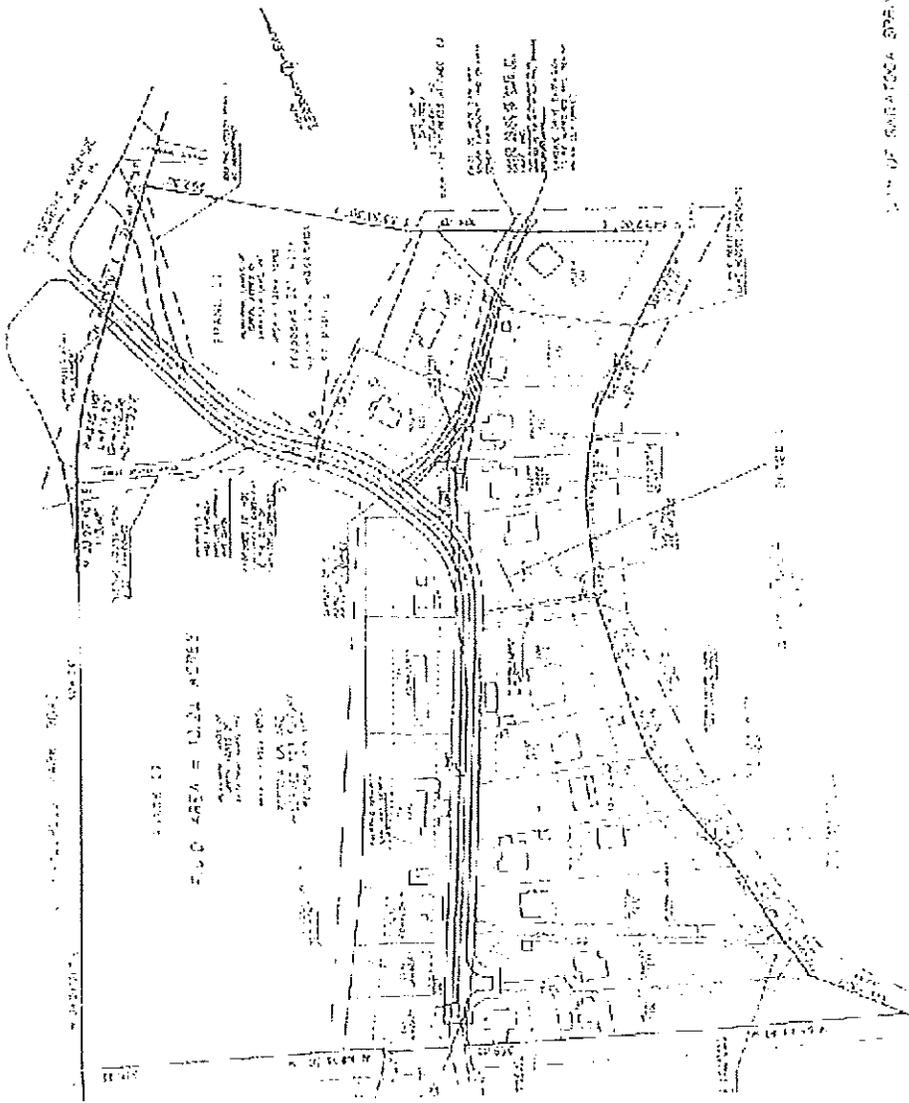


CITY OF SARATOGA SPRINGS ZONING ORDINANCE

- LEGEND**
- 1.0 RESIDENTIAL SINGLE-FAMILY
  - 2.0 RESIDENTIAL TWO-FAMILY
  - 3.0 RESIDENTIAL THREE-FAMILY
  - 4.0 RESIDENTIAL FOUR-FAMILY
  - 5.0 RESIDENTIAL FIVE-FAMILY
  - 6.0 RESIDENTIAL SIX-FAMILY
  - 7.0 RESIDENTIAL SEVEN-FAMILY
  - 8.0 RESIDENTIAL EIGHT-FAMILY
  - 9.0 RESIDENTIAL NINE-FAMILY
  - 10.0 RESIDENTIAL TEN-FAMILY
  - 11.0 RESIDENTIAL ELEVEN-FAMILY
  - 12.0 RESIDENTIAL TWELVE-FAMILY
  - 13.0 RESIDENTIAL THIRTEEN-FAMILY
  - 14.0 RESIDENTIAL FOURTEEN-FAMILY
  - 15.0 RESIDENTIAL FIFTEEN-FAMILY
  - 16.0 RESIDENTIAL SIXTEEN-FAMILY
  - 17.0 RESIDENTIAL SEVENTEEN-FAMILY
  - 18.0 RESIDENTIAL EIGHTEEN-FAMILY
  - 19.0 RESIDENTIAL NINETEEN-FAMILY
  - 20.0 RESIDENTIAL TWENTY-FAMILY
  - 21.0 RESIDENTIAL TWENTY-ONE-FAMILY
  - 22.0 RESIDENTIAL TWENTY-TWO-FAMILY
  - 23.0 RESIDENTIAL TWENTY-THREE-FAMILY
  - 24.0 RESIDENTIAL TWENTY-FOUR-FAMILY
  - 25.0 RESIDENTIAL TWENTY-FIVE-FAMILY
  - 26.0 RESIDENTIAL TWENTY-SIX-FAMILY
  - 27.0 RESIDENTIAL TWENTY-SEVEN-FAMILY
  - 28.0 RESIDENTIAL TWENTY-EIGHT-FAMILY
  - 29.0 RESIDENTIAL TWENTY-NINE-FAMILY
  - 30.0 RESIDENTIAL THIRTY-FAMILY

LOT NUMBER	AREA
1	1.0
2	1.0
3	1.0
4	1.0
5	1.0
6	1.0
7	1.0
8	1.0
9	1.0
10	1.0
11	1.0
12	1.0
13	1.0
14	1.0
15	1.0
16	1.0
17	1.0
18	1.0
19	1.0
20	1.0
21	1.0
22	1.0
23	1.0
24	1.0
25	1.0
26	1.0
27	1.0
28	1.0
29	1.0
30	1.0

ADDRESS: R  
 SHEET: 1000  
 CASE: GREEN ACRES PLANNED UNIT DEVELOPMENT



CITY OF SARATOGA SPRINGS SARATOGA COUNTY, NY  
 MAY 1989

APPENDIX "C"  
CURRENT TAX PARCEL OF THE FUD

180.17-1-12 (13.36 acres) Leased as follows:

180.17-1-12-21  
180.17-1-12-22  
180.17-1-12-23  
180.17-1-12-24  
180.17-1-12-25  
180.17-1-12-26  
180.17-1-12-27  
180.17-1-12-28  
180.17-1-12-29  
180.17-1-12-30  
180.17-1-12-31  
180.17-1-12-32  
180.17-1-12-33  
180.17-1-12-34  
180.17-1-12-35  
180.17-1-12-36  
180.17-1-12-37  
180.17-1-12-38  
180.17-1-12-39

APPENDIX "D"  
"Green Acres Planned Unit Development  
Area and Bulk Schedule Exceptions

General:

a. All lots bordering Saratoga Lake shall be permitted to construct a dock extending to the shoreline.

Specific:

a. The owner or lessee of lot No. 9 shall be permitted to construct a twenty (20) foot by twenty four (24) foot garage extending from and parallel to the northerly line of the principal building. No side setback or lot coverage variance shall be required for construction of the same.

b. The owner or lessee of Lot No. 17 shall be permitted to construct improvements and additions to the principal building (including an attached garage). No side setback or lot coverage variance shall be required so long as the lot coverage shall not exceed sixteen (16) percent for the principal building and eight (8) percent for the ancillary building. In addition, said building shall be permitted to encroach on the southerly side setback only.

c. The owner or lessee of Lot No. 21 shall be permitted to construct or otherwise retain two (2) principal buildings on said lot subject to the following conditions:

1. The existing building located nearest the westerly line of the property shall be limited in size to the footprint currently existing on said lot as shown on the site plan.

2. The second building shall be constructed upon the existing foundation located nearest the easterly line of the property. The owner or lessee shall of Lot No. 21 shall be permitted to construct a twenty eight (28) foot by forty four (44) foot residence, which building shall be confined to the existing northerly and southerly lines of said foundation (i.e. 28 feet) and shall extend the easterly and/or westerly lines of said foundation to a maximum of forty four (44) feet. No side setback or lot coverage variance shall be required for construction of the same.

d. The owner or lessee of Lot No. 27 shall be permitted to construct a twenty (20) foot by twenty four (24) foot garage and ten (10) foot enclosed walkway connecting said garage and principal building. No side setback or lot coverage variance shall be required for construction of the same so long as said garage and walkway shall be located on

the westerly side of the premises and encroach upon the southerly side setback only.

e The owner or lessee of Lot No. 3 shall be permitted to construct a walkway/ramp from the northerly entrance of the principal building to a deck to be constructed on the easterly side of the principal building. No side setback or lot coverage variance shall be required for construction of the same so long as the walkway/ramp is of not in excess of five (5) feet in width and of the minimum length necessary to connect the northerly entrance to said deck.

f. The owner or lessee of lot No. 4 shall be permitted to construct a thirty five (35) foot by thirty five (35) (35) foot garage attached to the principal residence within the required setbacks. In addition, said owner or lessee shall be permitted to construct a thirty (30) foot by thirty (30) foot boathouse over the permitted dock. No set back or lot coverage variance shall be required for construction of the same.

APPENDIX "D"  
 "Greener Acres Planned Unit Development  
 Heights, Setback, Area and Bulk Schedule  
 For Residential Lots in Phase I

Maximum Percent of Lot to be Covered	Minimum Yard Dimensions	Principal Building	Accessory Building Minimum Distance To
		Maximum Height (feet)	Side Lot Line (feet)
			Front Lot Line (feet)
			Rear Lot Line (feet)
10	5	25	10
		30	35
		20	5
		30	30
		20	10
		30	30

APPENDIX "E"  
"Green Acres Planned Unit Development  
Area and Bulk Schedule Exceptions

General:

a. All lots bordering Saratoga Lake shall be permitted to construct a dock extending to the shoreline which dock shall not exceed 110 feet in length.

Specific:

- a. The owner or lessee of lot No. 9 shall be permitted to construct a twenty (20) foot by twenty four (24) foot garage extending from and parallel to the northerly line of the principal building. No side setback or lot coverage variance shall be required for construction of the same.
- b. The owner or lessee of Lot No. 17 shall be permitted to construct improvements and additions to the principal building (including an attached garage). No side setback or lot coverage variance shall be required so long as the lot coverage shall not exceed sixteen (16) percent for the principal building and eight (8) percent for the ancillary building. In addition, said building shall be permitted to encroach on the southerly side setback only.
- c. The owner or lessee of Lot No. 21 shall be permitted to construct or otherwise retain two (2) principal buildings on said lot subject to the following conditions:
  1. The existing building located nearest the westerly line of the property shall be limited in size to the footprint currently existing on said lot as shown on the site plan.
  2. The second building shall be constructed upon the existing foundation located nearest the easterly line of the property. The owner or lessee shall of Lot No. 21 shall be permitted to construct a twenty eight (28) foot by forty four (44) foot residence, which building shall be confined to the existing northerly and southerly lines of said foundation (i.e. 28 feet) and shall extend the easterly and/or westerly lines of said foundation to a maximum of forty four (44) feet. No side setback or lot coverage variance shall be required for construction of the same.
- d. The owner or lessee of Lot No. 27 shall be permitted to construct a twenty (20) foot by twenty four (24) foot garage and ten (10) foot enclosed walkway connecting said garage and principal building. No side setback or lot coverage variance shall be required for construction of the same so long as said garage and walkway shall be located on the westerly side of the premises and encroach upon the southerly side setback only.

- e. The owner or lessee of Lot No. 3 shall be permitted to construct a walkway/ramp from the northerly entrance of the principal building to a deck to be constructed on the easterly side of the principal building. No side setback or lot coverage variance shall be required for construction of the same so long as the walkway/ramp is of not in excess of five (5) feet in width and of the minimum length necessary to connect the northerly entrance to said deck.
  
- f. The owner or lessee of lot No. 4 shall be permitted to construct a thirty five (35) foot by thirty five (35) (35) foot garage attached to the principal residence within the required setbacks. In addition, said owner or lessee shall be permitted to construct a thirty (30) foot by thirty (30) foot boathouse over the permitted dock. No set back or lot coverage variance shall be required for construction of the same.

**D**

**HISTORY OF GREEN ACRES AT SARATOGA LAKE**

HISTORY  
OF  
GREEN ACRES OF SARATOGA LAKE, INC. P.U.D.

Following review of the City of Saratoga Springs Planning and Zoning Boards meeting minutes from January 2000 to November 2015 and found that Green Acres of Saratoga Lake, Inc., PUD was created by City of Saratoga Springs ordinance for the purpose of incorporating the existing Green Acres development into the City's zoning jurisdiction. There is a statement in the Ordinance that the area had been developed over the past 30 years. Actually development of the area started in 1923 which would have been 67 years prior to the PUD in 1999.

The property was acquired in 1922 by Mary F. Green. Following acquisition of the property lots were created and leased to individuals on which the lessors would construct cottages. The cottages and any other structures that were constructed on the leased lots would be owned by the lessors. According to City tax data, the first cottage was constructed in 1923. That cottage is the structure presently located at 26 Garside Road. According to City tax data several cottages were constructed in 1925, of which eight still remain. Four additional residences were constructed between 1935 and 1978.

Since Green Acres PUD was approved in 1999, two structures that existed at the time of the PUD was approved; one at 21 Garside Road and the other at 17 Garside Road. Both were removed and replaced with new residences constructed in 2002 and 2003, respectively. At the time of the approval of the PUD in 1999 Ruthmans', Lot 3 was occupied by a 450 square foot cottage. This is indicated on the enclosed PUD map as well as on the site plan prepared by Richard H. Green, P.E., dated February 16, 2006. .

In 1967 Frederick Kmen, George E. Barter and Donald Todd, as trustees for Green Acres Association acquired the property from Grace Green Graham, daughter of Mary Green. At that time, according to the "Declaration of Protective Covenants, Restrictions, Easements and Liens of Green Acres of Saratoga Lake, Inc., (A Homeowners' Association)," all property, (land), was conveyed to the Association by deed dated September 7, 1967 recorded in the office of the Saratoga County Clerk on September 15, 1967 in Liber 816 of Deeds at Page 85. Subsequently, as shown on a Subdivision Plan prepared in 1999 entitled "Green Acres of Saratoga Lake, Inc. PUD" and filed in the office of the Saratoga County Clerk in Drawer "G" as Map No. 291 A & B, the Lot appurtenant to each home, with two homes existing on lot identified as 21/21A Garside Road, was conveyed to the owner of such home and homes. "Green Acres of Saratoga Lake, Inc.," was filed with the State of New York on January 4, 1972.

In 1999 to better control the future development of the site the Green Acres of Saratoga Lake, Inc., a PUD was created by the City of Saratoga Springs by an ordinance entitled - AN ORDINANCE PROVIDING FOR THE ESTABLISHMENT OF PLANNED UNIT DEVELOPMENT DISTRICT TO BE KNOWN AS "GREEN ACRES PLANNED UNIT DEVELOPMENT". (A copy of the Ordinance is enclosed in Appendix "J").

HISTORY  
OF  
GREEN ACRES OF SARATOGA LAKE, INC. P.U.D.

As evidence that the site occupied by Green Acres has been a long standing cottage development, we have quoted excerpts from portions of the Ordinance:

From Section IV - Purpose: (Page 127)

Historically the area included in Green Acres developed outside the now applicable zoning ordinance. It is the purpose of the Ordinance to provide a means to establish regulations and limit residential growth in the already developed area. It is the further purpose of this Ordinance to promote flexibility in the development and design of Green Acres by incorporating this area which has existed and been developed over the last 30 years into the City's zoning ordinance so as to legislative ratify the residential nature of the area and facilitate the use of land, promote good site design and visual quality and result in a more pleasing environment than otherwise possible. The Comprehensive Plan of the City of Saratoga Springs (as revised) proposes that this area be developed as a PUD.

From Section V - Use and Density: (Page 127 - Quote on Page 128)

Each lot will be established by surveyed descriptions incorporated in this legislation by reference on the attached sketch plan. No further development will be permitted on said lots other than as expressly provided for in this act.

From Section VI: Ownership, Tenancies and Homeowner's Association: (Page 128)

The PUD shall consist of 19 parcels (totaling approximately 7 acres) leased to corporation members and the remaining land (approximately 6 acres) shall be common space retained by the corporation. The leased lots are surveyed and the lot lines described in the PUD will be the same as the lot lines contained in the member's leases. Green Acres retains the right to convey the leased premises to its members or to other persons in fee simple. The common space shall be maintained by the corporation and expenses for the same shall be paid through revenues generated by the leases to the tenants. In the event that the lots are transferred to individuals, the corporation shall require the lot owners as a condition of the conveyance to agree through association or otherwise to contribute sufficient funds to maintain all common property retained by Green Acres.

From Section VII - Sketch Plan: (Page 128)

The attached Sketch Plan, Appendix B, shall be used by the City and the developer as a guide for overall development of "Green Acres Planned Unit Development". It may be amended and modified by the Saratoga Springs Planning Board so long as the use, density and development regulations as set forth in this Ordinance are met.

Sketch Plan, Appendix B, (Page 135) dated August 1999 indicates existing structures and owners as of that date and the area of each lot.

Enclosed is a copy of Green Acres Of Saratoga Lake, Inc. P.U.D., dated September 28, 1999, approved by Planning Board of the City of Saratoga Springs on October 20, 1999 and filed in the Saratoga County Clerk's Office on March 6, 2000. You will note that on each lot it states Lands N/F of Green Acres of Saratoga Lake, Inc. leased to the i

HISTORY  
OF  
GREEN ACRES OF SARATOGA LAKE, INC. P.U.D.

Individual lease holders. Following the filing of the PUD map the lots were Quit Claim deeded to each leaseholder.

We have enclosed property descriptions from the City of Saratoga Springs Tax Records for each of the lots to establish the type of residence, (Cottage, etc.), square footage and the year the residence was built. The records also indicate the current owners. (The property descriptions are enclosed in Appendix "L").

E

**SUBDIVISION MAP**

G-291A

03-16-1997

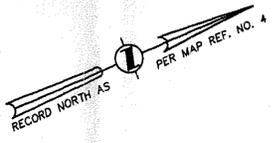
N 24°26'20" E

N 23°07'40" E  
113.48'

(FORMERLY UNION AVENUE)  
KAYDEROSS PARK RD

CRESCENT AVENUE  
(COUNTY ROAD NO. 22)

- LEGEND:**
- C.M.F. DENOTES CONCRETE MONUMENT FOUND
  - I.R.F. DENOTES IRON ROD FOUND
  - C.I.R.F. DENOTES CAPPED IRON ROD FOUND
  - N/O DENOTES NOW OR FORMERLY
  - M.H.S. DENOTES MAIL SET
  - EXST DENOTES EXISTING
  - O.H. UTILS DENOTES OVERHEAD UTILITY WIRES
  - M.V. DENOTES MANHOLE
  - 302 DENOTES TOPOGRAPHIC CONTOUR



- SURVEY NOTES:**
- 1) SUBDIVISION MAP AS PREPARED FOR GREEN ACRES OF SARATOGA LAKE, INC.
  - 2) ALL UNDERGROUND UTILITIES, IF ANY, NOT FIELD LOCATED.
  - 3) CAPPED IRON RODS SET (C.I.R.S.) ON OCTOBER 2, 1988 ARE FIELD MARKED AS "EX. DS. PTD. SURVEY".
  - 4) THIS MAP WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT ABSTRACT OF TITLE AND IS MADE SUBJECT TO WHATEVER STATE OF FACTS SUCH A DOCUMENT WOULD REVEAL.

**PHASE II**

REMAINING LANDS OF GREEN ACRES OF SARATOGA LAKE, INC.

AREA = 4.489± ACRES  
ADDRESS: 2-10 GARSIDE ROAD

RESERVED FOR POSSIBLE FUTURE RECREATION USE

NO HOMES ARE TO BE BUILT ON THIS LOT. SITE PLAN APPROVAL FROM THE CITY PLANNING BOARD IS REQUIRED PRIOR TO ANY RECREATIONAL DEVELOPMENT.

REMAINING LANDS OF GREEN ACRES OF SARATOGA LAKE, INC. 32' WIDE ACCESS & UTILITY EASEMENT TO BE GRANTED TO THE CITY OF SARATOGA SPRINGS. ACCESS & UTILITY EASEMENT TO BE GRANTED TO NIAGARA MOHAWK POWER CORPORATION FOR ELECTRIC AND GAS SERVICE.

EXISTING PRIVATE WATER SYSTEM IS TO BE ABANDONED AS A POTABLE WATER SUPPLY. THE WELLS AND EXISTING SUPPLY LINES MAY BE USED AS AN IRRIGATION SYSTEM AT THE DISCRETION OF THE GREEN ACRES ASSOCIATION. UNDER NO CIRCUMSTANCES SHOULD THE EXISTING PRIVATE WATER SYSTEM BE "CROSS CONNECTED" TO THE NEW WATER MAIN EITHER DIRECTLY OR VIA INTERNAL PIPING.

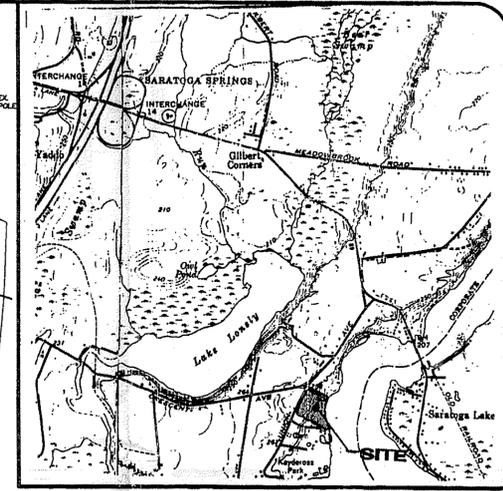
**NOTE:**  
GARSIDE ROAD AND GARSIDE EXTENSION ARE TO REMAIN PRIVATELY OWNED AND MAINTAINED BY GREEN ACRES OF SARATOGA LAKE, INC. AND WILL NOT BE DEDICATED TO THE CITY OF SARATOGA SPRINGS.

**PHASE II**

REMAINING LANDS OF GREEN ACRES OF SARATOGA LAKE, INC.

AREA = 1.741± ACRES  
ADDRESS: 1-3 GARSIDE ROAD

NO HOMES ARE TO BE BUILT ON THIS LOT. SITE PLAN APPROVAL FROM THE CITY PLANNING BOARD IS REQUIRED PRIOR TO ANY RECREATIONAL DEVELOPMENT.



**SITE LOCATION MAP**  
SCALE: 1" = 2000'

**SITE STATISTICS:**

EXISTING ZONING	GREEN ACRES P.U.D.
PROPOSED LOTS	21
PARCEL AREA	13.2± ACRES
ROAD LENGTH	1000 L.F. (PRIVATE)
AVG. RESIDENCE LOT SIZE	13,980 S.F.
OPEN SPACE	6.23± ACRES
SETBACKS	FRONT 17' FROM EDGE OF CITY EASEMENT SIDE 10' REAR 30'
WATER SERVICE	CITY OF SARATOGA SPRINGS
SEWER SERVICE	SARATOGA COUNTY SEWER DISTRICT NO. 1 (EXISTING)
STORM WATER MANAGEMENT	ON-SITE RETENTION

**DEED REFERENCES:**

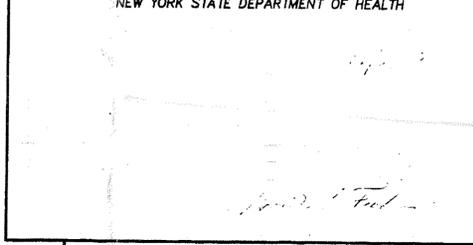
- 1) FREDERICK KUEN, GEORGE E. BARTER, DONALD TODD AS TRUSTEES FOR GREEN ACRES ASSOCIATION TO GREEN ACRES OF SARATOGA LAKE, INC. BY DEED DATED SEPTEMBER 5, 1973 AND RECORDED IN THE SARATOGA COUNTY CLERK'S OFFICE IN BOOK 929 OF DEEDS AT PAGE 917.

**MAP REFERENCES:**

- 1) MAP ENTITLED: "PORTION OF LANDS OF MILTON ROSS" DATED NOVEMBER 25, 1974 AND REVISED JULY 10, 1976 AS PREPARED BY CHESTER A. GRAMINSKI.
- 2) MAP ENTITLED: "MAP SHOWING A PORTION OF LANDS ALONG KAYDEROSS PARK ROAD - A 33' RIGHT OF WAY (FORMERLY UNION AVENUE EXTENSION)", DATED OCTOBER 27, 1988 AS PREPARED BY THE ENVIRONMENTAL DESIGN PARTNERSHIP.
- 3) CITY OF SARATOGA SPRINGS ASSESSOR'S MAP 180.17-1-12 PART 27.
- 4) MAP ENTITLED: "INTERLAKEN PHASE ONE FINAL SITE PLAN", DATED AUGUST 21, 1984 AS PREPARED BY THE ENVIRONMENTAL DESIGN PARTNERSHIP (REVISED MAP) AND FILED IN THE SARATOGA COUNTY CLERK'S OFFICE ON AUGUST 28, 1984 IN DRAWER "V" AS MAP NO. 91 A & B.

**SURVEYOR'S CERTIFICATION:**  
THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY MADE IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

*E. Daniel Fuller*  
E. DANIEL FULLER P.L.S. #49,135



**APPROVAL:**  
APPROVED UNDER AUTHORITY OF A RESOLUTION ADOPTED BY THE PLANNING BOARD OF THE CITY OF SARATOGA SPRINGS.  
DATE SIGNED: 10/22/97  
CHAIRPERSON

**DESIGN CERTIFICATION:**  
I, *Michael S. McNamara*, REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW YORK LICENSE NO. 3052, DO HEREBY CERTIFY THAT THE STREET SYSTEM, WATER SYSTEM FACILITIES, SANITARY SEWER SYSTEM FACILITIES, AND STORM DRAINAGE FACILITIES FOR THIS PROJECT HAVE BEEN DESIGNED IN ACCORDANCE WITH ALL APPLICABLE STATE, COUNTY, LOCAL AND CITY STANDARDS.

**SITE IMPROVEMENTS OF SARATOGA GREEN ACRES OF SARATOGA LAKE, INC. P.U.D.**  
CITY OF SARATOGA SPRINGS, O.D.  
DATE: SEPTEMBER 28, 1999  
SARATOGA COUNTY, N.Y.

**ENVIRONMENTAL DESIGN PARTNERSHIP, LLP**  
ROUTE 146 CLIFTON PARK, NY 12066 (518) 371-7621  
ENGINEERING + LANDSCAPE ARCHITECTURE + LAND SURVEYING

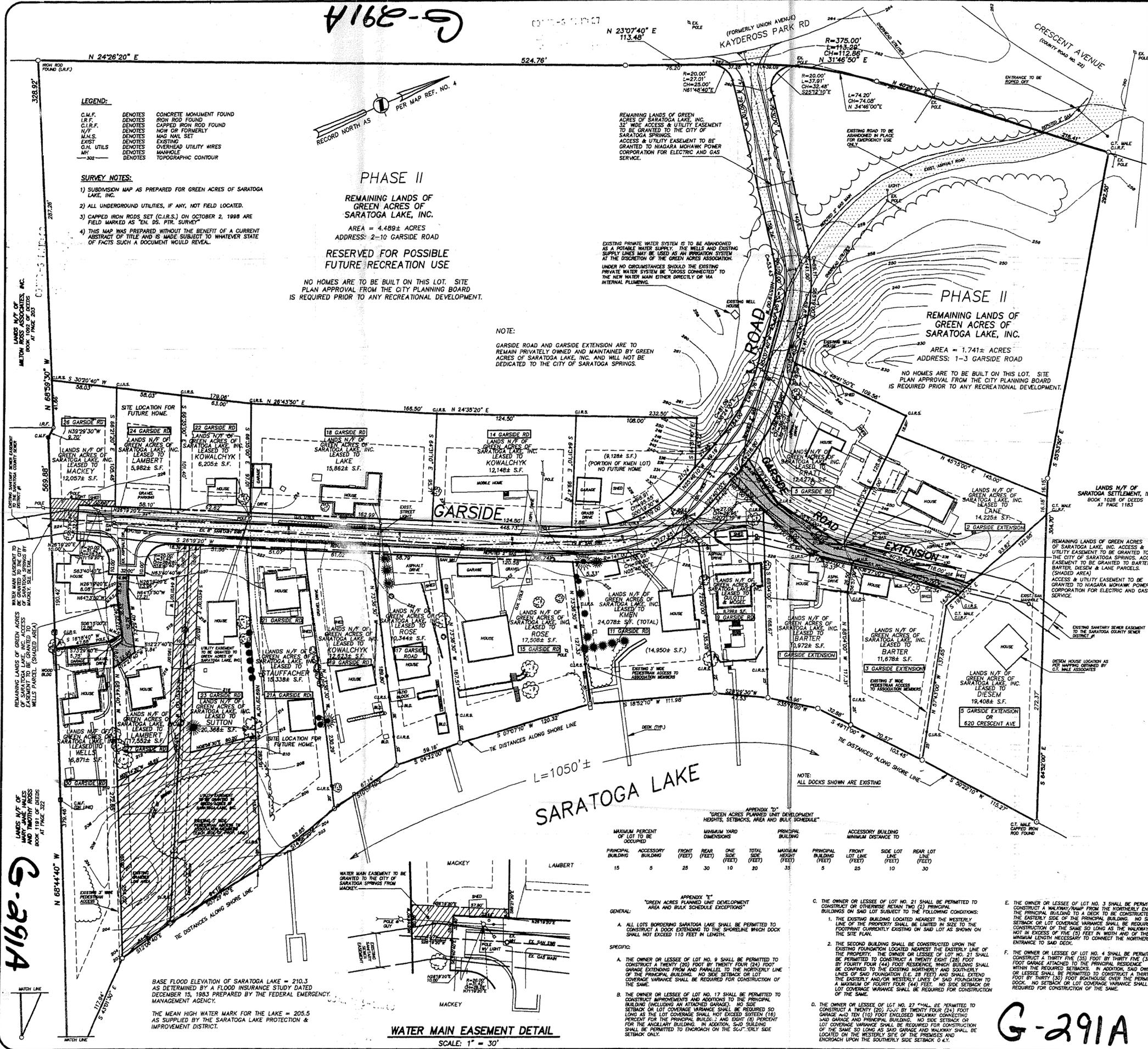
**SUBDIVISION PLAN**  
G-291A

REVISIONS	DATE	BY

E. DANIEL FULLER  
P.L.S. # 49,135

MICHAEL S. McNAMARA  
P.E. # 71,029

SCALE: 1" = 40'  
PROJECT NO. 1  
SHEET NO. 1



**WATER MAIN EASEMENT DETAIL**  
SCALE: 1" = 30'

MAXIMUM PERCENT OF LOT TO BE OCCUPIED		PRINCIPAL BUILDING DIMENSIONS		PRINCIPAL BUILDING		ACCESSORY BUILDING MINIMUM DISTANCE TO	
PRINCIPAL BUILDING	ACCESSORY BUILDING	FRONT (FEET)	REAR (FEET)	ONE SIDE (FEET)	TOTAL (FEET)	FRONT (FEET)	REAR LOT (FEET)
15	5	25	30	10	20	5	10

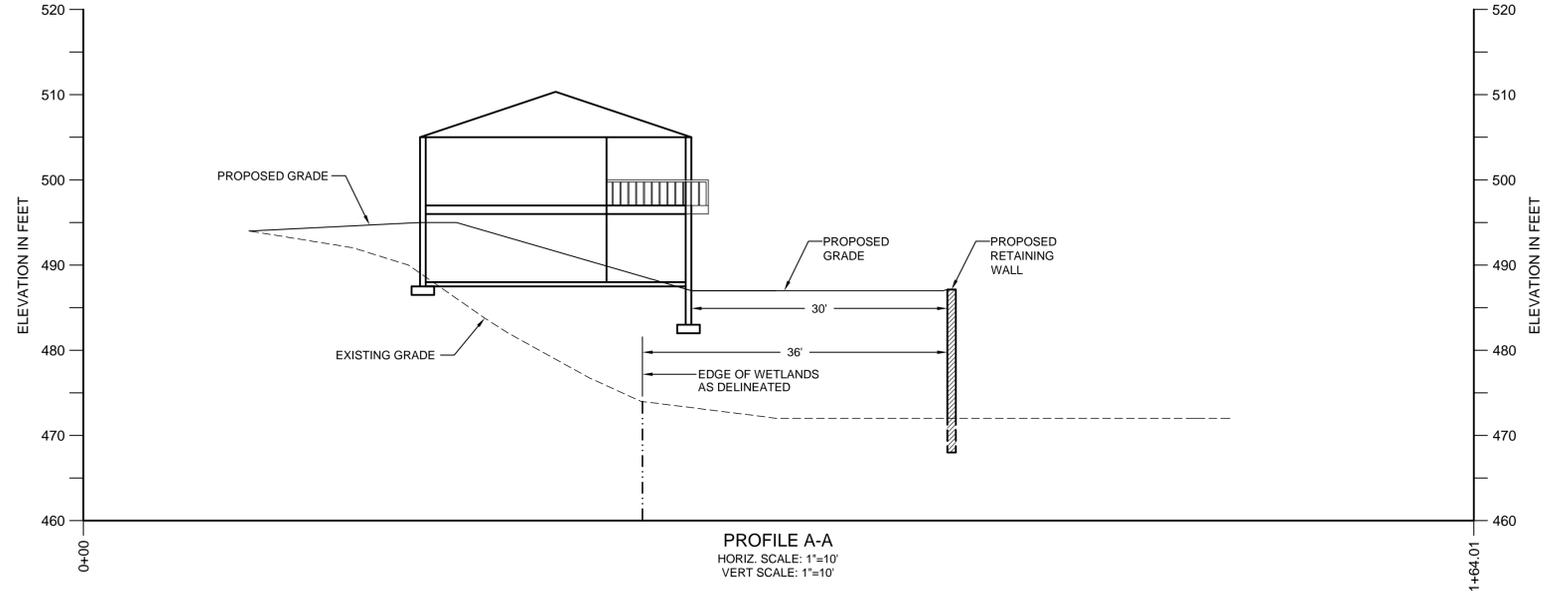
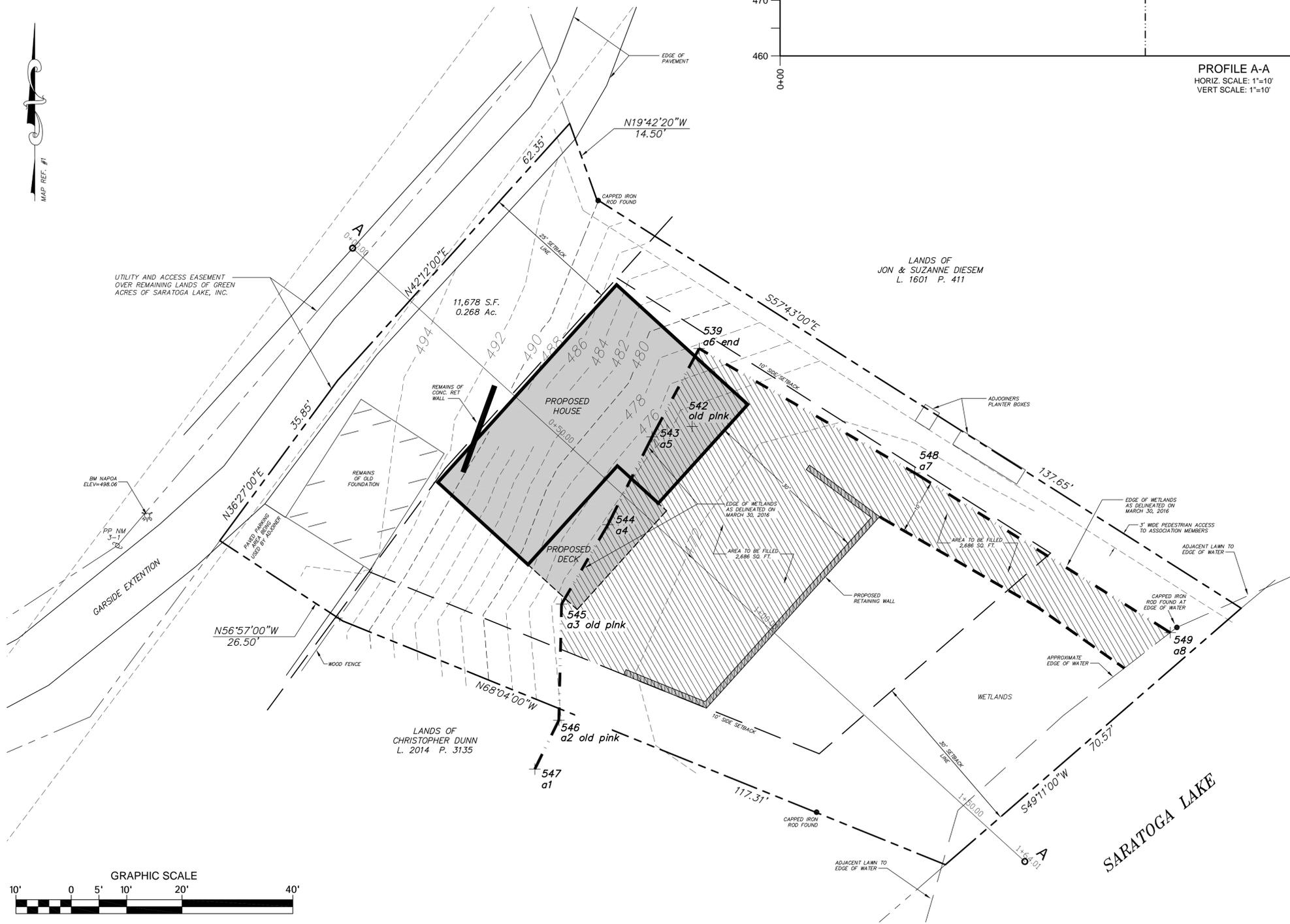
- GENERAL:**
- ALL LOTS BORDERING SARATOGA LAKE SHALL BE PERMITTED TO CONSTRUCT A DOCK EXTENDING TO THE SHORELINE WHICH DOCK SHALL NOT EXCEED 110 FEET IN LENGTH.
- SPECIFIC:**
- THE OWNER OR LESSEE OF LOT NO. 9 SHALL BE PERMITTED TO CONSTRUCT A TWENTY (20) FOOT BY TWENTY FOUR (24) FOOT GARAGE EXTENDING FROM AND PARALLEL TO THE NORTHERLY LINE OF THE PRINCIPAL BUILDING. NO SIDE SETBACK OR FOOT COVERAGE VARIANCE SHALL BE REQUIRED FOR CONSTRUCTION OF THE SAME.
  - THE OWNER OR LESSEE OF LOT NO. 17 SHALL BE PERMITTED TO CONSTRUCT IMPROVEMENTS AND ADDITIONS TO THE PRINCIPAL BUILDING INCLUDING AN ATTACHED GARAGE. NO SIDE SETBACK OR LOT COVERAGE VARIANCE SHALL BE REQUIRED SO LONG AS THE LOT COVERAGE SHALL NOT EXCEED SIXTY (60) PERCENT FOR THE PRINCIPAL BUILDING AND EIGHT (8) PERCENT FOR THE ANGULAR BUILDING. IN ADDITION, SAID BUILDING SHALL BE PERMITTED TO ENCRUMB ON THE SOUTHERLY SIDE SETBACK ONLY.
  - THE OWNER OR LESSEE OF LOT NO. 21 SHALL BE PERMITTED TO CONSTRUCT OR OTHERWISE RETAIN THE (2) PRINCIPAL BUILDINGS ON SAID LOT SUBJECT TO THE FOLLOWING CONDITIONS:
    1. THE EXISTING BUILDING LOCATED NEAREST THE WESTERLY LINE OF THE PROPERTY SHALL BE LIMITED IN SIZE TO THE FOOTPRINT CURRENTLY EXISTING ON SAID LOT AS SHOWN ON THE SITE PLAN.
    2. THE SECOND BUILDING SHALL BE CONSTRUCTED UPON THE EXISTING FOUNDATION LOCATED NEAREST THE EASTERLY LINE OF THE PROPERTY. THE OWNER OR LESSEE OF LOT NO. 21 SHALL BE PERMITTED TO CONSTRUCT A TWENTY EIGHT (28) FOOT BY FOURTY FOUR (44) FOOT RESIDENCE WHICH BUILDING SHALL BE COMPARED TO THE EXISTING NORTHERLY AND SOUTHERLY LINES OF SAID FOUNDATION (I.E. 28 FEET) AND SHALL EXTEND THE EASTERLY AND/OR WESTERLY LINES OF SAID FOUNDATION TO A MAXIMUM OF FOURTY FOUR (44) FEET. NO SIDE SETBACK OR LOT COVERAGE VARIANCE SHALL BE REQUIRED FOR CONSTRUCTION OF THE SAME.
  - THE OWNER OR LESSEE OF LOT NO. 27 SHALL BE PERMITTED TO CONSTRUCT A TWENTY (20) FOOT BY TWENTY FOUR (24) FOOT GARAGE AND TEN (10) FOOT ENCLOSED WALKWAY CONNECTING SAID GARAGE AND PRINCIPAL BUILDING. NO SIDE SETBACK OR LOT COVERAGE VARIANCE SHALL BE REQUIRED FOR CONSTRUCTION OF THE SAME SO LONG AS SAID WALKWAY SHALL BE LOCATED ON THE WESTERLY SIDE OF THE PREMISES AND ENCRUMB UPON THE SOUTHERLY SIDE SETBACK 0.47.

G-291A

F  
BOUNDARY SURVEY



G  
SITE PLAN



UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209 SUBSECTION 2 OF THE NEW YORK STATE EDUCATION LAW

**BFA** BREWER ENGINEERING ASSOCIATES, P.C.  
 CONSULTING ENGINEERS \* PLANNERS  
 743 COLUMBIA TURNPIKE, EAST GREENBUSH, NEW YORK 12061  
 PHONE: 518.477.5253 FAX: 518.477.5233

**PROPOSED RESIDENCE OF  
 REX S. & ELISABETH A. RUTHMAN**  
 CITY OF SARATOGA SPRINGS, SARATOGA COUNTY  
 STATE OF NEW YORK

TITLE		DATE		REVISION	
SITE PLAN AND PROFILE					
DRAWN BY: JDF	DATE: 01/04/16	CHECKED BY: TEB	SCALE: AS SHOWN		

DRAWING NUMBER:	1
APN:	15-01



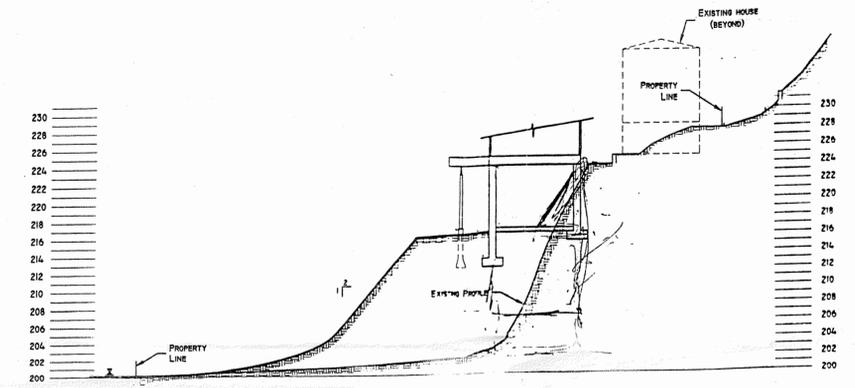
LANDS N/F OF GREEN ACRES OF SARATOGA LAKE INC. LEASED TO DIESEM

5 GARSIDE EXTENSION OR 620 CRESCENT AVENUE

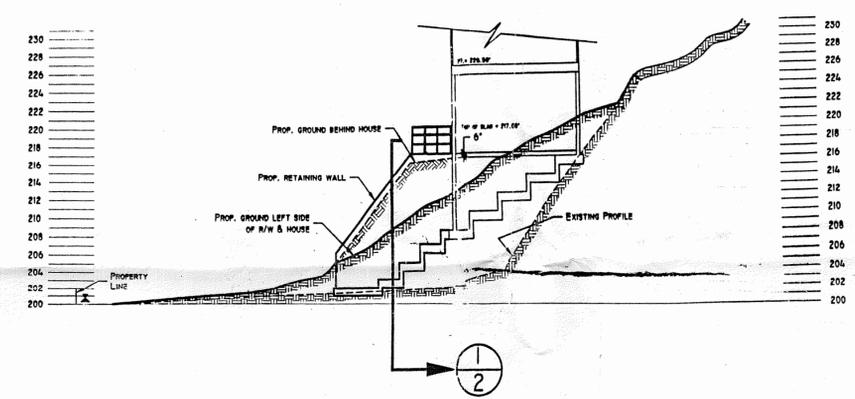
LANDS N/F OF GREEN ACRES OF SARATOGA LAKE INC. LEASED TO BARTER

1 GARSIDE EXTENSION

**SITE PLAN**  
SCALE: 1"=10'-0"



**SITE PROFILE**  
SCALE: H = 1"=20'-0"  
V = 1"=10'-0"



**2 PROPOSED PROFILE @ RETAINING WALL**  
SCALE: H = 1"=20'-0"  
V = 1"=10'-0"

ESTIMATED FILL REQUIREMENTS	
FOUNDATION	AREA
CENTER	3.25in <sup>2</sup> x (20')(10') x 50' = 32,500 sq.ft. <sup>3</sup>
RIGHT SIDE	3.25in <sup>2</sup> x (20')(10') x 20' = 6,500 ft. <sup>3</sup>
LEFT SIDE (RETAINING WALL)	(20')(10') x 70' = 3,500 ft. <sup>3</sup>
TOTAL	42,500 ft. <sup>3</sup> = 1,574 cu yd.

REVISIONS			
No.	DATE	DESCRIPTION	BY



**SITE PLAN**  
3 GARSIDE EXTENSION  
SARATOGA, NY

RICHARD H. GREEN P.E., P.C.  
CONSULTING ENGINEERS

821 DELAWARE AVE.  
DELIHAR, N.Y., 12004  
(518) 439 6676  
FAX: (518) 439 6678  
P.E.# 053716

DATE: 2-16-06  
SCALE: AS SHOWN

JOB No: 05-11-26  
BY: DJL  
CHK: RHG  
DWG. No: 1 of 2

OWNER: REX RUTHMAN 475-9088

**H**

**WETLAND DELINEATION,  
LETTER, PHOTOS AND DELINEATION MAP**

ROGER J. CASE, PROFESSIONAL SOIL SCIENTIST  
DIVERSIFIED SOIL SERVICES, LTD.  
POST OFFICE BOX 489, CLAVERACK, NY 12513

TO: Dick Tice @  
Brewer Engineering

April 1, 2016

RE: Garside Extension Property

Dear Dick,

On Wednesday March 30, 2016 I went to the property on Garside Road Extension on the west shore of Saratoga Lake near the north end of the Lake.

The upland on the property consists of a "bench" of old stable fill material on the east side of Garside Road Extension with a steep bank extending down to the edge of the wetland. There is an additional narrow strip of old stable fill along the north edge of the wetland placed to extend the lawn area of the adjacent landowner. The lawn area goes out to the edge of the Lake.

The wetland between the base of the steep slope and the Lake is very well defined. The vegetative community between the upland and the edge of the lake is 100 percent hydrophytic plants including sensitive fern, cattails and sphagnum moss over saturated mucky silt.

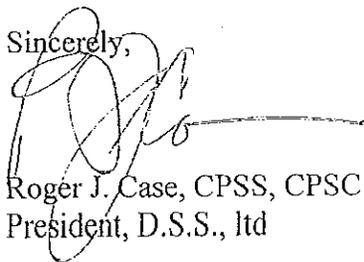
The wetland boundary is flagged along the base of the steep slope from south to north and then along the edge of the filled lawn area out to the edge of the Lake. There are eight flags in the wetland boundary.

It may be possible for the client to construct steps down the steep bank at the north edge of the parcel to the lawn area that extends out to the lake and then get a permit to build a dock for recreational access to the lake.

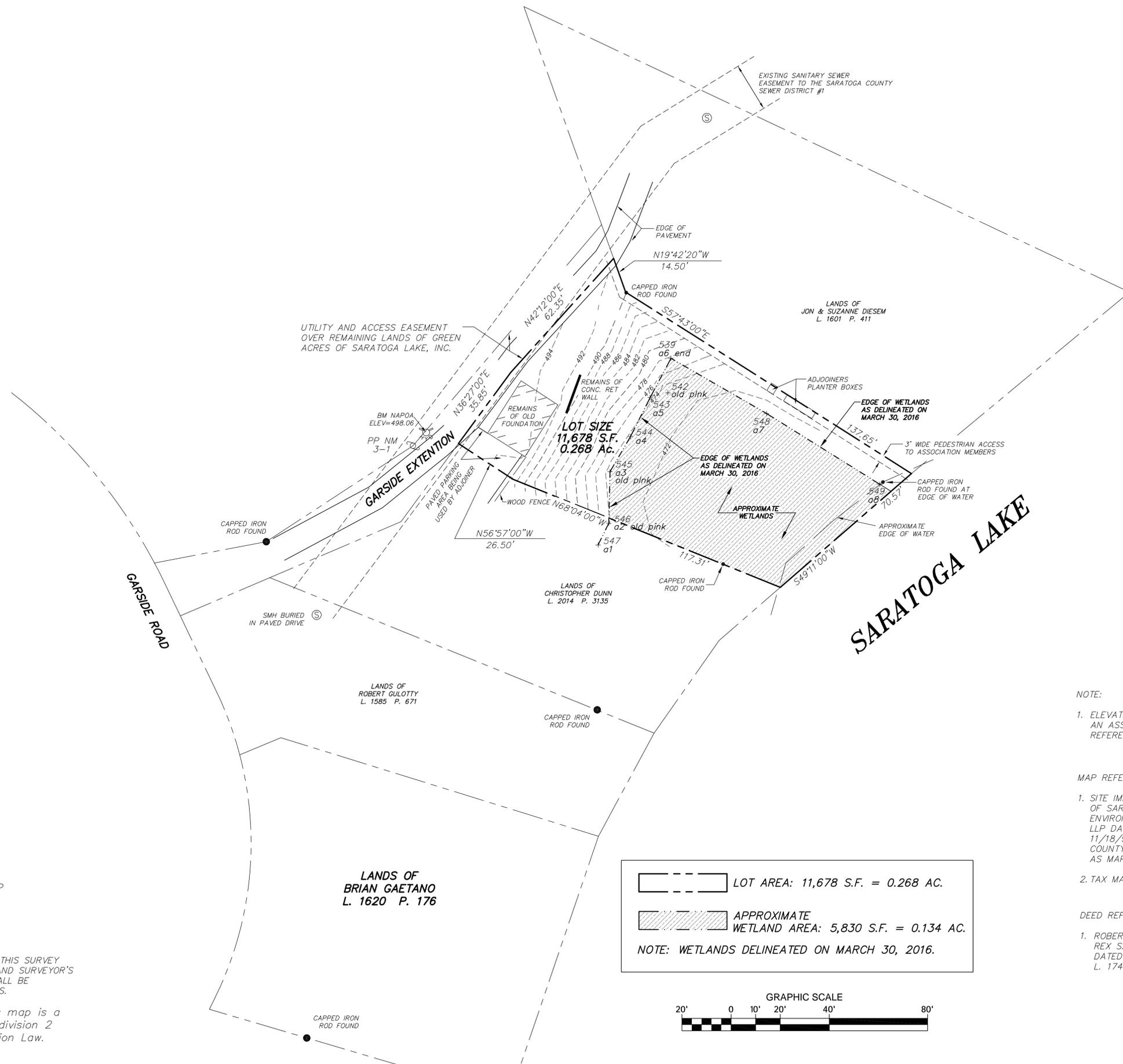
The other option may be to reconstruct the ruins of the stairway down the steep bank to the edge of the wetland. Then get a permit to construct a boardwalk across the wetland to the edge of the Lake and build a dock there.

If I can be of any further assistance please don't hesitate to call.

Sincerely,



Roger J. Case, CPSS, CPSC  
President, D.S.S., ltd



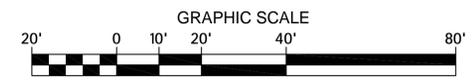
**LEGEND:**

- FOUND IRON MARKER
- SET IRON ROD WITH CAP
- ⊙ POINT
- E— POWER LINE
- STONE WALL
- x—x— FENCE

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED SEAL OR INKED STAMP SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

Unauthorized Alteration to this map is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

LOT AREA: 11,678 S.F. = 0.268 AC.  
 APPROXIMATE WETLAND AREA: 5,830 S.F. = 0.134 AC.  
 NOTE: WETLANDS DELINEATED ON MARCH 30, 2016.



- NOTE:**
- ELEVATIONS SHOWN HEREON ARE ON AN ASSUMED DATUM AND ARE FOR REFERENCE ONLY
- MAP REFERENCES**
- SITE IMPROVEMENTS GREEN ACRES OF SARATOGA LAKE, INC. P.U.D. BY ENVIRONMENTAL DESIGN PARTNERSHIP, LLP DATED 9/28/99, LAST REVISED 11/18/99 AND FILED IN THE SARATOGA COUNTY CLERK'S OFFICE IN DRAWER G AS MAP NOS. 291A & 291B.
  - TAX MAP 180.17-1-19
- DEED REFERENCE:**
- ROBERT L. & LINDA L. BARTER TO REX S. & ELISABETH A. RUTHMAN DATED 1/1/06 AND FILED IN L. 1746 P. 428

**PROPOSED RESIDENCE OF REX S. & ELISABETH A. RUTHMAN**  
 CITY OF SARATOGA SPRINGS, SARATOGA COUNTY STATE OF NEW YORK

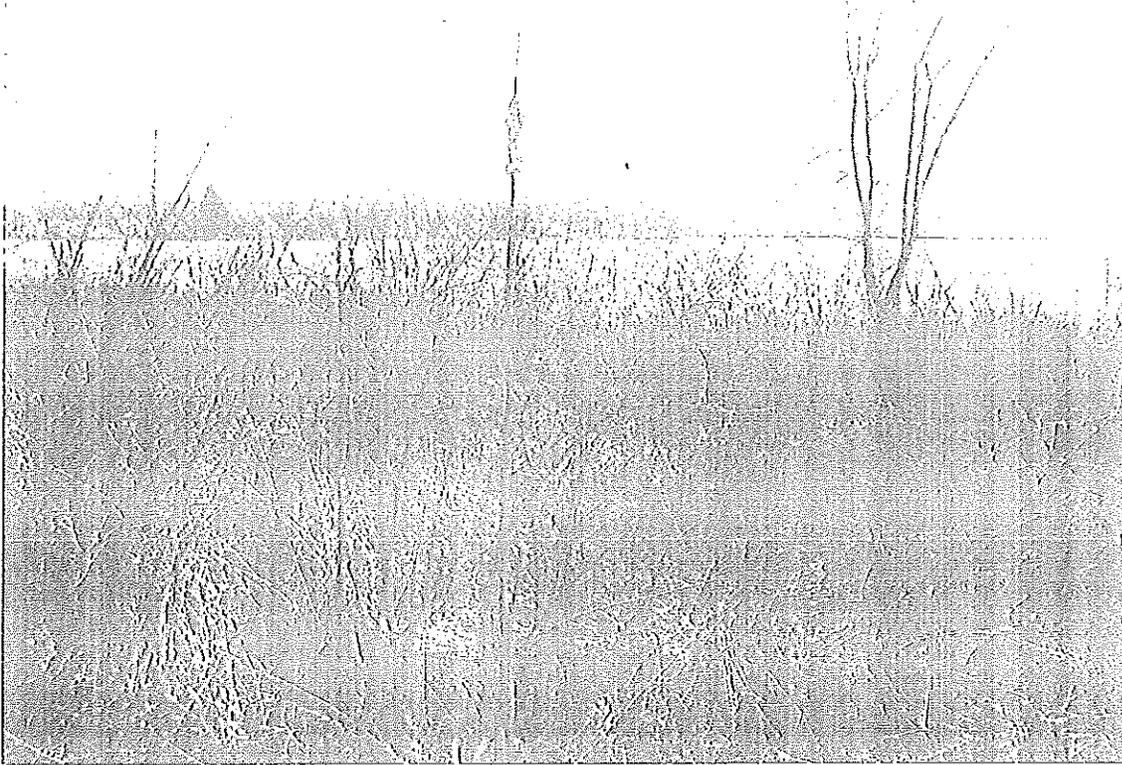
FILE		WETLAND DELINEATION MAP	
DRAWN BY:	TD	DATE:	04/05/16
CHECKED BY:	TEB	SCALE:	AS SHOWN
DATE:		REVISION:	
DRAWING NUMBER:		1	
APN:		15-16	



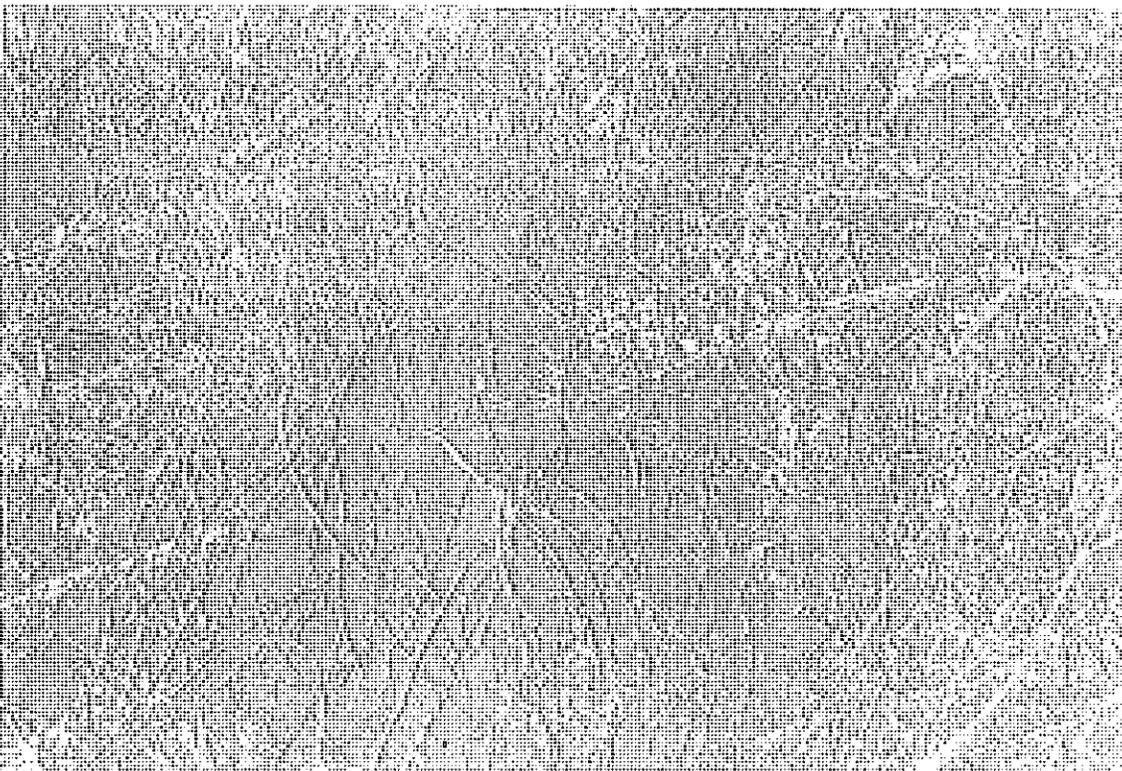
Above: The herbaceous layer in the wetland is nearly a monoculture of sensitive fern (FACW).

Below: The shrub layer in the wetland is composed of silky dogwood, stiff gray dogwood and speckled alders (FACW).





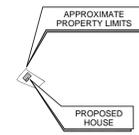
Above: There are a couple of small patches of cattails (OBL) on mucky silt sediment.  
Below: Near the south property line at the base of the steep bank there is a mossy seep with ankle deep water.





Above: The upland has staghorn sumac (FACU) on a steep bank of old stable fill material including some CD and other non soil materials. There is a narrow nearly level apron of overgrown upland between the top of the steep bank and Garside Extension.

I  
FEMA 100 YEAR  
FLOOD PLAIN MAP



J  
AERIAL PHOTO



*SARATOGA LAKE*

EXISTING HOUSE LOCATION AS SHOWN IN 2001  
HOUSE WAS REMOVED IN 2007

APPROXIMATE  
PROPERTY LIMITS

PROPOSED  
HOUSE



2001 AERIAL MAP

PROPOSED RESIDENCE OF  
**REX S. & ELISABETH A. RUTHMAN**  
 CITY OF SARATOGA SPRINGS, SARATOGA COUNTY  
 STATE OF NEW YORK

TITLE		SITE LOCATION AND 2001 AERIAL MAP	
DRAWN BY	DATE	CHECKED BY	SCALE
JDF	03/04/16	TJB	AS SHOWN
DATE	REVISION	DATE	REVISION
DRAWING NUMBER		1	
APN:		15-01	

K  
PROPERTY PHOTOS



PHOTO 1A



PHOTO 1B



PHOTO 1C

LOCATION 1



PHOTO 2A

LOCATION 2



PHOTO 6A

LOCATION 6



PHOTO 5A

LOCATION 5



PHOTO 5B



PHOTO 4A



PHOTO 4B

LOCATION 4

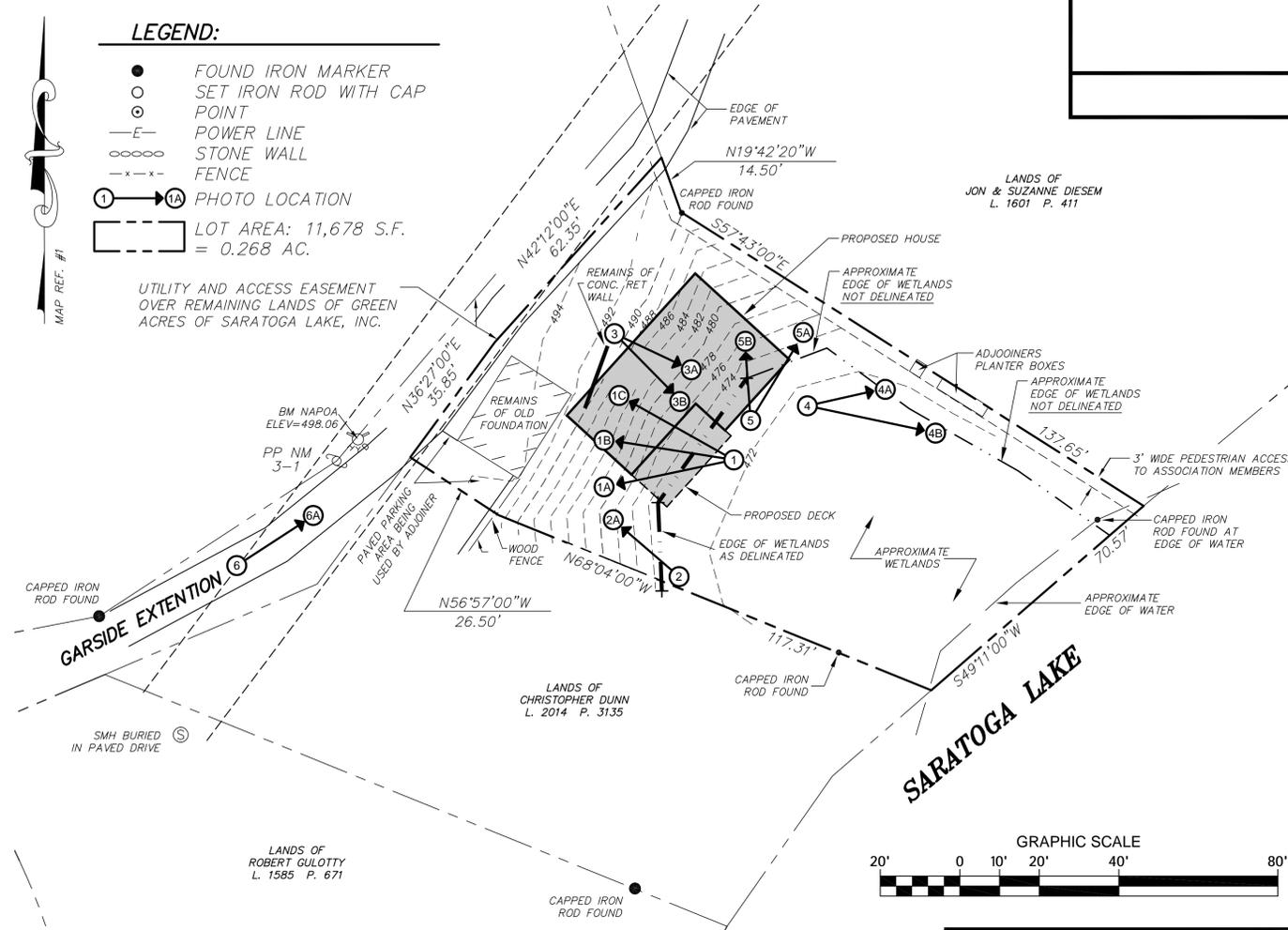


PHOTO 3A



PHOTO 3B

LOCATION 3

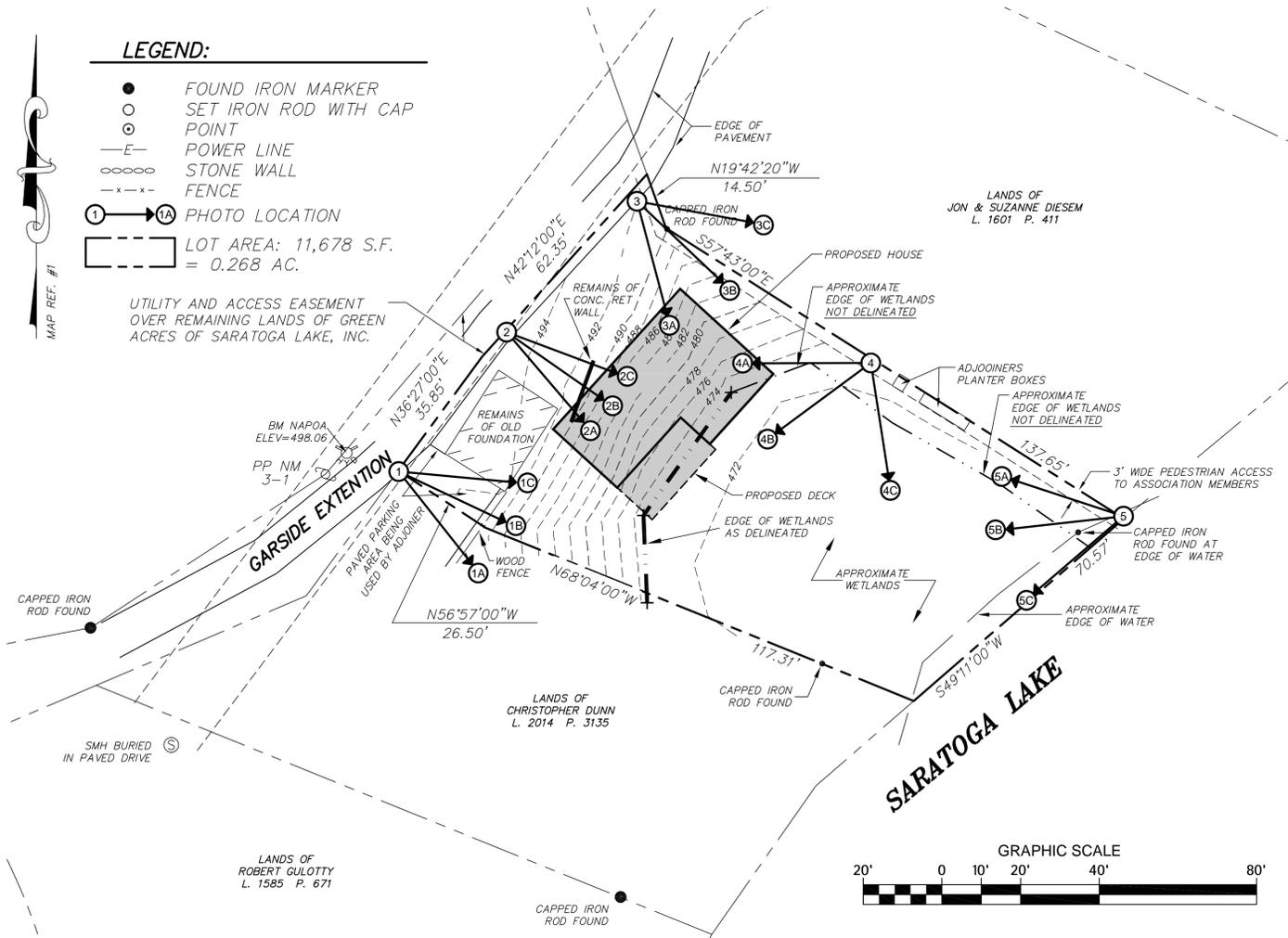


# 2006 - PHOTO LOCATIONS

PROPOSED RESIDENCE OF  
**REX S. & ELISABETH A. RUTHMAN**  
 CITY OF SARATOGA SPRINGS, SARATOGA COUNTY  
 STATE OF NEW YORK

2006 - PHOTO LOCATION MAP			
DRAWN BY: JDF	DATE: 03/07/16	CHECKED BY:	SCALE: AS SHOWN
TITLE:	DRAWING NUMBER:	REVISION:	REVISION:
1	1		
APN: 15-16			

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# 2015 - PHOTO LOCATIONS

PROPOSED RESIDENCE OF  
 REX S. & ELISABETH A. RUTHMAN  
 CITY OF SARATOGA SPRINGS, SARATOGA COUNTY  
 STATE OF NEW YORK

TITLE		2015 - PHOTO LOCATION MAP	
DRAWN BY:	TD	CHECKED BY:	TJB
DATE:	11/04/15	DATE:	
SCALE:	AS SHOWN	REVISION:	
DRAWING NUMBER:		1	
APN:		15-16	

UNAUTHORIZED ALTERATION OR ADDITION TO THIS DOCUMENT IS A VIOLATION OF SECTION 7209 SUBSECTION 2 OF THE NEW YORK STATE EDUCATION LAW

L  
BUILDING PLANS -  
FOUNDATION & ELEVATIONS

**EXTERIOR DOOR & WINDOW SCHEDULE**  
 MANF. IS SUBJECT TO CHANGE. ANY CHANGE MUST MEET LIGHT, VENT, AND EGRESS REQUIREMENTS.

NOTE: CHECK ALL DIMENSION ON SITE

MANUFACTURER	STYLE	QTY.	NOTES	R.O. (WxH)	EGRESS	LIGHT	VENT	
①	ANDERSEN	Cxw155-3	3		9'-0 5/8" x 5'-5 3/8"	12.60	39.30	25.20
②		Cx25	4		5'-3 1/4" x 5'-0 3/8"	9.80	20.70	19.60
③		AN 351	1		3'-5 3/8" x 1'-9"	1.50	4.00	1.50
④		Cxw155-2	1		6'-0 1/2" x 5'-5 3/8"	12.60	26.20	25.20
⑤		Cw155	4	w/CTR2410	2'-4 7/8" x 6'-5 7/8"	9.40	10.00	9.40
⑥		PSD55	1	w/PTL 500	5'-0 7/8" x 6'-5 7/8"	NA	23.00	NA
⑦		A31	3		3'-0 1/2" x 2'-0 5/8"	1.30	4.30	1.30
⑧		Cw35	1		7'-1 1/2" x 5'-0 3/8"	8.60	27.60	17.20
⑨		C14	1		2'-0 5/8" x 4'-0 1/2"	5.50	5.90	5.50
⑩		Cx25	1		5'-3 1/4" x 5'-0 3/8"	9.80	20.70	19.60
⑪		Cxw135	1		3'-0 1/2" x 3'-5 3/8"	7.50	7.90	7.50
⑫		PSD50	1		5'-0 3/8" x 5'-0 3/8"	NA	21.10	NA
⑬		Custom	2	SEE B.S. #1	2'-7" x 5'-1"	NA	7.60	NA
⑭		"	2	"	2'-7" x 5'-1"	NA	7.60	NA
⑮		"	2	"	5'-0" x 4'-6"	NA	7.35	NA
⑯								
⑰								
⑱								
⑲								
⑳								
㉑								
㉒								
△	THERMA-TRU	#210 (3/0)	1	(2) S.L + 1' TRANSOM	5'-5 1/2" x 7'-1 1/2"	NA		
△	ANDERSEN	FWG60611	2		6'-0" x 6'-11"	15.31	24.86	15.31
△	NANA	FOLDING	1		18'-0" x 7'-0"	NA		
△								
△								
△								

ROOM	AREA	LIGHT		VENT	
		REQ	ACT	REQ	ACT
GREAT RM	483.00	38.64	155.85	19.32	73.90
KIT/DIN	448.50	35.88	114.06	17.94	78.11
BEDRM #1	122.76	9.82	24.70	4.91	21.10
BEDRM #2	148.50	11.88	27.60	5.94	17.20
MASTER SUITE	257.08	20.56	51.15	10.28	27.10

WARNING: IT IS A VIOLATION OF NEW YORK STATE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER THIS DOCUMENT IN ANY WAY. IF A DOCUMENT BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO SUCH DOCUMENT HIS OR HER SEAL AND A NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DISCRPTION OF THE ALTERATION.

NOTE: THIS STRUCTURE MUST BE BUILT IN ACCORDANCE TO ALL KNOWN BUILDING CODES AND REGULATION OF THE TOWN IN WHICH IT IS ERECTED AND NEW YORK STATE BUILDING CODES, INCLUDING THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE.

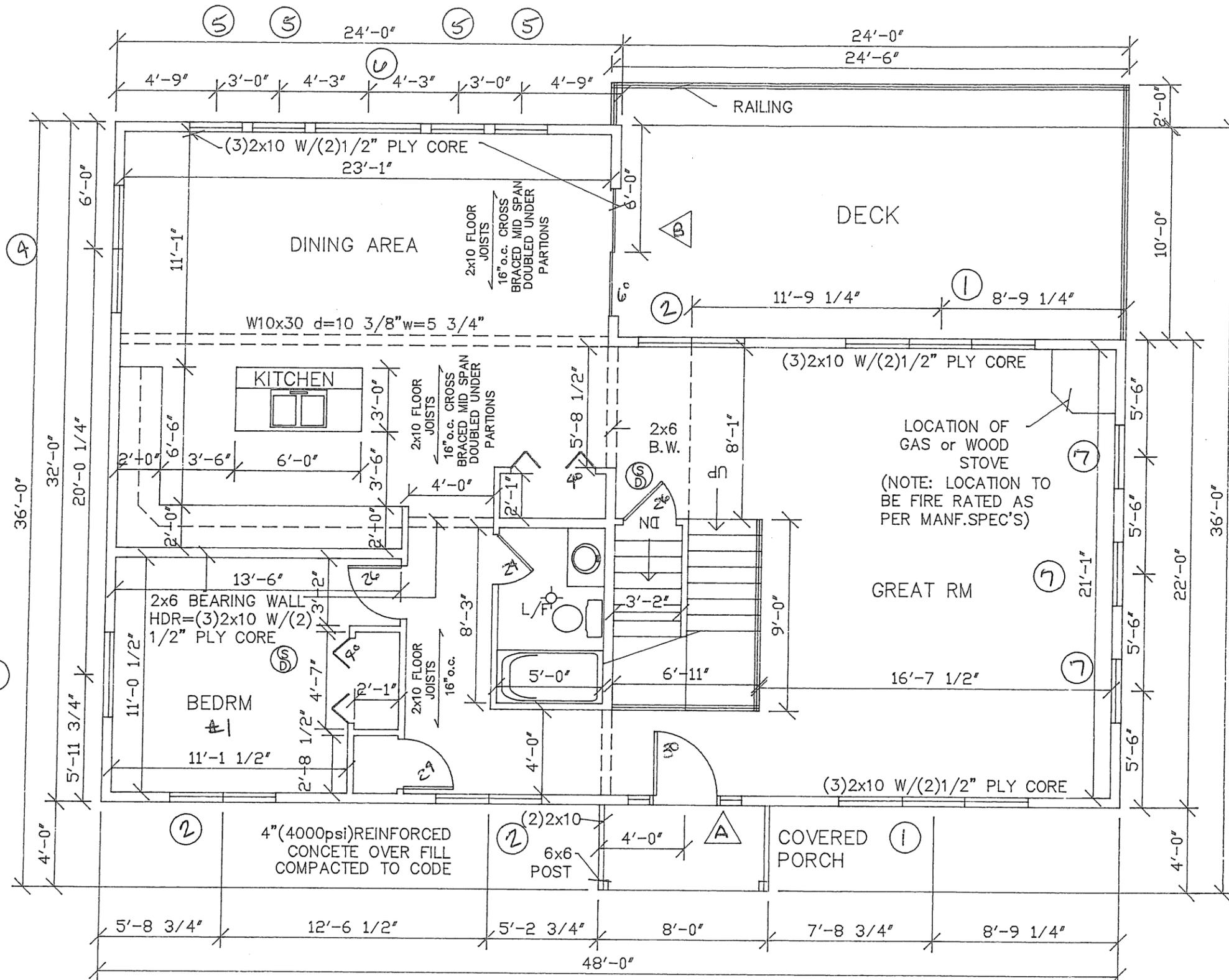
TABLE OF CONTENTS	
1 COVER/D&W/L&V	9 BUILDING SECTION
2 FOUNDATION	10 BUILDING SECTION
3 FLOOR PLAN	
4 FLOOR PLAN	
5 ELEVATIONS	
6 ELEVATIONS	
7 BUILDING SECTION	
8 BUILDING SECTION	

STAMP  
  
FILE# : DC19-2x

CHECKED: LAKE HOUSE SARATOGA LAKE, NY  
 DONE BY: COVER/D&W/L&V/ENERGY AUDIT RKO  
 DeRaven Design & Drafting 321 Delaware Ave. Delmar NY 12054 518-478-0630  
 R.H. Green PE PC 321 Delaware Ave. Delmar NY 12054 518-439-6474 (fax) 518-438-6475

DATE: FEB 15 06  
 SHEET OF  
 OWNER: ROTHMAN  
 BUILDER  
 RHG #: 051126A

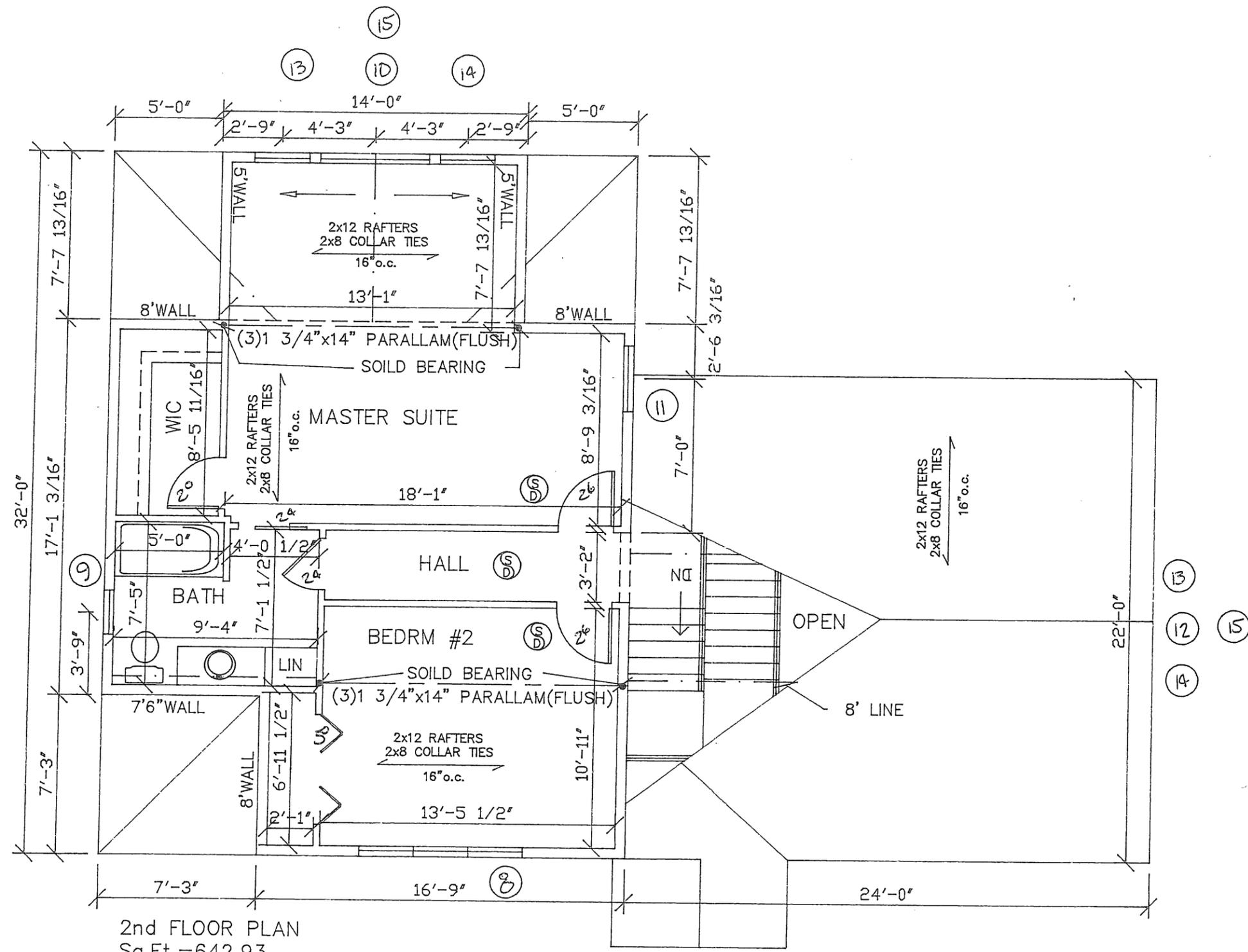




1st FLOOR PLAN  
 Sq.Ft.=1296.00  
 9' CEILING

(S) SMOKE DETECTOR WIRED TOGETHER ON SAME CURCUIT  
 W/BATTERY BACK UP & CARBON MONOXIDE ALARM

CHECKED:	DATE	2/14/06
	SHEET OF	OWNER RUTHMAN
DONE BY:	OWNER	RUTHMAN
	CONTRACTOR	R.H.Green PE PC Consulting Engineers 321 Delaware Ave; Delmar NY 518*439*6474/fax 439*6475
SCALE:	CONTRACTOR	DeRaven Design & Drafting 321 Delaware Ave; Delmar NY 518*478*0630
	SCALE:	3/16"=1'
FILE #		DC19-RX
DATE		2/14/06
SHEET OF		OWNER RUTHMAN
OWNER		RUTHMAN
CONTRACTOR		R.H.Green PE PC Consulting Engineers 321 Delaware Ave; Delmar NY 518*439*6474/fax 439*6475
CONTRACTOR		DeRaven Design & Drafting 321 Delaware Ave; Delmar NY 518*478*0630
SCALE:		3/16"=1'
FILE #		DC19-RX



2nd FLOOR PLAN  
Sq.Ft.=642.93

(S) SMOKE DETECTOR WIRED TOGETHER ON SAME CURCUIT  
W/BATTERY BACK UP & CARBON MONOXIDE ALARM

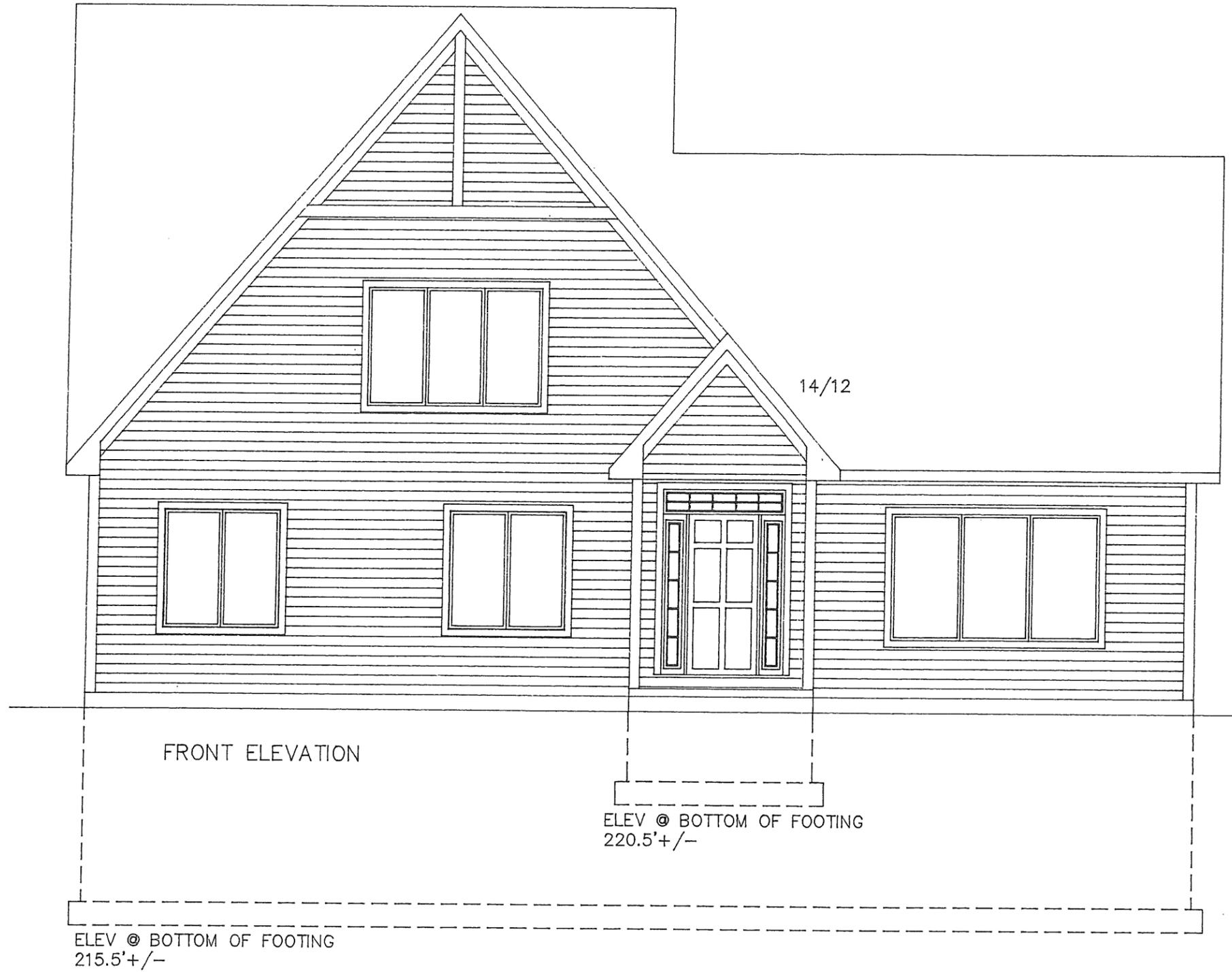
NOTE: INSTALL 22"x30" ATTIC ACCESS AS PER CODE REQ.  
LOCATED ON SITE.

DATE 2/14/06  
SHEET OF  
OWNER RUTHMAN  
CONTRACTOR  
RHG# 051126-A

NEW RESIDENCE  
SARATOGA LAKE, NY  
FLOOR PLAN  
DeRaven Design & Drafting  
321 Delaware Ave, Delmar NY  
518\*439\*6474/fax 439\*6475  
R.H.Green PE PC  
Consulting Engineers  
321 Delaware Ave, Delmar NY  
518\*439\*6474/fax 439\*6475

CHECKED:  
DONE BY:  
RKO  
SCALE:  
3/16"=1'

FILE # DC19-RX



CHECKED:

DONE BY:  
RKO

SCALE:  
3/16"=1'

NEW RESIDENCE  
SARATOGA LAKE, NY

ELEVATION

DeRaven Design & Drafting  
321 Delaware Ave; Delmar NY

518\*478\*0630

R.H. Green PE PC  
Consulting Engineers  
321 Delaware Ave; Delmar NY  
518\*439\*6474/fax 439\*6475

DATE 2/14/06

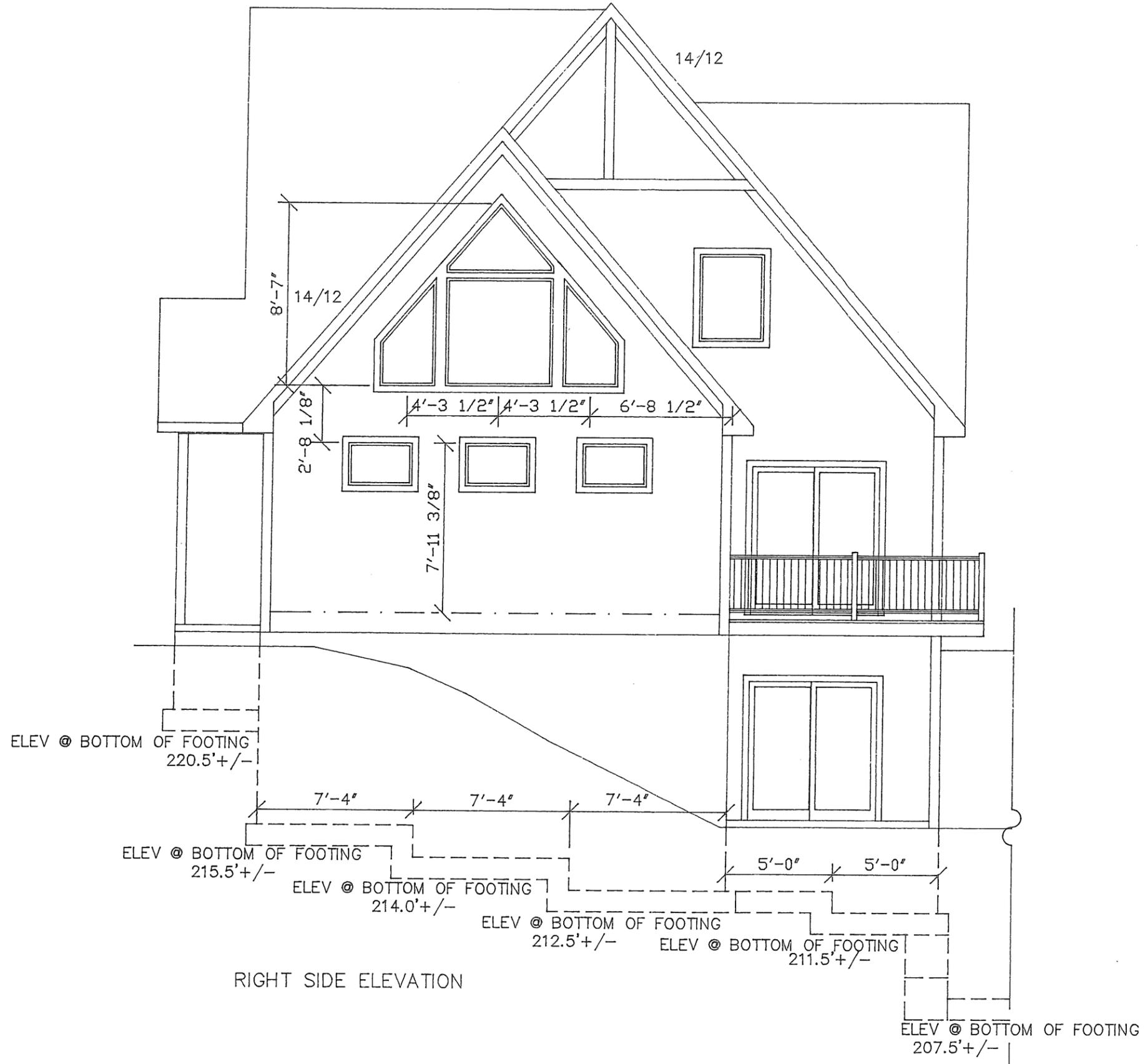
SHEET OF

OWNER RUTHMAN

CONTRACTOR

RHG# 051126--A

FILE # DC19--RX



RIGHT SIDE ELEVATION

DATE 2/14/06  
 SHEET OF  
 OWNER RUTHMAN  
 CONTRACTOR  
 RHG# 051126-A

NEW RESIDENCE  
 SARATOGA LAKE, NY

ELEVATION

DeRaven Design & Drafting  
 321 Delaware Ave; Delmar NY  
 518\*478\*0630

R.H. Green PE PC  
 Consulting Engineers  
 321 Delaware Ave; Delmar NY  
 518\*439\*6474/fax 439\*6475

CHECKED:  
 DONE BY: RKO  
 SCALE: 3/16"=1'

FILE # DC19-RX



14/12

ELEV @ BOTTOM OF FOOTING  
212.5'+/-

ELEV @ BOTTOM OF FOOTING  
211.5'+/-

ELEV @ BOTTOM OF FOOTING  
209.5'+/-

ELEV @ BOTTOM OF FOOTING  
207.5'+/-

REAR ELEVATION

16'-0"

4'-0"

4'-0"

DATE 2/14/06  
SHEET OF  
OWNER RUTHMAN  
CONTRACTOR  
RHG# 051126-A

NEW RESIDENCE  
SARATOGA LAKE, NY

ELEVATION

R.H.Green PE PC  
Consulting Engineers  
321 Delaware Ave; Delmar NY  
518\*439\*6474/fax 439\*6475

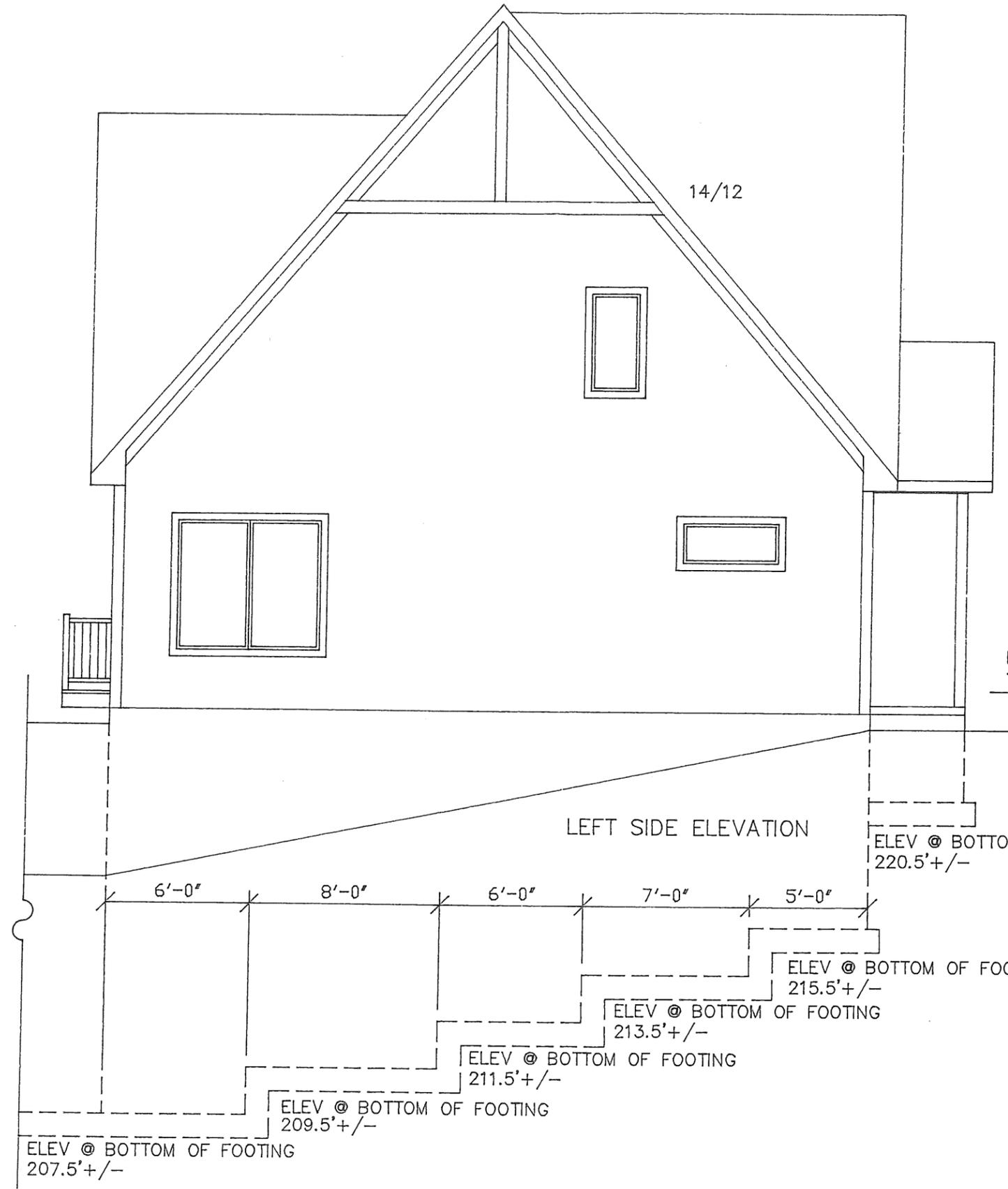
DeRaven Design & Drafting  
321 Delaware Ave; Delmar NY  
518\*478\*0630

CHECKED:

DONE BY:  
RKO

SCALE:  
3/16"=1'

FILE # DC19-RX



LEFT SIDE ELEVATION

14/12

ELEVATION OF FINISHED  
1st FLOOR=226.5+/-

ELEV @ BOTTOM OF FOOTING  
207.5'+/-

ELEV @ BOTTOM OF FOOTING  
209.5'+/-

ELEV @ BOTTOM OF FOOTING  
211.5'+/-

ELEV @ BOTTOM OF FOOTING  
213.5'+/-

ELEV @ BOTTOM OF FOOTING  
215.5'+/-

ELEV @ BOTTOM OF FOOTING  
220.5'+/-

CHECKED:  
DONE BY:  
RKO  
SCALE:  
3/16"=1'

FILE # DC19-RX

NEW RESIDENCE  
SARATOGA LAKE; NY

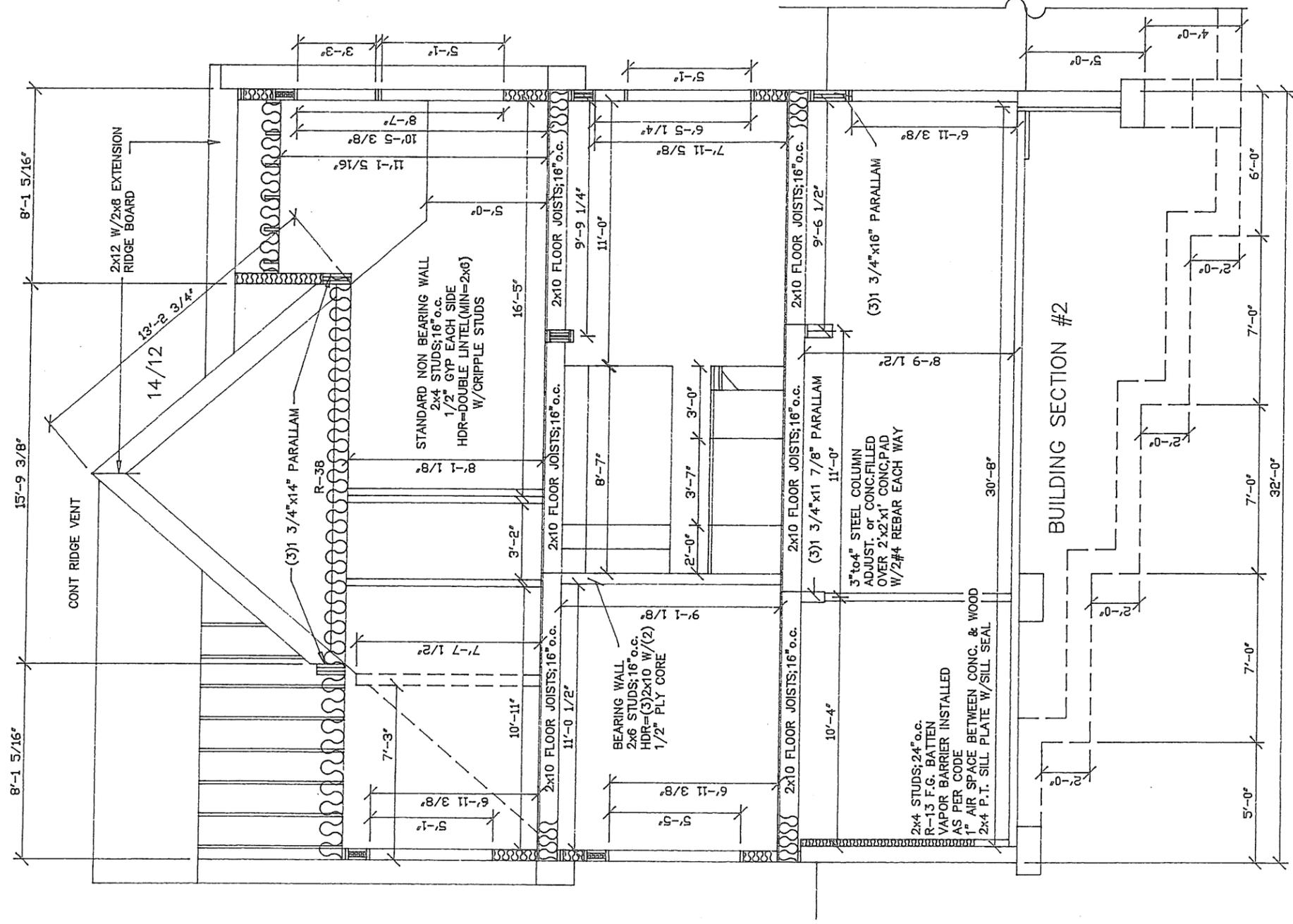
ELEVATION

DeRaven Design & Drafting  
321 Delaware Ave; Delmar NY  
518\*478\*0630

R.H. Green PE PC  
Consulting Engineers  
321 Delaware Ave; Delmar NY  
518\*439\*6474/fax 439\*6475

DATE 2/14/06  
SHEET OF  
OWNER RUTHMAN  
CONTRACTOR  
RHG# 051126-A





CHECKED:

DONE BY:  
RKO

SCALE:  
3/16"=1'

NEW RESIDENCE  
SARATOGA LAKE; NY

BUILDING SECTION

DeRaven Design & Drafting  
321 Delaware Ave; Delmar NY  
518\*478\*0630

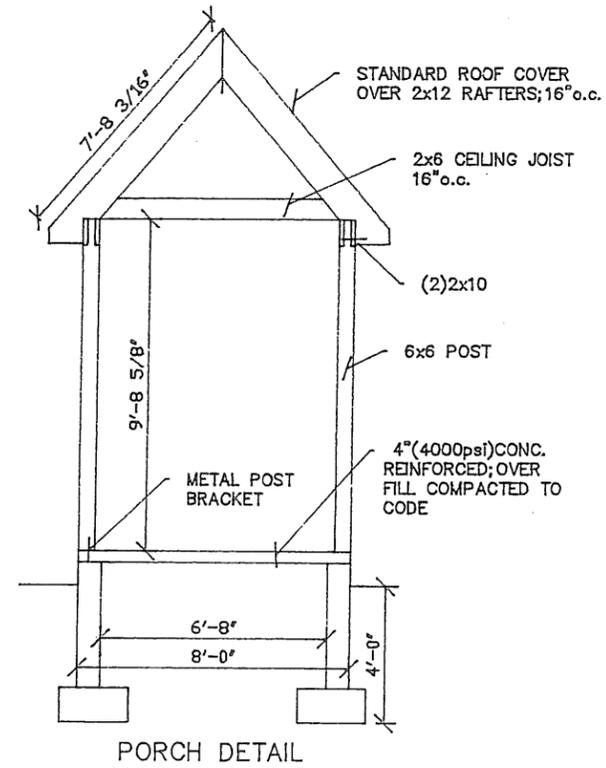
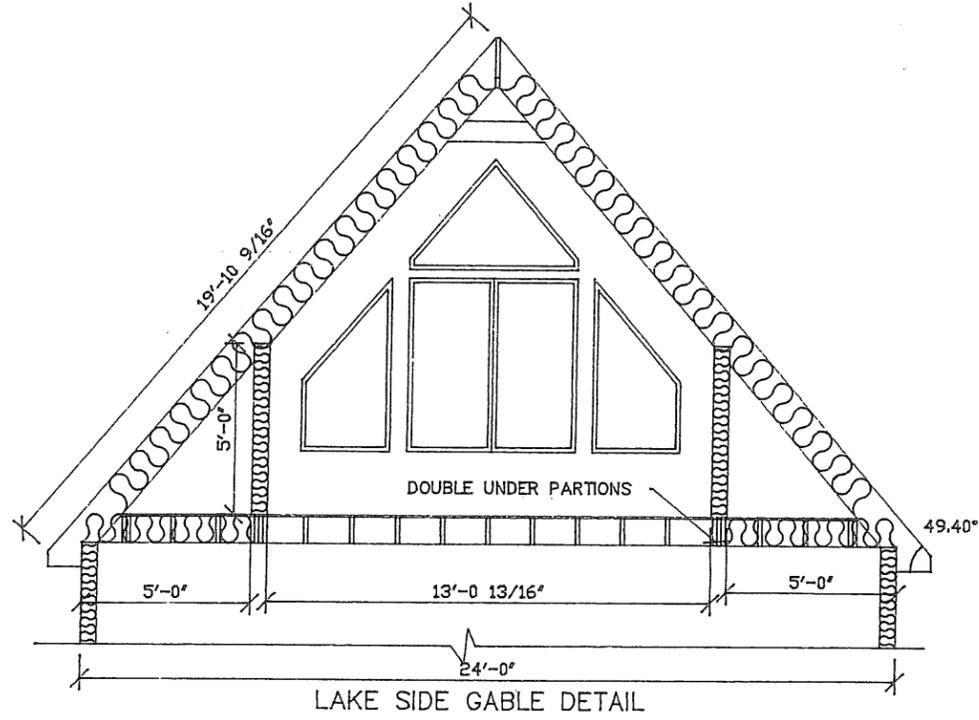
R.H.Green PE PC  
Consulting Engineers  
321 Delaware Ave; Delmar NY  
518\*439\*6474/fax 439\*6475

DATE 2/14/06  
SHEET OF

OWNER RUTHMAN  
CONTRACTOR

RHG# 051126A

FILE # DC19RXSC



DATE 2/14/06  
SHEET OF  
OWNER RUTHMAN  
CONTRACTOR  
RHG# 051126A

NEW RESIDENCE  
SARATOGA LAKE, NY  
BUILDING SECTION

R.H.Green PE PC  
Consulting Engineers  
321 Delaware Ave; Delmar NY  
518\*439\*6474/fax 439\*6475

DeRaven Design & Drafting  
321 Delaware Ave; Delmar NY  
518\*478\*0630

CHECKED:  
DONE BY:  
RKO  
SCALE:  
3/16" = 1'

FILE # DC19RXSC

M  
PROPERTY DESCRIPTIONS  
FROM TAX RECORDS

Results are sorted by Street Address. To re-sort, click on column heading.

OWNER NAME	ADDRESS	SECTION, BLOCK & LOT NUMBER	LOT SIZE	PROPERTY TYPE	BUILDING STYLE	YEAR BUILT	SQ.FT.	BEDROOMS/ BATHROOMS/ FIREPLACES
DEMASI, JAMES M	GARSDIE RD	180.17-1-31	58.1 x 0	Vacant Land	0 -			
TEVLIN, JOHN	5 GARSDIE RD	180.17-1-16	95.89 x 0	Residential	8 - Old Style	1950	1,422	3 / 2.5 / 0
GULOTTY, ROBERT J	9 GARSDIE RD	180.17-1-21	61.42 x 0	Residential	8 - Old Style	1925	1,590	2 / 2.5 / 0
GAETANO, BRIAN	11 GARSDIE RD	180.17-1-22	106.28 x 0	Vacant Land	0 -			
KOWALCHYK, JOSEPH	14 GARSDIE RD	180.17-1-34	124.5 x 0	Residential	0 -			
ROSE, DEBORAH G	15 GARSDIE RD	180.17-1-23	120.58 x 0	Residential	9 - Cottage	1925	1,026	3 / 1 / 0
ROSE, HAL S	17 GARSDIE RD	180.17-1-24	58.79 x 0	Residential	6 - Contemporary	2003	2,531	3 / 2.5 / 0
WOLF, KENNETH	18 GARSDIE RD	180.17-1-33.1	134.61 x 0	Residential	9 - Cottage	1925	1,076	2 / 1 / 1
KOWALCHYK, JOSEPH	19 GARSDIE RD	180.17-1-25	61.02 x 0	Residential	9 - Cottage	1925	612	2 / 1 / 0
STAUFFACHER, MICHAEL R	21-23 GARSDIE RD	180.17-1-26	51.07 x 0	Residential	6 - Contemporary	2002	1,200	2 / 2 / 0
MCDOWELL, THOMAS	22 GARSDIE RD	180.17-1-37	91 x 0	Residential	9 - Cottage	1948	582	2 / 1 / 0
DZEKCIORIUS, JOYCE M	25 GARSDIE RD	180.17-1-27	51.56 x 0	Residential	9 - Cottage	1935	858	2 / 1 / 0
BEACH, ALAN C	26 GARSDIE RD	180.17-1-30	32.66 x 0	Residential	9 - Cottage	1923	832	2 / 1 / 0
DEMASI, JAMES M	27 GARSDIE RD	180.17-1-28	59.81 x 0	Residential	9 - Cottage	1925	810	2 / 1 / 0
DUNN, CHRISTOPHER T	1 GARSDIE RD EXT	180.17-1-20	97.37 x 0	Residential	9 - Cottage	1925	609	3 / 1 / 0
LEONCAVALLO, NICHOLAS	2 GARSDIE RD EXT	180.17-1-17	118 x 0	Residential	9 - Cottage	1925	576	1 / 1 / 0
RUTHMAN, REX S	3 GARSDIE RD EXT	180.17-1-19	98.19 x 0	Vacant Land	0 -			
DIESEM, JON	5 GARSDIE RD EXT	180.17-1-38	14.56 x 0	Residential	9 - Cottage	1978	1,440	2 / 2 / 1
KREBS, THOMAS K	30 GARSDIE RD-REAR	180.17-1-29	0.39 acres	Residential	9 - Cottage	1925	896	3 / 1 / 0

19 records



# Property Description Report For: 30 Garside Rd-Rear, Municipality of City of Saratoga Springs, Outside

*No Photo Available*

<b>Status:</b>	Active
<b>Roll Section:</b>	Taxable
<b>Swis:</b>	411589
<b>Tax Map ID #:</b>	180.17-1-29
<b>Property Class:</b>	260 - Seasonal res
<b>Site:</b>	RES 1
<b>In Ag. District:</b>	No
<b>Site Property Class:</b>	260 - Seasonal res
<b>Zoning Code:</b>	RR1
<b>Neighborhood Code:</b>	15832
<b>School District:</b>	Saratoga Springs
<b>Total Assessment:</b>	2015 - \$286,200
<b>Legal Property Desc:</b>	S-16 B-B L-5Ptj
<b>Deed Page:</b>	700
<b>Grid North:</b>	1536942

<b>Total Acreage/Size:</b>	0.39
<b>Land Assessment:</b>	2015 - \$191,500
<b>Full Market Value:</b>	2015 - \$366,923
<b>Equalization Rate:</b>	----
<b>Deed Book:</b>	1654
<b>Grid East:</b>	697750

## Area

<b>Living Area:</b>	896 sq. ft.	<b>First Story Area:</b>	896 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	0 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	1
<b>Finished Rec Room</b>	0 sq. ft.		

## Structure

<b>Building Style:</b>	Cottage	<b>Bathrooms (Full - Half):</b>	1 - 0
<b>Bedrooms:</b>	3	<b>Kitchens:</b>	1
<b>Fireplaces:</b>	0	<b>Basement Type:</b>	Slab/pier
<b>Porch Type:</b>	Porch-screen	<b>Porch Area:</b>	128.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	Normal	<b>Overall Grade:</b>	Economy
<b>Year Built:</b>	1925		

## Owners

Thomas K Krebs 15 Hemlock Dr Clifton Park NY 12065	Robin L Krebs 15 Hemlock Dr Clifton Park NY 12065
--	---



## Property Description Report For: 5 Garside Rd Ext, Municipality of City of Saratoga Springs, Outside

*No Photo Available*

	<b>Status:</b>	Active
	<b>Roll Section:</b>	Taxable
	<b>Swis:</b>	411589
	<b>Tax Map ID #:</b>	180.17-1-38
	<b>Property Class:</b>	210 - 1 Family Res
	<b>Site:</b>	RES 1
	<b>In Ag. District:</b>	No
	<b>Site Property Class:</b>	210 - 1 Family Res
	<b>Zoning Code:</b>	RR1
	<b>Neighborhood Code:</b>	15832
	<b>School District:</b>	Saratoga Springs
	<b>Total Assessment:</b>	2015 - \$199,000
<b>Total Acreage/Size:</b>	0.57	
<b>Land Assessment:</b>	2015 - \$172,000	
<b>Full Market Value:</b>	2015 - \$255,128	
<b>Equalization Rate:</b>	----	
	<b>Legal Property Desc:</b>	S-16 B-B L-5Pth p/o lot 5 Former - Diesem L C
<b>Deed Book:</b>	1601	<b>Deed Page:</b> 411
<b>Grid East:</b>	697951	<b>Grid North:</b> 1537738

### Area

<b>Living Area:</b>	1,440 sq. ft.	<b>First Story Area:</b>	720 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	0 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	720 sq. ft.	<b>Number of Stories:</b>	1
<b>Finished Rec Room:</b>	0 sq. ft.		

### Structure

<b>Building Style:</b>	Cottage	<b>Bathrooms (Full - Half):</b>	2 - 0
<b>Bedrooms:</b>	2	<b>Kitchens:</b>	1
<b>Fireplaces:</b>	1	<b>Basement Type:</b>	Full
<b>Porch Type:</b>	Porch-up opn	<b>Porch Area:</b>	264.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	Normal	<b>Overall Grade:</b>	Average
<b>Year Built:</b>	1978		

### Owners

Jon Diesem 5 Garside Road Ext	Suzanne G Diesem 5 Garside Road Ext
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## Property Description Report For: 5 Garside Rd, Municipality of City of Saratoga Springs, Outside



**Status:** Active  
**Roll Section:** Taxable  
**Swis:** 411589  
**Tax Map ID #:** 180.17-1-16  
**Property Class:** 210 - 1 Family Res  
**Site:** RES 1  
**In Ag. District:** No  
**Site Property Class:** 210 - 1 Family Res  
**Zoning Code:** PUD  
**Neighborhood Code:** 15832  
**School District:** Saratoga Springs  
**Total Assessment:** 2015 - \$206,800

**Total Acreage/Size:** 0.29  
**Land Assessment:** 2015 - \$79,400  
**Full Market Value:** 2015 - \$265,128  
**Equalization Rate:** ----  
**Deed Book:** 1665  
**Grid East:** 697708

**Legal Property Desc:** Lot 5  
**Deed Page:** 402  
**Grid North:** 1537658

### Area

**Living Area:** 1,422 sq. ft.      **First Story Area:** 1,032 sq. ft.  
**Second Story Area:** 120 sq. ft.      **Half Story Area:** 0 sq. ft.  
**Additional Story Area:** 0 sq. ft.      **3/4 Story Area:** 270 sq. ft.  
**Finished Basement:** 0 sq. ft.      **Number of Stories:** 2  
**Finished Rec Room:** 0 sq. ft.

### Structure

**Building Style:** Old style      **Bathrooms (Full - Half):** 2 - 1  
**Bedrooms:** 3      **Kitchens:** 1  
**Fireplaces:** 0      **Basement Type:** Partial  
**Porch Type:** Porch-enclsd      **Porch Area:** 108.00  
**Basement Garage Cap:** 0      **Attached Garage Cap:** 0.00 sq. ft.  
**Overall Condition:** Normal      **Overall Grade:** Average  
**Year Built:** 1950

### Owners

John Tevlin      Carol Tevlin  
 630 Stratford Rd      630 Stratford Rd  
 Baldwin NY 11510      Baldwin NY 11510



Property Description Report For: 3 Garside Rd  
 Ext, Municipality of City of Saratoga Springs,  
 Outside

No Photo Available

	<b>Status:</b>	Active
	<b>Roll Section:</b>	Taxable
	<b>Swis:</b>	411589
	<b>Tax Map ID #:</b>	180.17-1-19
	<b>Property Class:</b>	311 - Res vac land
	<b>Site:</b>	RES 1
	<b>In Ag. District:</b>	No
	<b>Site Property Class:</b>	311 - Res vac land
	<b>Zoning Code:</b>	RR1
	<b>Neighborhood Code:</b>	15832
	<b>School District:</b>	Saratoga Springs
	<b>Total Assessment:</b>	2015 - \$169,300
<b>Total Acreage/Size:</b>	0.27	
<b>Land Assessment:</b>	2015 - \$169,300	
<b>Full Market Value:</b>	2015 - \$217,051	
<b>Equalization Rate:</b>	----	
<b>Deed Book:</b>	1746	<b>Legal Property Desc:</b> S-16 B-B L-5S Lot 3
<b>Grid East:</b>	697894	<b>Deed Page:</b> 428
		<b>Grid North:</b> 1537652

Area

<b>Living Area:</b>	0 sq. ft.	<b>First Story Area:</b>	0 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	0 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	0
<b>Finished Rec Room</b>	0 sq. ft.		

Structure

<b>Building Style:</b>	0	<b>Bathrooms (Full - Half):</b>	0 - 0
<b>Bedrooms:</b>	0	<b>Kitchens:</b>	0
<b>Fireplaces:</b>	0	<b>Basement Type:</b>	0
<b>Porch Type:</b>	0	<b>Porch Area:</b>	0.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	0	<b>Overall Grade:</b>	
<b>Year Built:</b>			

Owners

Rex S Ruthman 14 Aspen Heights Slingerlands NY 12159	Elisabeth A Ruthman 14 Aspen Heights Slingerlands NY 12159
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## Property Description Report For: 2 Garside Rd Ext, Municipality of City of Saratoga Springs, Outside

No Photo Available

	<b>Status:</b>	Active
	<b>Roll Section:</b>	Taxable
	<b>Swis:</b>	411589
	<b>Tax Map ID #:</b>	180.17-1-17
	<b>Property Class:</b>	260 - Seasonal res
	<b>Site:</b>	RES 1
	<b>In Ag. District:</b>	No
	<b>Site Property Class:</b>	260 - Seasonal res
	<b>Zoning Code:</b>	RR1
	<b>Neighborhood Code:</b>	15832
	<b>School District:</b>	Saratoga Springs
	<b>Total Assessment:</b>	2015 - \$162,500
<b>Total Acreage/Size:</b>	0.33	
<b>Land Assessment:</b>	2015 - \$81,800	
<b>Full Market Value:</b>	2015 - \$208,333	
<b>Equalization Rate:</b>	----	
<b>Deed Book:</b>	2007	
<b>Grid East:</b>	697797	
	<b>Legal Property Desc:</b>	S-16 B-B L-5 Ptk Lot 2
	<b>Deed Page:</b>	17758
	<b>Grid North:</b>	1537742

### Area

<b>Living Area:</b>	576 sq. ft.	<b>First Story Area:</b>	576 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	0 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	1
<b>Finished Rec Room</b>	0 sq. ft.		

### Structure

<b>Building Style:</b>	Cottage	<b>Bathrooms (Full - Half):</b>	1 - 0
<b>Bedrooms:</b>	1	<b>Kitchens:</b>	1
<b>Fireplaces:</b>	0	<b>Basement Type:</b>	Partial
<b>Porch Type:</b>	Porch-enclosd	<b>Porch Area:</b>	96.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	Normal	<b>Overall Grade:</b>	Economy
<b>Year Built:</b>	1925		

### Owners

Nicholas Leoncavallo 142 Hill Trace Trl Irmo SC 29063	Kathleen M Leoncavallo 142 Hill Trace Trl Irmo SC 29063
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# Property Description Report For: 1 Garside Rd Ext, Municipality of City of Saratoga Springs, Outside

*No Photo Available*

<b>Status:</b>	Active
<b>Roll Section:</b>	Taxable
<b>Swis:</b>	411589
<b>Tax Map ID #:</b>	180.17-1-20
<b>Property Class:</b>	210 - 1 Family Res
<b>Site:</b>	RES 1
<b>In Ag. District:</b>	No
<b>Site Property Class:</b>	210 - 1 Family Res
<b>Zoning Code:</b>	RR1
<b>Neighborhood Code:</b>	15832
<b>School District:</b>	Saratoga Springs
<b>Total Assessment:</b>	2015 - \$210,600
<b>Legal Property Desc:</b>	S-16 B-B L-5B Lot 1
<b>Deed Page:</b>	3135
<b>Grid North:</b>	1537593

<b>Total Acreage/Size:</b>	0.25
<b>Land Assessment:</b>	2015 - \$165,600
<b>Full Market Value:</b>	2015 - \$270,000
<b>Equalization Rate:</b>	----
<b>Deed Book:</b>	2014
<b>Grid East:</b>	697838

## Area

<b>Living Area:</b>	609 sq. ft.	<b>First Story Area:</b>	609 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	0 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	1
<b>Finished Rec Room</b>	0 sq. ft.		

## Structure

<b>Building Style:</b>	Cottage	<b>Bathrooms (Full - Half):</b>	1 - 0
<b>Bedrooms:</b>	3	<b>Kitchens:</b>	1
<b>Fireplaces:</b>	0	<b>Basement Type:</b>	Partial
<b>Porch Type:</b>	Porch-enclsd	<b>Porch Area:</b>	252.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	Normal	<b>Overall Grade:</b>	Economy
<b>Year Built:</b>	1925		

## Owners

Christopher T Dunn 108 Tallwood Lane Lincroft NJ 07738	Stephanie A Dunn 108 Tallwood Lane Lincroft NJ 07738
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# Property Description Report For: 27 Garside Rd, Municipality of City of Saratoga Springs, Outside

*No Photo Available*

<b>Total Acreage/Size:</b>	0.40	<b>Status:</b>	Active
<b>Land Assessment:</b>	2015 - \$193,300	<b>Roll Section:</b>	Taxable
<b>Full Market Value:</b>	2015 - \$335,385	<b>Swis:</b>	411589
<b>Equalization Rate:</b>	----	<b>Tax Map ID #:</b>	180.17-1-28
<b>Deed Book:</b>	2009	<b>Property Class:</b>	260 - Seasonal res
<b>Grid East:</b>	697714	<b>Site:</b>	RES 1
		<b>In Ag. District:</b>	No
		<b>Site Property Class:</b>	260 - Seasonal res
		<b>Zoning Code:</b>	RR1
		<b>Neighborhood Code:</b>	15832
		<b>School District:</b>	Saratoga Springs
		<b>Total Assessment:</b>	2015 - \$261,600
		<b>Legal Property Desc:</b>	S-16 B-B L-5L Lot 27
		<b>Deed Page:</b>	29911
		<b>Grid North:</b>	1537013

## Area

<b>Living Area:</b>	810 sq. ft.	<b>First Story Area:</b>	810 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	0 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	1
<b>Finished Rec Room</b>	0 sq. ft.		

## Structure

<b>Building Style:</b>	Cottage	<b>Bathrooms (Full - Half):</b>	1 - 0
<b>Bedrooms:</b>	2	<b>Kitchens:</b>	1
<b>Fireplaces:</b>	0	<b>Basement Type:</b>	Slab/ptier
<b>Porch Type:</b>	Porch-screen	<b>Porch Area:</b>	100.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	Normal	<b>Overall Grade:</b>	Economy
<b>Year Built:</b>	1925		

## Owners

James M Demasi	Judith Dunn
27 Garside Rd	27 Garside Rd
Saratoga Springs NY 12866	Saratoga Springs NY 12866



## Property Description Report For: 26 Garside Rd, Municipality of City of Saratoga Springs, Outside

*No Photo Available*

	<b>Status:</b>	Active
	<b>Roll Section:</b>	Taxable
	<b>Swis:</b>	411589
	<b>Tax Map ID #:</b>	180.17-1-30
	<b>Property Class:</b>	260 - Seasonal res
	<b>Site:</b>	RES 1
	<b>In Ag. District:</b>	No
	<b>Site Property Class:</b>	260 - Seasonal res
	<b>Zoning Code:</b>	RR1
	<b>Neighborhood Code:</b>	15832
	<b>School District:</b>	Saratoga Springs
	<b>Total Assessment:</b>	2015 - \$133,300
<b>Total Acreage/Size:</b>	0.28	
<b>Land Assessment:</b>	2015 - \$78,800	
<b>Full Market Value:</b>	2015 - \$170,897	
<b>Equalization Rate:</b>	----	
<b>Deed Book:</b>	2007	<b>Legal Property Desc:</b> S-16 B-B L-5Q Lot 26
<b>Grid East:</b>	697459	<b>Deed Page:</b> 44513
		<b>Grid North:</b> 1537051

### Area

<b>Living Area:</b>	832 sq. ft.	<b>First Story Area:</b>	832 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	0 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	1
<b>Finished Rec Room</b>	0 sq. ft.		

### Structure

<b>Building Style:</b>	Cottage	<b>Bathrooms (Full - Half):</b>	1 - 0
<b>Bedrooms:</b>	2	<b>Kitchens:</b>	1
<b>Fireplaces:</b>	0	<b>Basement Type:</b>	Full
<b>Porch Type:</b>	Porch-enclsd	<b>Porch Area:</b>	96.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	Normal	<b>Overall Grade:</b>	Economy
<b>Year Built:</b>	1923		

### Owners

Alan C Beach 80 Smith St Lynbrook NY 11563	Rina Beach 80 Smith St Lynbrook NY 11563
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## Property Description Report For: 25 Garside Rd, Municipality of City of Saratoga Springs, Outside

*No Photo Available*

	<b>Status:</b>	Active
	<b>Roll Section:</b>	Taxable
	<b>Swis:</b>	411589
	<b>Tax Map ID #:</b>	180.17-1-27
	<b>Property Class:</b>	260 - Seasonal res
	<b>Site:</b>	RES 1
	<b>In Ag. District:</b>	No
	<b>Site Property Class:</b>	260 - Seasonal res
	<b>Zoning Code:</b>	RR1
	<b>Neighborhood Code:</b>	15832
	<b>School District:</b>	Saratoga Springs
	<b>Total Assessment:</b>	2015 - \$222,400
<b>Total Acreage/Size:</b>	0.47	
<b>Land Assessment:</b>	2015 - \$154,700	
<b>Full Market Value:</b>	2015 - \$285,128	
<b>Equalization Rate:</b>	----	
<b>Deed Book:</b>	2014	<b>Legal Property Desc:</b> S-16 B-B L-5R Lot 23
<b>Grid East:</b>	697701	<b>Deed Page:</b> 24266
		<b>Grid North:</b> 1537081

### Area

<b>Living Area:</b>	858 sq. ft.	<b>First Story Area:</b>	858 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	0 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	1
<b>Finished Rec Room</b>	0 sq. ft.		

### Structure

<b>Building Style:</b>	Cottage	<b>Bathrooms (Full - Half):</b>	1 - 0
<b>Bedrooms:</b>	2	<b>Kitchens:</b>	1
<b>Fireplaces:</b>	0	<b>Basement Type:</b>	Slab/pier
<b>Porch Type:</b>	Porch-enclsd	<b>Porch Area:</b>	70.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	Normal	<b>Overall Grade:</b>	Economy
<b>Year Built:</b>	1935		

### Owners

Donald M Dzekciorius 78 Hampton St Delmar NY 12054	Joyce Dzekciorius 78 Hampton St Delmar NY 12054
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## Property Description Report For: 22 Garside Rd, Municipality of City of Saratoga Springs, Outside

*No Photo Available*

<b>Total Acreage/Size:</b>	0.21	<b>Status:</b>	Active
<b>Land Assessment:</b>	2015 - \$70,600	<b>Roll Section:</b>	Taxable
<b>Full Market Value:</b>	2015 - \$160,256	<b>Swis:</b>	411589
<b>Equalization Rate:</b>	----	<b>Tax Map ID #:</b>	180.17-1-37
<b>Deed Book:</b>	2013	<b>Property Class:</b>	260 - Seasonal res
<b>Grid East:</b>	697500	<b>Site:</b>	RES 1
		<b>In Ag. District:</b>	No
		<b>Site Property Class:</b>	260 - Seasonal res
		<b>Zoning Code:</b>	RR1
		<b>Neighborhood Code:</b>	15832
		<b>School District:</b>	Saratoga Springs
		<b>Total Assessment:</b>	2015 - \$125,000
		<b>Legal Property Desc:</b>	Lot 22&p/018 also 1750/99 2013/26218
		<b>Deed Page:</b>	26215
		<b>Grid North:</b>	1537174

### Area

<b>Living Area:</b>	582 sq. ft.	<b>First Story Area:</b>	582 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	0 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	1
<b>Finished Rec Room</b>	0 sq. ft.		

### Structure

<b>Building Style:</b>	Cottage	<b>Bathrooms (Full - Half):</b>	1 - 0
<b>Bedrooms:</b>	2	<b>Kitchens:</b>	1
<b>Fireplaces:</b>	0	<b>Basement Type:</b>	Slab/pier
<b>Porch Type:</b>	0	<b>Porch Area:</b>	0.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	Normal	<b>Overall Grade:</b>	Average
<b>Year Built:</b>	1948		

### Owners

Thomas Mcdowell	Georgia L Hinchman
22 Garside Rd	22 Garside Rd
Saratoga Springs NY 12866	Saratoga Springs NY 12866



## Property Description Report For: 21-23 Garside Rd, Municipality of City of Saratoga Springs, Outside

*No Photo Available*

	<b>Status:</b>	Active
	<b>Roll Section:</b>	Taxable
	<b>Swis:</b>	411589
	<b>Tax Map ID #:</b>	180.17-1-26
	<b>Property Class:</b>	280 - Res Multiple
	<b>Site:</b>	RES 1
	<b>In Ag. District:</b>	No
	<b>Site Property Class:</b>	210 - 1 Family Res
	<b>Zoning Code:</b>	RR1
	<b>Neighborhood Code:</b>	15832
	<b>School District:</b>	Saratoga Springs
	<b>Total Assessment:</b>	2015 - \$442,800
<b>Total Acreage/Size:</b>	0.35	
<b>Land Assessment:</b>	2015 - \$184,100	
<b>Full Market Value:</b>	2015 - \$567,692	
<b>Equalization Rate:</b>	----	
<b>Deed Book:</b>	1559	<b>Legal Property Desc:</b> S-16 B-B L-5P Lot 21
<b>Grid East:</b>	697711	<b>Deed Page:</b> 10
		<b>Grid North:</b> 1537144

### Area

<b>Living Area:</b>	1,200 sq. ft.	<b>First Story Area:</b>	780 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	420 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	1.5
<b>Finished Rec Room</b>	0 sq. ft.		

### Structure

<b>Building Style:</b>	Contemporary	<b>Bathrooms (Full - Half):</b>	2 - 0
<b>Bedrooms:</b>	2	<b>Kitchens:</b>	1
<b>Fireplaces:</b>	0	<b>Basement Type:</b>	Slab/pier
<b>Porch Type:</b>	0	<b>Porch Area:</b>	0.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	216.00 sq. ft.
<b>Overall Condition:</b>	Good	<b>Overall Grade:</b>	Average
<b>Year Built:</b>	2002		

### Owners

Michael R Stauffacher	Marilyn Cordell
23 Garside Rd	23 Garside Rd
Saratoga Springs NY 12866	Saratoga Springs NY 12866



## Property Description Report For: 19 Garside Rd, Municipality of City of Saratoga Springs, Outside

*No Photo Available*

<b>Total Acreage/Size:</b>	0.29	<b>Status:</b>	Active
<b>Land Assessment:</b>	2015 - \$173,000	<b>Roll Section:</b>	Taxable
<b>Full Market Value:</b>	2015 - \$256,410	<b>Swis:</b>	411589
<b>Equalization Rate:</b>	----	<b>Tax Map ID #:</b>	180.17-1-25
<b>Deed Book:</b>	1585	<b>Property Class:</b>	260 - Seasonal res
<b>Grid East:</b>	697715	<b>Site:</b>	RES 1
		<b>In Ag. District:</b>	No
		<b>Site Property Class:</b>	260 - Seasonal res
		<b>Zoning Code:</b>	RR1
		<b>Neighborhood Code:</b>	15832
		<b>School District:</b>	Saratoga Springs
		<b>Total Assessment:</b>	2015 - \$200,000
		<b>Legal Property Desc:</b>	S-16 B-B L-5N Lot 19
		<b>Deed Page:</b>	684
		<b>Grid North:</b>	1537203

### Area

<b>Living Area:</b>	612 sq. ft.	<b>First Story Area:</b>	612 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	0 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	1
<b>Finished Rec Room:</b>	0 sq. ft.		

### Structure

<b>Building Style:</b>	Cottage	<b>Bathrooms (Full - Half):</b>	1 - 0
<b>Bedrooms:</b>	2	<b>Kitchens:</b>	1
<b>Fireplaces:</b>	0	<b>Basement Type:</b>	Slab/plier
<b>Porch Type:</b>	Porch-screen	<b>Porch Area:</b>	224.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	Normal	<b>Overall Grade:</b>	Economy
<b>Year Built:</b>	1925		

### Owners

Joseph Kowalchyk 1100 25th St Watervliet NY 12189	Helen Kowalchyk 1100 25th St Watervliet NY 12189
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## Property Description Report For: 18 Garside Rd, Municipality of City of Saratoga Springs, Outside

*No Photo Available*

<b>Total Acreage/Size:</b>	0.30	<b>Status:</b>	Active
<b>Land Assessment:</b>	2015 - \$89,000	<b>Roll Section:</b>	Taxable
<b>Full Market Value:</b>	2015 - \$166,154	<b>Swis:</b>	411589
<b>Equalization Rate:</b>	----	<b>Tax Map ID #:</b>	180.17-1-33.1
		<b>Property Class:</b>	260 - Seasonal res
		<b>Site:</b>	RES 1
		<b>In Ag. District:</b>	No
		<b>Site Property Class:</b>	260 - Seasonal res
		<b>Zoning Code:</b>	RR1
		<b>Neighborhood Code:</b>	15832
		<b>School District:</b>	Saratoga Springs
		<b>Total Assessment:</b>	2015 - \$129,600
		<b>Legal Property Desc:</b>	S-16 B-B L-5T also 1657/552 2013/26216
<b>Deed Book:</b>	2011	<b>Deed Page:</b>	29468
<b>Grid East:</b>	697547	<b>Grid North:</b>	1537270

### Area

<b>Living Area:</b>	1,076 sq. ft.	<b>First Story Area:</b>	1,076 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	0 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	1
<b>Finished Rec Room:</b>	0 sq. ft.		

### Structure

<b>Building Style:</b>	Cottage	<b>Bathrooms (Full - Half):</b>	1 - 0
<b>Bedrooms:</b>	2	<b>Kitchens:</b>	1
<b>Fireplaces:</b>	1	<b>Basement Type:</b>	Slab/pier
<b>Porch Type:</b>	0	<b>Porch Area:</b>	0.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	Fair	<b>Overall Grade:</b>	Economy
<b>Year Built:</b>	1925		

### Owners

Kenneth Wolf 3293 Harbor Point Rd	Shelley T Wolf 3293 Harbor Point Rd
--------------------------------------	--



## Property Description Report For: 17 Garside Rd, Municipality of City of Saratoga Springs, Outside

*No Photo Available*

	<b>Status:</b>	Active
	<b>Roll Section:</b>	Taxable
	<b>Swis:</b>	411589
	<b>Tax Map ID #:</b>	180.17-1-24
	<b>Property Class:</b>	210 - 1 Family Res
	<b>Site:</b>	RES 1
	<b>In Ag. District:</b>	No
	<b>Site Property Class:</b>	210 - 1 Family Res
	<b>Zoning Code:</b>	RR1
	<b>Neighborhood Code:</b>	15832
	<b>School District:</b>	Saratoga Springs
	<b>Total Assessment:</b>	2015 - \$470,000
<b>Total Acreage/Size:</b>	0.24	
<b>Land Assessment:</b>	2015 - \$162,100	
<b>Full Market Value:</b>	2015 - \$602,564	
<b>Equalization Rate:</b>	----	
<b>Deed Book:</b>	1580	
<b>Grid East:</b>	697723	
	<b>Legal Property Desc:</b>	S-16 B-B L-5P Lot 17
	<b>Deed Page:</b>	765
	<b>Grid North:</b>	1537259

### Area

<b>Living Area:</b>	2,531 sq. ft.	<b>First Story Area:</b>	1,252 sq. ft.
<b>Second Story Area:</b>	1,279 sq. ft.	<b>Half Story Area:</b>	0 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	2
<b>Finished Rec Room</b>	0 sq. ft.		

### Structure

<b>Building Style:</b>	Contemporary	<b>Bathrooms (Full - Half):</b>	2 - 1
<b>Bedrooms:</b>	3	<b>Kitchens:</b>	1
<b>Fireplaces:</b>	0	<b>Basement Type:</b>	Full
<b>Porch Type:</b>	Porch-open/deck	<b>Porch Area:</b>	252.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	540.00 sq. ft.
<b>Overall Condition:</b>	Good	<b>Overall Grade:</b>	Average
<b>Year Built:</b>	2003		

### Owners

Hal S Rose  
P.O. Box 3406  
Saratoga Springs NY 12866



## Property Description Report For: 15 Garside Rd, Municipality of City of Saratoga Springs, Outside

*No Photo Available*

	<b>Status:</b>	Active
	<b>Roll Section:</b>	Taxable
	<b>Swis:</b>	411589
	<b>Tax Map ID #:</b>	180.17-1-23
	<b>Property Class:</b>	210 - 1 Family Res
	<b>Site:</b>	RES 1
	<b>In Ag. District:</b>	No
	<b>Site Property Class:</b>	210 - 1 Family Res
	<b>Zoning Code:</b>	RR1
	<b>Neighborhood Code:</b>	15832
	<b>School District:</b>	Saratoga Springs
	<b>Total Assessment:</b>	2015 - \$286,300
<b>Total Acreage/Size:</b>	0.40	
<b>Land Assessment:</b>	2015 - \$193,300	
<b>Full Market Value:</b>	2015 - \$367,051	
<b>Equalization Rate:</b>	----	
<b>Deed Book:</b>	1558	<b>Legal Property Desc:</b> S-16 B-B L-5 Ptd Lot 15
<b>Grid East:</b>	697751	<b>Deed Page:</b> 394
		<b>Grid North:</b> 1537346

### Area

<b>Living Area:</b>	1,026 sq. ft.	<b>First Story Area:</b>	1,026 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	0 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	1
<b>Finished Rec Room</b>	0 sq. ft.		

### Structure

<b>Building Style:</b>	Cottage	<b>Bathrooms (Full - Half):</b>	1 - 0
<b>Bedrooms:</b>	3	<b>Kitchens:</b>	1
<b>Fireplaces:</b>	0	<b>Basement Type:</b>	Slab/pier
<b>Porch Type:</b>	Porch-screen	<b>Porch Area:</b>	451.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	Normal	<b>Overall Grade:</b>	Economy
<b>Year Built:</b>	1925		

### Owners

Deborah G Rose 169 Bay St Glens Falls NY 12801	Jean Gilardi 169 Bay St Glens Falls NY 12801
--	--



# Property Description Report For: 14 Garside Rd, Municipality of City of Saratoga Springs, Outside

*No Photo Available*

	<b>Status:</b>	Active
	<b>Roll Section:</b>	Taxable
	<b>Swis:</b>	411589
	<b>Tax Map ID #:</b>	180.17-1-34
	<b>Property Class:</b>	270 - Mfg housing
	<b>Site:</b>	RES 1
	<b>In Ag. District:</b>	No
	<b>Site Property Class:</b>	270 - Mfg housing
	<b>Zoning Code:</b>	RR1
	<b>Neighborhood Code:</b>	15832
	<b>School District:</b>	Saratoga Springs
	<b>Total Assessment:</b>	2015 - \$93,800
<b>Total Acreage/Size:</b>	0.28	
<b>Land Assessment:</b>	2015 - \$78,800	
<b>Full Market Value:</b>	2015 - \$120,256	
<b>Equalization Rate:</b>	----	
<b>Deed Book:</b>	1585	<b>Legal Property Desc:</b> S-16 B-B L-5Ptd Lot 14
<b>Grid East:</b>	697606	<b>Deed Page:</b> 686
		<b>Grid North:</b> 1537399

## Area

<b>Living Area:</b>	0 sq. ft.	<b>First Story Area:</b>	0 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	0 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	
<b>Finished Rec Room</b>	0 sq. ft.		

## Structure

<b>Building Style:</b>	0	<b>Bathrooms (Full - Half):</b>	0 - 0
<b>Bedrooms:</b>	0	<b>Kitchens:</b>	0
<b>Fireplaces:</b>	0	<b>Basement Type:</b>	0
<b>Porch Type:</b>	0	<b>Porch Area:</b>	0.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	0	<b>Overall Grade:</b>	
<b>Year Built:</b>			

## Owners

Joseph Kowalchyk 1100 25th St Watervliet NY 12189	Helen Kowalchyk 1100 25th St Watervliet NY 12189
---	--



## Property Description Report For: 11 Garside Rd, Municipality of City of Saratoga Springs, Outside

*No Photo Available*

	<b>Status:</b>	Active
	<b>Roll Section:</b>	Taxable
	<b>Swis:</b>	411589
	<b>Tax Map ID #:</b>	180.17-1-22
	<b>Property Class:</b>	311 - Res vac land
	<b>Site:</b>	RES 1
	<b>In Ag. District:</b>	No
	<b>Site Property Class:</b>	311 - Res vac land
	<b>Zoning Code:</b>	RR1
	<b>Neighborhood Code:</b>	15832
	<b>School District:</b>	Saratoga Springs
	<b>Total Assessment:</b>	2015 - \$224,300
<b>Total Acreage/Size:</b>	0.55	
<b>Land Assessment:</b>	2015 - \$224,300	
<b>Full Market Value:</b>	2015 - \$287,564	
<b>Equalization Rate:</b>	----	
<b>Deed Book:</b>	1652	<b>Legal Property Desc:</b> S-16 B-B L-5 Pti Lot 11
<b>Grid East:</b>	697783	<b>Deed Page:</b> 72
		<b>Grid North:</b> 1537460

### Area

<b>Living Area:</b>	0 sq. ft.	<b>First Story Area:</b>	0 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	0 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	0
<b>Finished Rec Room</b>	0 sq. ft.		

### Structure

<b>Building Style:</b>	0	<b>Bathrooms (Full - Half):</b>	0 - 0
<b>Bedrooms:</b>	0	<b>Kitchens:</b>	0
<b>Fireplaces:</b>	0	<b>Basement Type:</b>	0
<b>Porch Type:</b>	0	<b>Porch Area:</b>	0.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	0	<b>Overall Grade:</b>	
<b>Year Built:</b>			

### Owners

Brian Gaetano  
201 Sanger Ave  
New Hartford NY 13413



# Property Description Report For: 9 Garside Rd, Municipality of City of Saratoga Springs, Outside

No Photo Available

<b>Total Acreage/Size:</b>	0.22	<b>Status:</b>	Active
<b>Land Assessment:</b>	2015 - \$155,200	<b>Roll Section:</b>	Taxable
<b>Full Market Value:</b>	2015 - \$386,282	<b>Swis:</b>	411589
<b>Equalization Rate:</b>	----	<b>Tax Map ID #:</b>	180.17-1-21
<b>Deed Book:</b>	1585	<b>Property Class:</b>	260 - Seasonal res
<b>Grid East:</b>	697782	<b>Site:</b>	RES 1
		<b>In Ag. District:</b>	No
		<b>Site Property Class:</b>	260 - Seasonal res
		<b>Zoning Code:</b>	RR1
		<b>Neighborhood Code:</b>	15832
		<b>School District:</b>	Saratoga Springs
		<b>Total Assessment:</b>	2015 - \$301,300
		<b>Legal Property Desc:</b>	S-16 B-B L-5 Pte Lot 9
		<b>Deed Page:</b>	671
		<b>Grid North:</b>	1537545

## Area

<b>Living Area:</b>	1,590 sq. ft.	<b>First Story Area:</b>	1,060 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	530 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	1.5
<b>Finished Rec Room:</b>	0 sq. ft.		

## Structure

<b>Building Style:</b>	Old style	<b>Bathrooms (Full - Half):</b>	2 - 1
<b>Bedrooms:</b>	2	<b>Kitchens:</b>	1
<b>Fireplaces:</b>	0	<b>Basement Type:</b>	Full
<b>Porch Type:</b>	Porch-open/deck	<b>Porch Area:</b>	488.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	Good	<b>Overall Grade:</b>	Average
<b>Year Built:</b>	1925		

## Owners

Robert J Gulotty	Frances M McGee
9 Garside Rd	9 Garside Rd
Saratoga Springs NY 12866	Saratoga Springs NY 12866



## Property Description Report For: Garside Rd, Municipality of City of Saratoga Springs, Outside

*No Photo Available*

	<b>Status:</b>	Active
	<b>Roll Section:</b>	Taxable
	<b>Swis:</b>	411589
	<b>Tax Map ID #:</b>	180.17-1-31
	<b>Property Class:</b>	311 - Res vac land
	<b>Site:</b>	RES 1
	<b>In Ag. District:</b>	No
	<b>Site Property Class:</b>	311 - Res vac land
	<b>Zoning Code:</b>	RR1
	<b>Neighborhood Code:</b>	15832
	<b>School District:</b>	Saratoga Springs
	<b>Total Assessment:</b>	2015 - \$67,100
<b>Total Acreage/Size:</b>	0.14	
<b>Land Assessment:</b>	2015 - \$67,100	
<b>Full Market Value:</b>	2015 - \$86,026	
<b>Equalization Rate:</b>	----	
<b>Deed Book:</b>	2009	<b>Legal Property Desc:</b> Lot 24
<b>Grid East:</b>	697479	<b>Deed Page:</b> 29911
		<b>Grid North:</b> 1537106

### Area

<b>Living Area:</b>	0 sq. ft.	<b>First Story Area:</b>	0 sq. ft.
<b>Second Story Area:</b>	0 sq. ft.	<b>Half Story Area:</b>	0 sq. ft.
<b>Additional Story Area:</b>	0 sq. ft.	<b>3/4 Story Area:</b>	0 sq. ft.
<b>Finished Basement:</b>	0 sq. ft.	<b>Number of Stories:</b>	0
<b>Finished Rec Room</b>	0 sq. ft.		

### Structure

<b>Building Style:</b>	0	<b>Bathrooms (Full - Half):</b>	0 - 0
<b>Bedrooms:</b>	0	<b>Kitchens:</b>	0
<b>Fireplaces:</b>	0	<b>Basement Type:</b>	0
<b>Porch Type:</b>	0	<b>Porch Area:</b>	0.00
<b>Basement Garage Cap:</b>	0	<b>Attached Garage Cap:</b>	0.00 sq. ft.
<b>Overall Condition:</b>	0	<b>Overall Grade:</b>	
<b>Year Built:</b>			

### Owners

James M Demasi	Judith Dunn
27 Garside Rd	27 Garside Rd
Saratoga Springs NY 12866	Saratoga Springs NY 12866

N  
DEED TO PROPERTY

250331341

# This Indenture,

Made the first day of January two thousand and Six

Between

Robert L. Barter and Linda L. Barter, husband and wife, residing at 1 Garside Road Ext., Saratoga Springs New York 12866

, party of the first part, and

*R.R.H.*

Rex S. Ruthman and Elisabeth A. Ruthman, husband and wife, residing at 14 Aspen Heights, Slingerlands New York 12159

party of the second part.

WITNESSETH that the party of the first part in consideration of Ten and 00/100 (\$10.00) Dollars lawful money of the United States, and other good and valuable consideration paid by the parties of the second part, does hereby grant and release unto the parties of the second part, their heirs, successors and assigns forever

ALL THAT CERTAIN PIECE OR PARCEL OF LAND, situate in the City of Saratoga, County of Saratoga and State of New York, known as 3 Garside Road Extension, as more particularly described on Schedule "A" attached hereto and made a part hereof.

BEING the same premises as conveyed to Robert L. Barter and Linda Barter, husband and wife, by deed from Green Acres of Saratoga Lake, Inc., dated June 29, 2000, and recorded in the office of the Saratoga County Clerk on September 24 2001, in Book 01591 of Deeds at page 00709.

SUBJECT TO any and all enforceable covenants, conditions, easements and restrictions of record and affecting said premises, including specifically The By Laws of Green Acres Association of Saratoga Lake as filed in the office of the Saratoga County Clerk in Book 1375 of Deeds at Page 169, or as amended according to law and as provided therein.

TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises,

TO HAVE AND TO HOLD the premises herein granted unto the parties of the second part, their heirs, successors and assigns forever.

FILED 01/27/2006 2:10 PM  
Volume 01746 Page 00428  
D200604363  
Saratoga County Clerk



SCHEDULE "A" DESCRIPTION  
3 GARSIDE ROAD EXT. SARATOGA SPRINGS NEW YORK

All that tract, piece or parcel of land, situate lying and being in the City of Saratoga Springs, Saratoga County, New York, known as 3 Garside Road Extension, of Subdivision Plan, entitled "site improvements, Green Acres of Saratoga Lake, Inc. P.U.D." dated September 28, 1999, prepared by Michael S. McNamara, P.E. #71,029 and E. Daniel Fuller, P.L.S. #49,135 and filed in the Saratoga County Clerk's Office in Drawer "G" as Map No. 291 A&B.

Together with an undivided one-nineteenth tenancy in common interest as described in a Capital Certificate dated April 29, 2000 from Green Acres of Saratoga Lake Inc. to Robert L. Barter and Linda L. Barter. Said Capital Certificate attached to and runs with the above described property conveyed herein.

Kathleen A. Marchione  
County Clerk

Laura Sanders  
Deputy County Clerk

Lorey Wilkins  
Deputy County Clerk



## Saratoga County Clerk's Office

Saratoga County Municipal Center  
40 McMaster Street, Ballston Spa, N.Y. 12020  
Telephone (518) 885-2213 FAX (518) 884-4726

AFTER 5 DAYS RETURN TO

SARATOGA COUNTY CLERK'S OFFICE

40 McMASTER STREET  
BALLSTON SPA, NEW YORK 12020

Kathleen A. Marchione  
County Clerk



Congratulations on the acquisition of your new property!

Enclosed you will find your original deed that has been officially recorded in my office.

Through recording, your valuable document has been protected. Each deed has been indexed and scanned into our computer system. We also microfilm recorded documents. We keep a working copy of this microfilm here at the County Clerk's Office. The original microfilm is sent to a separate offsite storage facility. This facility provides secure, temperature controlled storage which safeguards our records should any catastrophe (such as fire, flood, etc.) occur. Should the need ever arise, certified copies of the original document could be produced quickly.

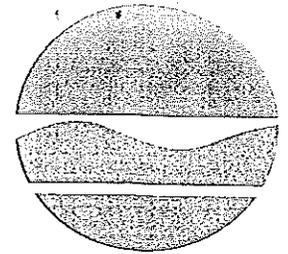
We want to assure you that your very important documents are well cared for. If I can be of further service, please do not hesitate to contact me.

Sincerely,

Kathleen A. Marchione  
Saratoga County Clerk

O  
CORRESPONDENCE - NEW YORK STATE  
DEPARTMENT ENVIRONMENTAL  
CONSERVATION DIVISION OF FISH, WILDLIFE &  
MARINE RESOURCES

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION  
Division of Fish, Wildlife & Marine Resources  
New York Natural Heritage Program  
625 Broadway, 5<sup>th</sup> Floor, Albany, New York 12233-4757  
Phone: (518) 402-8935 • Fax: (518) 402-8925  
Website: [www.dec.ny.gov](http://www.dec.ny.gov)



April 06, 2016

Richard Tice  
Brewer Engineering Associates, P.C.  
743 Columbia Turnpike  
East Greenbush, NY 12061

Re: Single family residence at 3 Garside Road Extension, Lot 3, Green Acres at Saratoga Lake  
Town/City: City Of Saratoga Springs. County: Saratoga.

Dear Richard Tice:

In response to your recent request, we have reviewed the New York Natural Heritage Program database with respect to the above project.

We have no records of rare or state-listed animals or plants, or significant natural communities at your site or in its immediate vicinity.

The absence of data does not necessarily mean that rare or state-listed species, significant natural communities, or other significant habitats do not exist on or adjacent to the proposed site. Rather, our files currently do not contain information that indicates their presence. For most sites, comprehensive field surveys have not been conducted. We cannot provide a definitive statement on the presence or absence of all rare or state-listed species or significant natural communities. Depending on the nature of the project and the conditions at the project site, further information from on-site surveys or other resources may be required to fully assess impacts on biological resources.

This response applies only to known occurrences of rare or state-listed animals and plants, significant natural communities, and other significant habitats maintained in the Natural Heritage Database. Your project may require additional review or permits; for information regarding other permits that may be required under state law for regulated areas or activities (e.g., regulated wetlands), please contact the NYS DEC Region 4 Office, Division of Environmental Permits, as listed at [www.dec.ny.gov/about/39381.html](http://www.dec.ny.gov/about/39381.html).

Sincerely,

A handwritten signature in black ink that reads "Nick Conrad".

Nicholas Conrad  
Information Resources Coordinator  
New York Natural Heritage Program

# BREWER ENGINEERING ASSOCIATES, P.C.

CONSULTING ENGINEERS - PLANNERS

743 COLUMBIA TURNPIKE - EAST GREENBUSH - NEW YORK 12061 - (518) - 477-5253 - 477-5273

March 11, 2016

New York State Department of Environmental Conservation  
Division of Fish, Wildlife & Marine Resources  
625 Broadway, 5th Floor  
Albany, New York 12233-4757

Attn: Ms. Jean Pietrusiak, Information Services

RE: PROPOSED RESIDENCE OF REX S. & ELISABETH A. RUTHMAN"  
3 GARSIDE ROAD EXTENSION  
LOT 3, "GREEN ACRES AT SARATOGA LAKE, PUD"  
CITY OF SARATOGA SPRINGS, NY

Dear Ms. Pietrusiak:

Our clients, Rex and Elisabeth Ruthman, intend to construct a single family residence on the property located at 3 Garside Road Extension, Lot 3, "Green Acres At Saratoga Lake, PUD". On their behalf we are requesting information on the presence of endangered or threatened species in the vicinity of our proposed project.

In 1999 to better control the future development of the site the Green Acres of Saratoga Lake, Inc., a PUD was created by the City of Saratoga Springs by an ordinance entitled - AN ORDINANCE PROVIDING FOR THE ESTABLISHMENT OF PLANNED UNIT DEVELOPMENT DISTRICT TO BE KNOWN AS "GREEN ACRES PLANNED UNIT DEVELOPMENT".

There is a statement in the Ordinance that the area had been developed over the past 30 years. Actually development of the area started in 1923 which would have been 67 years prior to the PUD in 1999.

The property was acquired in 1922 by Mary F. Green. Following acquisition of the property lots were created and leased to individuals on which the lessors would construct cottages. The cottages and any other structures that were constructed on the leased lots would be owned by the lessors. According to City tax data, the first cottage was constructed in 1923. That cottage is the structure presently located at 26 Garside Road. According to City tax data several cottages were constructed in 1925, of which eight still remain. Four additional residences were constructed between 1935 and 1978.

Since Green Acres PUD was approved in 1999, two structures that existed at the time of the PUD was approved; one at 21 Garside Road and the other at 17 Garside Road were removed and replaced with new residences constructed in 2002 and 2003, respectively. At the time of the approval of the PUD in 1999 Ruthman's, Lot 3 was

PROPOSED RESIDENCE OF REX S.  
& ELISABETH A. RUTHMAN"  
3 GARSIDE ROAD EXTENSION  
LOT 3, "GREEN ACRES AT SARATOGA LAKE, PUD"  
CITY OF SARATOGA SPRINGS, NY

MARCH 11, 2016  
PAGE 2

occupied by a 450 square foot cottage. This is indicated on the enclosed PUD map as well as on the site plan prepared by Richard H. Green, P.E., dated February 16, 2006.

In 1967 Frederick Kmen, George E. Barter and Donald Todd, as trustees for Green Acres Association acquired the property from Grace Green Graham, daughter of Mary Green. At that time, according to the "Declaration of Protective Covenants, Restrictions, Easements and Liens of Green Acres of Saratoga Lake, Inc., (A Homeowners' Association)," all property, (land), was conveyed to the Association by deed dated September 7, 1967 recorded in the office of the Saratoga County Clerk on September 15, 1967 in Liber 816 of Deeds at Page 85. Subsequently, as shown on a Subdivision Plan prepared in 1999 entitled "Green Acres of Saratoga Lake, Inc. PUD" and filed in the office of the Saratoga County Clerk in Drawer "G" as Map No. 291 A & B, the Lot appurtenant to each home, with two homes existing on lot identified as 21/21A Garside Road, was conveyed to the owner of such home and homes. "Green Acres of Saratoga Lake, Inc.," was filed with the State of New York on January 4, 1972.

Following the approval and filing of the PUD in the office of the Saratoga County Clerk the individual lots were "Quit Claim" deeded to each lessee.

To assist you in your review of our request we have included the items listed below:

VICINITY MAP:

SUBDIVISION MAP:

SITE PLAN:

COPY OF ORDINANCE:

AERIAL:

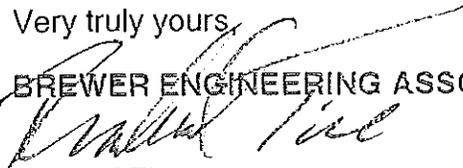
On an aerial photo flown in 2001 we have indicated the location of the Ruthman's property, the cottage that existed at that time and the proposed new structure.

SITE PHOTOS:

Site Photos taken in 2006 at the time the Ruthman's purchased the property and in 2015. At the time of the property was purchased there was an existing 450 sq. ft. cottage on the site and is shown in photo's taken at the time of purchase. The cottage was removed in 2007.

Thank you for your assistance in this matter.

Very truly yours,

  
BREWER ENGINEERING ASSOCIATES, P.C.

Richard Tice  
Project Administrator

Enclosures

P  
CORRESPONDENCE  
NEW YORK STATE  
OFFICE OF PARKS, RECREATION &  
HISTORIC PRESERVATION

# BREWER ENGINEERING ASSOCIATES, P.C.

CONSULTING ENGINEERS - PLANNERS

743 COLUMBIA TURNPIKE - EAST GREENBUSH - NEW YORK 12061 - (518) - 477-5253 - 477-5273

March 11, 2016

Ms. Ruth L. Pierpont  
Deputy Commissioner  
New York State Office of Parks, Recreation and Historic Preservation  
Peebles Island Resource Center  
PO Box 189  
Waterford, New York 12188-0189

RE: PROPOSED RESIDENCE OF REX S. & ELISABETH A. RUTHMAN"  
3 GARSIDE ROAD EXTENSION  
LOT 3, "GREEN ACRES AT SARATOGA LAKE, PUD"  
CITY OF SARATOGA SPRINGS, NY

Dear Ms. Pierpont:

Our clients, Rex and Elisabeth Ruthman, intend to construct a single family residence on the property located at 3 Garside Road Extension, Lot 3, "Green Acres At Saratoga Lake, PUD". On their behalf we are requesting information as to any impact the proposed project may have upon cultural resources in or eligible for inclusion in the State and National Register of Historic Places.

In 1999 to better control the future development of the site the Green Acres of Saratoga Lake, Inc., a PUD was created by the City of Saratoga Springs by an ordinance entitled - AN ORDINANCE PROVIDING FOR THE ESTABLISHMENT OF PLANNED UNIT DEVELOPMENT DISTRICT TO BE KNOWN AS "GREEN ACRES PLANNED UNIT DEVELOPMENT".

There is a statement in the Ordinance that the area had been developed over the past 30 years. Actually development of the area started in 1923 which would have been 67 years prior to the PUD in 1999.

The property was acquired in 1922 by Mary F. Green. Following acquisition of the property lots were created and leased to individuals on which the lessors would construct cottages. The cottages and any other structures that were constructed on the leased lots would be owned by the lessors. According to City tax data, the first cottage was constructed in 1923. That cottage is the structure presently located at 26 Garside Road. According to City tax data several cottages were constructed in 1925, of which eight still remain. Four additional residences were constructed between 1935 and 1978.

Since Green Acres PUD was approved in 1999, two structures that existed at the time of the PUD was approved; one at 21 Garside Road and the other at 17 Garside Road were removed and replaced with new residences constructed in 2002 and 2003, respectively. At the time of the approval of the PUD in 1999 Ruthman's, Lot 3 was

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occupied by a 450 square foot cottage. This is indicated on the enclosed PUD map as well as on the site plan prepared by Richard H. Green, P.E., dated February 16, 2006.

In 1967 Frederick Kmen, George E. Barter and Donald Todd, as trustees for Green Acres Association acquired the property from Grace Green Graham, daughter of Mary Green. At that time, according to the "Declaration of Protective Covenants, Restrictions, Easements and Liens of Green Acres of Saratoga Lake, Inc., (A Homeowners' Association)," all property, (land), was conveyed to the Association by deed dated September 7, 1967 recorded in the office of the Saratoga County Clerk on September 15, 1967 in Liber 816 of Deeds at Page 85. Subsequently, as shown on a Subdivision Plan prepared in 1999 entitled "Green Acres of Saratoga Lake, Inc. PUD" and filed in the office of the Saratoga County Clerk in Drawer "G" as Map No. 291 A & B, the Lot appurtenant to each home, with two homes existing on lot identified as 21/21A Garside Road, was conveyed to the owner of such home and homes. "Green Acres of Saratoga Lake, Inc.," was filed with the State of New York on January 4, 1972.

Following the approval and filing of the PUD in the office of the Saratoga County Clerk the individual lots were "Quit Claim" deeded to each lessee.

To assist you in your review of our request we have included the items listed below:

VICINITY MAP:

SUBDIVISION MAP:

SITE PLAN:

COPY OF ORDINANCE:

AERIAL:

On an aerial photo flown in 2001 we have indicated the location of the Ruthman's property, the cottage that existed at that time and the proposed new structure.

SITE PHOTOS:

Site Photos taken in 2006 at the time the Ruthman's purchased the property and in 2015. At the time of the property was purchased there was an existing 450 sq. ft. cottage on the site and is shown in photo's taken at the time of purchase. The cottage was removed in 2007.

Very truly yours,

BREWER ENGINEERING ASSOCIATES, P.C.



Richard Tice  
Project Administrator

Enclosures: