

# SARATOGA RITE AID SITE PLAN

NATIONAL RETAIL PROPERTIES, INC.

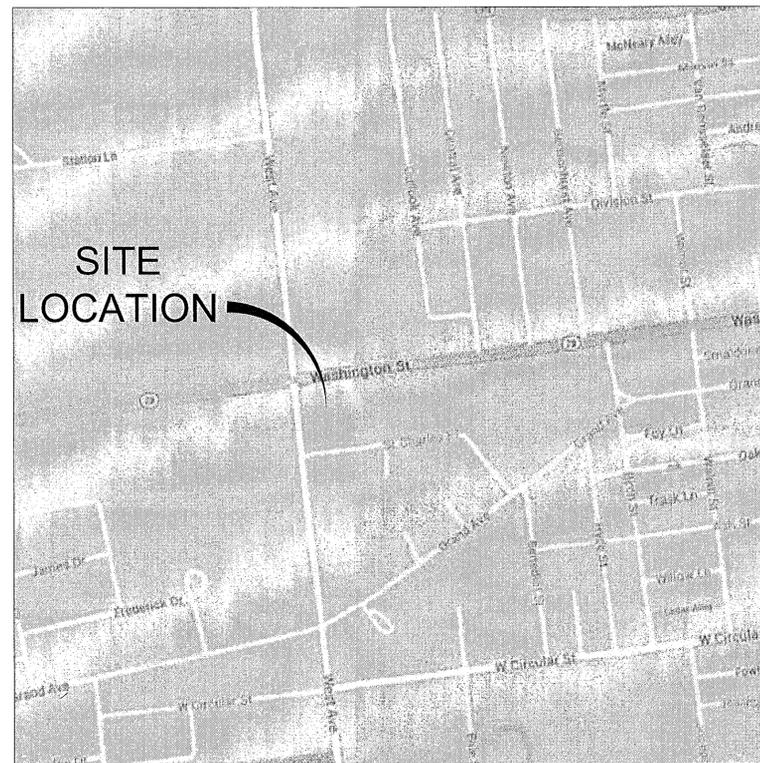
90 WEST AVENUE/242 WASHINGTON STREET

SARATOGA SPRINGS, NY

JULY 28, 2016

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VICINITY MAP

ZONING ANALYSIS TABLE			
ZONING DISTRICT	T-5 TRANSECT ZONE 5 - NEIGHBORHOOD CENTER * USE PERMITTED WITH SPECIAL USE PERMIT AND SITE PLAN APPROVAL		
ZONE CRITERIA	REQUIRED	PROPOSED	VARIANCE
MINIMUM LOT AREA	N/A	72,748 SF / 1.68 ACRES	NO
MINIMUM LOT WIDTH	18' TO 144'	200'	NO
MAX. BUILDING COVERAGE	N/A	20% +/-	NO
BUILD TO LINE WEST AVENUE	0' TO 12'	32.8'	YES; DATE: 2/3/2015
MIN. SIDE SETBACK (WASHINGTON ST)	0' MINIMUM	17.6'	NO
MAX. BUILDING HEIGHT	2 STORY MINIMUM ** 50' MAXIMUM	2 STORY	NO
MIN. BUILD-OUT ALONG LOT FRONTAGE (WEST AVENUE)	70% MINIMUM	52.20%	YES; DATE: 2/3/2015
GREEN SPACE	10%	33%	NO
PARKING SPACES	9'x18'	9'x18'	NO
PARKING CRITERIA (****)	REQUIRED: RETAIL - 1 PER 300 SF OF SALES FLOOR AREA, PLUS 1 PER TWO EMPLOYEES (***) 12,787 SF OF SALES AREA = 42.6 PLUS 4 (8 EMPLOYEE) = 46.6. MAX ALLOWED BY CODE 46.6 PLUS 20% = 55.9 PROPOSED: 54 PROPOSED (7 SPACES BANKED PER PLANNING BOARD 4/14/16)		

- \* DISTRICT PURPOSE IS TO ACCOMMODATE A WIDE VARIETY OF RESIDENTIAL AND NON RESIDENTIAL USES, BUILDING AND FRONTAGE TYPES. THIS DISTRICT ALSO FOCUSES ON PROVIDING QUALITY STREETSCAPE AMENITIES AND CIVIC SPACES TO ENHANCE PEDESTRIAN ACTIVITY.
- \*\* THE CUMULATIVE AREA OF ALL NEW AND EXISTING ONE-STORY STRUCTURE(S) ON ANY ONE LOT SHALL NOT EXCEED 3,000 SQUARE FEET.
- \*\*\* MAX PARKING ALLOWED - NO USE MAY PROVIDE PARKING GREATER THAN 20% OF THE AMOUNT SPECIFIED PER CODE, UNLESS A WAIVER IS GRANTED BY THE PLANNING BOARD.
- \*\*\*\* AT LEAST 10% OF ANY PARKING LOT CONTAINING 15 PARKING SPACES SHALL CONSIST OF LANDSCAPED GREEN SPACE TO MINIMIZE IMPACT OF EXTENSIVE IMPERMEABLE AREAS.  
 PARKING AREA = 21,360± SF  
 10% OF 21,360 SF = 2,136± SF  
 2,136 SF IS REQUIRED TO LANDSCAPED, 2,637± SF IS PROPOSED WHICH EXCEEDS THE 10% REQUIRED. REFER TO SHEET C-10 FOR AREAS A,B,C,D&E.



PB # 14.057

APPROVED BY THE SARATOGA SPRINGS PLANNING BOARD UNDER AUTHORITY OF A RESOLUTION  
 ADOPTED 4/14/16  
 CHAIRPERSON Mad R. Torff DATE 8/12/16

File Name: F:\mjs4954\_1C\_Title\_Sheet.dwg (Layout: C-1)  
Date: Wed, Jul 27, 2016 - 5:21 PM (Name: tschneidgost)

SUBMITTAL / REVISIONS					
No.	DATE	DESCRIPTION	BY	REVIEWED BY:	DATE
1		SARATOGA SPRINGS PLANNING BOARD		JWE	2/17/15
2	12/23/15	SUBMISSION TO PLANNER	AML	JWE	1/23/15
3	2/3/16	REVISION TO ARCHITECTURE, LAYOUT AND GRADING	AML	JWE	2/3/16
4	2/8/16	REVISIONS	AML	JWE	2/8/16
5	4/22/16	PLANNING BOARD COMMENTS	APY	JWE	4/22/16
6	7/28/16	FINAL SUBMISSION	APY	JWE	7/27/16



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**Engineering and  
Land Surveying, P.C.**  
1533 Crescent Road - Clifton Park, NY 12065

NATIONAL RETAIL PROPERTIES  
**TITLE SHEET**  
**SARATOGA RITE AID SITE PLAN**  
 90 WEST AVENUE  
 CITY OF SARATOGA SARATOGA COUNTY, NY

SCALE: 1" = 20'  
 CONTRACT No.: -  
 MJ PROJ. No.: 954.01  
 DATE: 7/28/2016

**C-1**



**CITY OF SARATOGA SPRINGS**  
**ZONING BOARD OF APPEALS**  
 CITY HALL - 474 BROADWAY  
 SARATOGA SPRINGS, NEW YORK 12866  
 PH) 518-587-3550 FX) 518-580-9480  
 WWW.SARATOGA-SPRINGS.ORG

Bill Moore, Chair  
 Keith B. Kaplan, Vice Chair  
 Adam McNeill, Secretary  
 Greg Hasbrouck  
 George "Skip" Carlson  
 James Helicke  
 Susan Steer

**IN THE MATTER OF THE APPEAL OF #2785**

Rite Aid Development  
 90 West Ave. & 242 Washington Street  
 Saratoga Springs, NY 12866

from the determination of the Building Inspector involving the premises at 90 West Avenue and 242 Washington Street, in the City of Saratoga Springs, New York being tax parcel number 165.14 Block 2 Lots 2.2 & 2.1, inside district, on the Assessment Map of said City.

The appellant having applied for an area variance under the Zoning Ordinance of said City, to permit the redevelopment and expansion of the pharmacy in a Transit-5 District and public notice has been duly given of a hearing on said application held on January 12<sup>th</sup> & 26<sup>th</sup>, 2015.

In consideration of the balance between benefit to the applicant with detriment to the health, safety and welfare of the community, I move that the following area variances for the following amounts of relief:

	Required:	Proposed:	Total relief requested:
Build-to-line: West Avenue	0-12'	32'	29.83' (173.89%)
Frontage build-out: West Ave.	70%	52.23%	17.77% (25.39%)
Minimum two-story:	Two-story	One-story	One-story (approx. 14,000 sq. ft.) in excess of 1,500 sq. ft.

As per the submitted plans or lesser dimensions be approved for the following reasons:

- The applicant has demonstrated that this benefit cannot be achieved by other means feasible. The applicant notes they considered alternative designs for this project, most notably one which considered an ordinance compliant building layout with 70% frontage on West Avenue. This model however, eliminated delivery truck access, reduced the number of parking spaces, and positioned the drive through access immediately adjacent to the neighboring southern property whereby creating possible cueing issues that would likely overflow onto West Avenue.
- The applicant has demonstrated that granting this variance will not create an undesirable change in neighborhood character or detriment to nearby properties. The existing Rite Aid has been on the southeastern corner of the west Avenue/Washington Street intersection for over twenty years. Rite Aid shares this intersection with a Stewart's Shop, D'Andrea's Liquor Store, and Mobil convenient store equipped with a Dunkin Donuts and Subway Restaurant. The project is consistent with the intent of the Ordinance and the uses in the area.
- The relief requested can be considered substantial, however the effects of approval are mitigated by a number of factors. As noted in the Ordinance, the Transit-5 Neighborhood Centers are intended to accommodate a variety and mixture of residential and non-residential uses, building types, and lot sizes. The minimum frontage build-out variance request is mitigated by the further frontage on Washington Street. Taken together,

this frontage will adequately support pedestrian-friendly streets. Although the request for the build-to distance variance is substantial, the impetus of the variance was a desire to mitigate potential right of way concerns and enhance the pedestrian realm. The minimum two-story requirement variance is mitigated by the fact that the proposed structure will have an appearance of a second story.

- The construction will not have a significant adverse physical or environmental effect on the neighborhood or district. The existing use for the parcel is a Rite Aid pharmacy. The demolition of the Touchfree Car Wash will alleviate physical and environmental impacts on the neighborhood and district in that it will reduce noise pollution as well as traffic.
- The request for relief may be considered a self-created hardship, however self-creation is not necessarily fatal to the application.

It is so moved, January 26, 2015

Adopted by the following vote:

AYES: 5 (B. Moore, K. Kaplan, A. McNeill G. Hasbrouck S. Carlson)

NAYES: 1 (J. Helicke)

ABSTAIN: 1 (S. Steer)

Dated: January 26, 2015

This variance shall expire 18 months following the filing date of such decision unless the necessary building permit has been issued and actual construction begun as per 240-8.5.1.

2/3/15  
 Date  
 Chair

I hereby certify the above to be a full, true and correct copy of a resolution duly adopted by the Zoning Board of Appeals of the City of Saratoga Springs on the date above mentioned, in the presence of members of the Board being present.



**CITY OF SARATOGA SPRINGS**  
**PLANNING BOARD**  
 City Hall - 474 Broadway  
 Saratoga Springs, New York 12866  
 Tel: 518-587-3550 fax: 518-580-9480  
 www.saratoga-springs.org

MARK TORPEY, Chair  
 ROBERT F. BRISTOL, Vice-Chair  
 CLIFFORD VAN WAGNER  
 TOH-L LEWIS  
 DAN GABA  
 HOWARD PINLEY  
 JANET CASEY

**NOTICE OF DECISION**

In the matter of the special use permit application # 14,057 of

Rite Aid  
 90 West Avenue/242 Washington Avenue  
 Saratoga Springs, NY 12866

Involving the premises with tax parcel # 165.14-2.2.2, and 165.14-2.1. In the City of Saratoga Springs, on an application for a permanent special use permit for a retail and drive in facility uses in a Transit-5 Neighborhood Center District with the Planning Board who met on March 25, 2015 and made the following decision(s) with a 6-0 vote (in favor: Torpey, Van Wagner, Lewis, Gaba, Pinley, Casey; Absent: Bristol):

- Following evaluation of the identified six standards for the issuance of special use permits as set forth in Article 240-6.4 of the City of Saratoga Springs Zoning Ordinance, moved to approve the permanent special use permit with the following condition:

Unless otherwise extended by the Planning Board, this approval shall expire if the applicant fails to comply with any required conditions and start actual construction, or otherwise implement this approval within 18 months from this date.

March 26, 2015  
 Date

cc: Steve Shaw, Bldg Inspector  
 Tim Wales, City Engineer  
 File  
 Accounts Dept.  
 Matt Jones

Chair



**2 NOTICE OF DECISION FOR SPECIAL USE PERMIT**  
 SCALE: N.T.S.

**SEQRA:**

- A SEQRA NEGATIVE DECLARATION WAS ISSUED BY THE PLANNING BOARD ON: OCTOBER 8, 2014

**1 AREA VARIANCE RESOLUTION**  
 SCALE: N.T.S.



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MARK TORPEY, Chair  
 ROBERT F. BRISTOL, Vice Chair  
 TOH-L LEWIS  
 CLIFFORD VAN WAGNER  
 HOWARD PINLEY  
 JANET CASEY  
 JAMIE TOTINO  
 ANNE GURLAND, Absentee  
 RUTH HORTON, Absentee

**NOTICE OF DECISION**  
 In the matter of the application #14,057 of

Rite Aid  
 90 West Avenue and 242 Washington Street  
 Saratoga Springs, NY 12866

Involving the premises at 90 West Avenue and 242 Washington Street, Tax Parcel IDs# 165.14-2.2.2, and 165.14-2.1 in the City of Saratoga Springs, in the Transit-5 (1-5) Neighborhood Center District with site plan review of 14,368 of retail space with drive thru facility with the Planning Board who met on April 14, 2016 and made the following decision(s) with a 6-1 vote: (In favor: Bristol, Lewis, Van Wagner, Pinley, Casey, Totino; Opposed: Torpey):

- Approved site plan as last revised April 7, 2016 per the requirements set forth in Article 7.2 - Site Plan approval of the City of Saratoga Springs Zoning Ordinance with the following conditions:

- Illustration of revised, up to date proposed elements of the Washington Street building and streetscape frontage shall be provided as additional information to the Planning Board.
- Lot line adjustment inferred through site plan review shall be approved by Planning Board Chair, and plat filed at Saratoga County prior to signature of the final site plan.
- A total of 7 parking spaces shall be banked along the easterly boundary line as reflected on the site plan. The applicant shall have the right to seek administrative approval to pave and stripe these spaces by demonstrating the need for additional spaces in a report certified by the Applicant's Engineer, and reviewed by the Office of the City Engineer and Department of Public Safety. The report of Applicant's engineers shall quantify the parking demand over a continuous period of not less than 60 days. The Applicant shall coordinate with the Office of the City Engineer and the Department of Public Safety to determine an appropriate methodology for assessing parking demand

before conducting the analysis. If it is determined that the additional parking is needed, then the Applicant will use porous materials for paving these 7 spaces if the soil/geologic conditions are suitable for this type of design.

- Temporary pharmacy shall be permitted to exist for a total of 11 months and 29 days from issuance of the project's building permit.
- Final civic space details including seating areas, and proposed public art shall be approved by the Planning Board Chair prior to signature of the final plan.

The applicant is required to:

- Deliver a letter of credit or cash escrow in the amount approved by the City Engineer to the City per Article 7.2.15 of the City of Saratoga Springs Zoning Ordinance. This must occur prior to final signature by the Planning Board Chair.
- Submit one (1) mylar and two (2) paper copies of the final approved site plans for signature by the Planning Board Chair within **eighteen (18) months of approval** as per Article 7.2.12 of the Zoning Ordinance.

This approval shall expire within eighteen (18) months of the signature of final plans if the applicant has not started actual construction as per Article 7.2.14 of the Zoning Ordinance.

May 25, 2016  
 Date

cc: Tim Wales; Steve Shaw; Public Safety; Accounts Dept.; Jackie Hakes, MJ Engineering; Matt Jones; File

Chair



**3 NOTICE OF DECISION FOR SITE PLAN**  
 SCALE: N.T.S.

No.	DATE	DESCRIPTION	BY	REVIEWED BY:	DATE	PROJ. MANAGER:
1		SARATOGA SPRINGS PLANNING BOARD		JWE	2/17/15	JSH
2	12/23/15	SUBMISSION TO PLANNER	AML	JWE	1/23/15	JWE
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**APPROVALS**  
**SARATOGA RITE AID SITE PLAN**  
 90 WEST AVENUE  
 CITY OF SARATOGA SARATOGA COUNTY, NY

SCALE: 1" = 20'  
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**C-2**

PB # 14.057

APPROVED BY THE SARATOGA SPRINGS PLANNING BOARD UNDER AUTHORITY OF A RESOLUTION

ADOPTED 4/14/16

CHAIRPERSON Mark R. Torpey DATE 8/12/16

**GENERAL NOTES:**

- NORTH IS ORIENTED TO DEED REFERENCE 1
- VERTICAL DATUM IS NAVD 1929 ESTABLISHED BY GPS OBSERVATIONS AT THE TIME OF SURVEY
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.
- SURVEYED FROM RECORD DESCRIPTION AND AS IN POSSESSION.
- SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.
- SURVEY SUBJECT TO ANY RIGHT, TITLE OR INTEREST THE PUBLIC MAY HAVE FOR HIGHWAY USE.
- SURVEY SHOWN IS SUBJECT TO ANY SUBSURFACE CONDITIONS THAT MAY EXIST, IF ANY.
- UNDERGROUND FACILITIES AND STRUCTURES SHOWN HEREON WERE TAKEN FROM DATA OBTAINED FROM PREVIOUS MAPS AND RECORD DRAWINGS. ALL ABOVE GROUND STRUCTURES AND SURFACE FEATURES SHOWN HEREON ARE THE RESULT OF A FIELD SURVEY UNLESS OTHERWISE NOTED. THERE MAY BE OTHER UNDERGROUND UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN OR CERTIFIED BY THE UNDERSIGNED. THE SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES MUST BE VERIFIED BY THE APPROPRIATE AUTHORITIES. THE UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION MUST BE NOTIFIED PRIOR TO CONDUCTING TEST BORINGS, EXCAVATION AND CONSTRUCTION.
- PER ZONING BOARD APPEAL #2786 OF JANUARY 12TH AND 26TH 2015
- BUILD-TOE LINE ON WEST AVENUE HAS BEEN RELIEVED TO 32'10" FROM D-10'
- FRONTAGE BUILD-OUT ON WEST AVENUE HAS BEEN RELIEVED TO 52.23% FROM 70%
- MINIMUM TWO STORY REQUIREMENT HAS BEEN RELIEVED TO ONE-STORY

**LAYOUT NOTES:**

- ALL LINES AND ELEVATIONS SHOWN ON THE DRAWINGS SHALL BE LAID OUT BY A NYS REGISTERED SURVEYOR ENGAGED BY THE CONTRACTOR. ALL STAKED LAYOUTS OF PAVEMENTS AND SITE IMPROVEMENTS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF FOUNDATION WALL, OR FACE OF RETAINING WALL UNLESS OTHERWISE NOTED.
- STORAGE AREAS FOR CONTRACTORS EQUIPMENT AND MATERIALS SHALL BE WITHIN THE LIMITS OF THE PROPERTY PROPOSED FOR DEVELOPMENT ONLY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FIELD LAYOUT. THE CONTRACTOR SHALL TAKE CARE TO ALL UTILITY CONNECTIONS AND PROVIDE MARKED-UP AS-BUILT PLANS FOR ALL UTILITIES SHOWING TIES TO CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES AND INVERTS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER AND HIS REPRESENTATIVES, AND THE CONTRACTOR SHALL MAKE ANY CORRECTIONS OR OMISSIONS TO THE SATISFACTION OF THE DIRECTOR AND HIS REPRESENTATIVES BEFORE UTILITIES WILL BE ACCEPTED.

**CITY OF SARATOGA SPRINGS PLAN NOTES:**

- ALL WORK MUST CONFORM TO ALL FEDERAL, STATE AND CITY CODES, SPECIFICATIONS, ORDINANCES, RULES AND REGULATIONS.
- THE ELEVATION BASE FOR CONTOURS AND BENCHMARKS ARE TO BE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM, 1928.
- ALL REFUSE, DEBRIS AND MISCELLANEOUS ITEMS TO BE REMOVED SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE CONTRACTOR TO A LOCATION APPROVED BY THE CITY ENGINEER.
- THE CONTRACTOR MUST SET UP A PRE-CONSTRUCTION MEETING WITH THE CITY ENGINEER PRIOR TO ANY CONSTRUCTION. CONSTRUCTION INSPECTIONS BY A DESIGNATED REPRESENTATIVE OF THE APPLICANT IS REQUIRED. THE COST OF THE CONSTRUCTION INSPECTIONS IS THE RESPONSIBILITY OF THE APPLICANT/DEVELOPER.
- CONTACT THE BUILDING INSPECTOR FOR A BLASTING PERMIT, IF BLASTING IS REQUIRED.
- THE CONTRACTOR MUST OBTAIN A STREET OPENING PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS FOR ANY WORK WITHIN THE STREET OR RIGHT OF WAY OF ANY CITY STREET, ROAD OR ALLEY.
- ALL POINTS OF CONSTRUCTION INGRESS OR EGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT OR DEBRIS ONTO A PUBLIC RIGHT OF WAY.
- NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS; AND AN "AS-BUILT" DRAWING HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY ENGINEER.

**EROSION AND SEDIMENT CONTROL MEASURES:**

- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH THE "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL," CURRENT EDITION.
- THE LIMITS OF DISTURBANCE FOR ANY PROPOSED SITE CLEARING OR GRADING SHALL BE ESTABLISHED PRIOR TO COMMENCEMENT OF WORK.
- ESTABLISH THE LOCATION OF PROPOSED EROSION AND SEDIMENT CONTROL MEASURES (STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, TOPSOIL STOCKPILE AREA, ETC.). CLEAR SAID LOCATION FOR INSTALLATION.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- INSTALL SEDIMENT BARRIERS AND TRAPS (SILT FENCE, BASIN TRAPS, OUTLET PROTECTION, ETC.). INSTALL ADDITIONAL TRAPS AND BARRIERS AS NEEDED DURING GRADING OPERATIONS.
- INSTALL RUNOFF CONTROL MEASURES (OVERSPANS, OUTLET PROTECTION, ETC.) AND ADDITIONAL RUNOFF CONTROL MEASURES AS NEEDED DURING GRADING.
- CLEAR AND GRADE THE PROPOSED AREA OF DISTURBANCE.
- APPLY SURFACE STABILIZATION MEASURES. AREAS UNDERGOING CLEARING OR GRADING, AND WHERE WORK IS DELAYED OR COMPLETED AND WILL NOT BE REDISTURBED FOR TWENTY (21) DAYS OR MORE, SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT VEGETATIVE COVER WITHIN SEVEN (7) DAYS. IN SPRING, SUMMER OR EARLY FALL APPLY RYE GRASS AT A RATE OF 1 LB/1000 SF IN LATE FALL OR EARLY SPRING, APPLY CERTIFIED ARKOSTOOK RYE AT A RATE OF 2.5 LBS/1000 SF OR WOOD FIBER HYDROMULCH AT THE MANUFACTURER'S RECOMMENDED RATE. HAY OR STRAW SHOULD BE ANCHORED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY PERIODICALLY SPRINKLING EXPOSED SOIL AREAS WITH WATER AS REQUIRED. THE CONTRACTOR SHALL SUPPLY ALL EQUIPMENT AND WATER NECESSARY TO PERFORM THIS WORK.
- WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.
- THE EROSION CONTROL MEASURES DEPICTED ON THESE PLANS ARE THE MINIMUM REQUIRED. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING ALL GENERAL AND PARTICULAR MEASURES DEEMED NECESSARY BY THE OWNER'S FIELD REPRESENTATIVES.
- DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
- SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.
- PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE

AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY AND EXIT TO AND FROM THE PROJECT SITE.

- CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE CROSSING FACILITIES AND SHALL NOT OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.

**CONSTRUCTION ENTRANCE NOTES:**

- STABILIZED CONSTRUCTION ENTRANCES UTILIZED DURING CONSTRUCTION SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE CLEANED AND REMOVED IMMEDIATELY.
- WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE THAT DRAINS INTO AN APPROVED SEDIMENT-TRAPPING DEVICE.

**MATERIAL STOCKPILE NOTES:**

- EXISTING EXCESS TOPSOIL SHALL BE REMOVED AND STORED IN STOCKPILES. THE STOCKPILES SHALL BE SUFFICIENTLY REMOVED FROM ALL OTHER EXCAVATION AND/OR DISTURBANCE AREAS TO AVOID MIXING. SILT FENCE IS TO BE INSTALLED AROUND TOPSOIL STOCKPILE AREAS.
- EXCESS SOIL TO BE STOCKPILED WITHIN THE LIMITS OF SITE DISTURBANCE (IF IT IS NOT USED IMMEDIATELY FOR GRADING PURPOSES AND IF IT IS EXPECTED TO REMAIN EXPOSED FOR PERIODS LESS THAN THIRTY (30) DAYS) SHALL HAVE HAY BALE BERM OR SILT FENCES CONSTRUCTED AROUND ALL STOCKPILES OF FILL, TOPSOIL AND EXCAVATED OVERBURDEN. HAY BALE BERMS AND SILT FENCES SHALL BE ANCHORED AND MAINTAINED IN GOOD CONDITION UNTIL SUCH TIME AS SAID STOCKPILES ARE REMOVED AND STOCKPILING AREAS ARE BROUGHT TO FINAL GRADE AND PERMANENTLY STABILIZED.
- IN NO CASE SHALL ERODIBLE MATERIALS BE STOCKPILED WITHIN 25'-0" OF ANY DITCH, STREAM OR OTHER SURFACE WATER BODY.

**TOPSOIL MATERIALS:**

- TOPSOIL FURNISHED FROM AN OFF-SITE SOURCE SHALL BE BETTER THAN OR EQUAL TO THE QUALITY OF THE EXISTING SITE TOPSOIL. TOPSOIL MATERIALS SHALL MEET THE FOLLOWING CRITERIA:
  - ORIGINAL LOAM TOPSOIL, WELL DRAINED HOMOGENEOUS TEXTURE AND OF UNIFORM GRADE, WITHOUT THE ADMIXTURE OF SUBSOIL MATERIAL AND ENTIRELY FREE OF DENSE MATERIAL, HARDPAN, SOD OR ANY OTHER OBJECTIONABLE FOREIGN MATERIAL.
  - TOPSOIL MATERIALS SHALL HAVE AT LEAST 4% BY WEIGHT AND NO GREATER THAN 20% OF ORGANIC MATTER IN THAT PORTION OF A SAMPLE PASSING A 1/4" SIEVE WHEN DETERMINED BY THE WET COMBUSTION METHOD ON A SAMPLE DRIED AT 105°C.
  - TOPSOIL MUST EXHIBIT A PH VALUE WITHIN THE RANGE OF 4.5 TO 7.0 ON THAT PORTION OF THE SAMPLE THAT PASSES A 1/4" SIEVE.
  - TOPSOIL MUST CONTAIN THE FOLLOWING GRADATIONS:
    - 100% PASSING A 1" SIEVE
    - 97-100% PASSING A 1/4" SIEVE
    - 20-65% (OF THE 1/4" SIEVE) PASSING THE NO. 200 SIEVE
- ROUGH GRADING AND/OR FINAL GRADE PREPARATION FOR TOPSOIL PLACEMENT SHALL ALLOW FOR THE DEPTH OF TOPSOIL TO BE ADDED.
- TOPSOIL SHALL BE DISTURBED TO A UNIFORM DEPTH OVER THE APPLICATION AREA. IT SHALL NOT BE PLACED WHEN IT IS PARTLY FROZEN, MUDDY, OR FROZEN SLOPES OR OVER ICE, SNOW OR STANDING WATER.
- TOPSOIL PLACED AND GRADED ON SLOPES STEEPER THAN 5% SHALL BE PROMPTLY FERTILIZED, SEEDED, MULCHED AND STABILIZED BY "TRACKING" WITH SUITABLE EQUIPMENT.
- PRIOR TO TOPSOIL PLACEMENT, REMOVE REFUSE, WOODY PLANT PARTS, STONES OVER 3" IN DIAMETER AND OTHER LITTER.
- SCARIFY ALL COMPACT, SLOWLY PERMEABLE, MEDIUM AND FINE-TEXTURED SUBSOIL AREAS TO A DEPTH OF 3". SCARIFY AT APPROXIMATELY RIGHT ANGLES TO THE SLOPE DIRECTION IN SOIL AREAS THAT ARE STEEPER THAN 5%.
- TOPSOIL SHALL BE PLACED AT A MINIMUM THICKNESS OF 4".

**REMOVAL NOTES:**

- THE CONTRACTOR SHALL COORDINATE HIS EFFORTS OF DEMOLITION, REMOVALS, RELOCATIONS AND PROPOSED WORK, WITH ALL TRADES, AS APPLICABLE. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR UTILITY AND OTHER COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- SAW-CUT EXISTING PAVEMENT (CONCRETE OR ASPHALT) AS REQUIRED TO FORM A CLEAN STRAIGHT EDGE PRIOR TO REMOVAL. SAW-CUT EXISTING CURBS AND SIDEWALKS AT DESIGNATED REMOVAL POINTS OR TO NEAREST JOINT BEYOND REMOVAL POINT. NO PARTIAL SIDEWALK PANELS TO REMAIN.
- ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH TO INCLUDE BASE MATERIAL AND FOOTINGS AND FOUNDATIONS AS APPLICABLE.
- ALL UNDERGROUND UTILITY STRUCTURES ARE TO BE REMOVED AT A MINIMUM OF 18" BELOW FINISH GRADE. THE REMAINING PART OF STRUCTURES MAY BE REMOVED, BROKEN, OR FILLED WITH STRUCTURAL BACKFILL PER CITY OF SARATOGA SPECIFICATIONS.
- BUILDING DEPTH REMOVAL IS TO BE COORDINATED WITH ALL TRADE DRAWINGS (STRUCTURAL, ARCHITECTURAL, MECHANICAL, ETC.). CONSULT ALL DRAWINGS. MUST REMOVE BUILDING FOUNDATIONS TO A MINIMUM OF 18" BELOW FINISH GRADE.
- ALL STRUCTURES TO BE REMOVED SHALL BE REMOVED AND DISPOSED OF AT THE CONTRACTOR'S EXPENSE. EXCAVATING SHALL BE BACKFILLED IN ACCORDANCE WITH CITY OF SARATOGA SPECIFICATIONS.
- ALL ITEMS MARKED FOR REMOVAL AND INCIDENTAL REMOVALS NECESSARY FOR PROPOSED CONSTRUCTION SHALL BE DISPOSED OF OFF-SITE AT THE CONTRACTOR'S EXPENSE, INCLUDING ALL CONSTRUCTION DEBRIS.
- THE CONTRACTOR SHALL RESTORE AREA TO ORIGINAL OR BETTER CONDITION UPON SUBSTANTIAL COMPLETION OF WORK.
- ALL CLEARING AND GRUBBING OF AREAS SHALL BE COORDINATED ACCORDINGLY WITH PROPOSED WORK.
- TREE AND SHRUB REMOVAL SHALL INCLUDE REMOVAL OF THE ENTIRE STUMP AND ROOT SYSTEM.
- DEMOLITION OPERATIONS FOR EXISTING PROPERTIES SHALL INCLUDE REMOVAL OF ALL EXISTING STRUCTURES AND ALL INCIDENTAL REMOVALS REQUIRED FOR CONSTRUCTION RELATED TO THE NEW FACILITY. ALL UTILITY REMOVALS SHALL BE COORDINATED AND CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THOSE AGENCIES GOVERNING EACH APPLICABLE UTILITY.
- ALL TREE REMOVALS SHALL BE COORDINATED WITH OWNER'S REPRESENTATIVE. TREES TO BE REMOVED SHALL BE FLAGGED WITH RIBBON BEFORE REMOVAL OPERATION HAS COMMENCED. DO NOT REMOVE TREES WITHOUT PRIOR CONSENT.
- ALL EXISTING SIGNAGE WITHIN THE PROJECT'S LIMITS SHALL BE VERIFIED AND INVENTORIED BEFORE REMOVAL. EXISTING SIGNAGE NOT CALLED OUT FOR REMOVAL OR RELOCATION THAT MAY BE IMPACTED DURING CONSTRUCTION SHALL BE COORDINATED WITH OWNER'S REPRESENTATIVE.

**GENERAL CONSTRUCTION NOTES:**

- THE PLANS SHOW SUBSURFACE STRUCTURES, ABOVE-GROUND STRUCTURES AND/OR UTILITIES FROM FIELD LOCATION AND RECORD MAPPING. THE CONTRACTOR SHALL TAKE NOTE THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES MAY BE DIFFERENT FROM THAT SHOWN OR NOT SHOWN AND IT SHALL BE HIS RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. PRIOR TO ANY EXCAVATION, DRILLING OR BLASTING THE CONTRACTOR SHALL CALL 1-888-DIGSAFE.
- THE CONTRACTOR SHALL PROTECT ANY EXISTING PROPERTY LINE MONUMENTATION. ANY MONUMENTATION DISTURBED OR DESTROYED, AS JUDGED BY THE ENGINEER OR OWNER'S REPRESENTATIVE, SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE AND UNDER THE SUPERVISION OF A NEW YORK STATE LICENSED LAND SURVEYOR.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL FIELD LAYOUT. THE CONTRACTOR SHALL TAKE TIES TO ALL UTILITY CONNECTIONS AND PROVIDE MARKED UP AS-BUILT PLANS FOR ALL UTILITIES SHOWING TIES TO CONNECTIONS, BENDS, VALVES, LENGTHS OF LINES AND INVERTS. AS-BUILT PLANS SHALL BE REVIEWED BY THE OWNER'S REPRESENTATIVE AND THE ENGINEER AND THE CONTRACTOR SHALL PROVIDE ANY CORRECTION OR OMISSIONS TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AND THE ENGINEER BEFORE UTILITIES WILL BE ACCEPTED.

- THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THOSE SHOWN ON THE PLANS. THE CONTRACTOR'S WORK SHALL NOT VARY FROM THE PLANS WITHOUT PRIOR REVIEW AND APPROVAL BY THE ENGINEER.

- THE ENGINEER RESERVES THE RIGHT TO EXAMINE ANY WORK DONE ON THIS PROJECT AT ANY TIME TO DETERMINE THE CONFORMANCE OF THE WORK WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS OF THIS PROJECT AS INTENDED AND INTERPRETED BY THE ENGINEER.

- THE CONTRACTOR SHALL VERIFY ALL UTILITY SERVICES PRIOR TO INTERRUPTION AS APPLICABLE. ALL UTILITY WORK INVOLVING CONNECTIONS TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE UTILITY OWNER. NOTIFY THE OWNER'S REPRESENTATIVE AT LEAST 72 HOURS BEFORE EACH CONNECTION TO EXISTING SYSTEMS IS MADE.

- THE CONTRACTOR SHALL RESTORE LAWNS, DRIVEWAYS, CULVERTS, SIGNS AND OTHER PUBLIC OR PRIVATE PROPERTY DAMAGED OR REMOVED TO AT LEAST AS GOOD A CONDITION AS BEFORE BEING DISTURBED, AS DETERMINED BY THE ENGINEER. REPLACEMENT WILL BE AT THE CONTRACTOR'S EXPENSE.

- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES, EXAMINE THE SITE AND INCLUDE IN HIS WORK THE EFFECT OF ALL EXISTING CONDITIONS ON THE WORK, AND HOLD THE OWNER'S REPRESENTATIVE HARMLESS AGAINST ANY AND ALL CLAIMS ARISING FROM WORK PERFORMED BY THE CONTRACTOR ON THE SITE.

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO EXAMINE ALL PLAN SHEETS, SPECIFICATIONS, AND CONTRACT DOCUMENTS AND COORDINATE WORK WITH ALL OTHER CONTRACTS AS APPLICABLE.
- ALL WORK SHALL BE CARRIED OUT IN STRICT COMPLIANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, STANDARDS, ORDINANCES, RULES AND REGULATIONS.

- ALL PROPOSED UTILITIES AND APPURTENANCES SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE LOCAL MUNICIPALITIES' CODES AND REGULATIONS GOVERNING THE INSTALLATION OF SUCH UTILITIES.

- EXPLORATORY EXCAVATIONS SHALL BE PERFORMED AS NEEDED BY THE CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO WORK.

- ALL TRENCH EXCAVATION AND ANY REQUIRED SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH THE LATEST REVISIONS OF OSHA REGULATIONS FOR CONSTRUCTION.

- THE CONTRACTOR SHALL MAINTAIN FLOW FOR ALL EXISTING UTILITIES.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND INCURRING THE COST OF ALL REQUIRED PERMITS, INSPECTIONS, CERTIFICATIONS, ETC. AND SHALL COMPLY WITH ALL REQUIRED PERMITS AND ASSOCIATED CONDITIONS.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DE-WATERING AND THE MAINTENANCE OF SURFACE DRAINAGE DURING THE COURSE OF THE WORK. THE CONTRACTOR SHALL MAINTAIN EXISTING SITE DRAINAGE PATTERNS THROUGHOUT CONSTRUCTION UNLESS OTHERWISE SHOWN ON THE PLANS.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EMPLOYING AND MAINTAINING ALL TRAFFIC CONTROL AND SAFETY MEASURES DURING CONSTRUCTION.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPERLY AND SAFELY MAINTAINING AREA BETWEEN ALL ADJOINING PROPERTIES.

- NO WORK, STORAGE OR TRESPASSING SHALL BE PERMITTED BEYOND THE SITE PROPERTY LINES OR PUBLIC RIGHT-OF-WAY WITHOUT PRIOR AUTHORIZATION.

- ALL CURBING, PAVING, SIDEWALKS, LAWN OR OTHER STRUCTURES OR FACILITIES DISTURBED OR DAMAGED BY CONSTRUCTION OPERATIONS SHALL BE REPLACED OR REPAIRED TO A CONDITION EQUAL TO EXISTING, AS DESCRIBED IN CONTRACT DOCUMENTS OR AS ORDERED BY ENGINEER (A&E).

**UTILITY NOTES:**

- CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLE COVERS, CATCH BASIN FRAMES AND GRATES, WATER VALVE COVERS, GAS VALVES, AND OTHER UTILITIES WHERE ENCOUNTERED TO MATCH NEW LINE AND FINISHED GRADE OF LAWN, SIDEWALK OR PAVEMENT.
- BEFORE CONSTRUCTING LINES TO CONNECT TO EXISTING UTILITIES THE CONTRACTOR SHALL VERIFY EXISTING UTILITY INVERTS AND NOTIFY ENGINEER IF ANY VARIATION FROM THE PLANS IS REQUIRED.
- PRIOR TO COMMENCEMENT OF STORM AND/OR SANITARY SEWER CONSTRUCTION, CONTRACTOR SHALL VERIFY BOTH HORIZONTAL AND VERTICAL POSITION OF EXISTING SEWER AT CONNECTION POINT. CONTRACTOR IS TO CONSTRUCT GRADY LINES PROGRESSIVELY FROM DOWNSTREAM TO UPSTREAM. ANY EXCEPTIONS TO THIS MUST BE APPROVED BY THE ENGINEER. ANY GRADE DISCREPANCIES MUST BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.
- CONSTRUCTION OF ALL PROPOSED UTILITIES MUST BEGIN AT ITS POINT OF CONNECTION TO THE EXISTING UTILITY OR AT THE LOWEST POINT IN THE SYSTEM. RIMS, GRATES, INVERTS, CLEARANCES, AND LOCATION AT CROSSINGS MUST BE VERIFIED PRIOR TO THE BEGINNING OF CONSTRUCTION.
- SEWER MAINS IN RELATION TO WATER MAINS: WHERE POSSIBLE, SEWER SHALL BE LAID AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. VERTICAL SEPARATION SHALL BE MAINTAINED TO PROVIDE EIGHTEEN (18) INCHES BETWEEN TOP OF SEWER AND THE INVERT OF THE WATER MAIN AT UTILITY CROSSINGS, WHEN IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION, PRESSURE RATED PIPE SHALL BE USED TEN (10) FEET ON EACH SIDE OF THE WATER MAIN BEING CROSSED.
- ALL CONSTRUCTION STAKE OUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. LOCATION OF MANHOLES ARE TO BE INDIVIDUALLY STAKED OUT.
- CONTRACTOR SHALL TAKE CARE TO PREVENT DAMAGE TO EXISTING UTILITIES. DAMAGED UTILITIES SHALL BE IMMEDIATELY REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL MAINTAIN FLOWS FOR ALL EXISTING UTILITIES.
- ALL UTILITY INSTALLATION AND MATERIALS SHALL CONFORM TO CITY OF SARATOGA STANDARDS AND SPECIFICATIONS.
- UNDERGROUND ELECTRIC SERVICE AND GAS SERVICE SHALL BE COORDINATED WITH NATIONAL GRID.
- ALL PAVEMENT, WALKWAYS, AND GRANITE OR CONCRETE CURB REMOVED FOR UTILITY INSTALLATION SHALL BE REPLACED IN KIND UPON COMPLETION OF WORK IN EACH RESPECTIVE AREA.

**VEGETATIVE COVER SPECIFICATIONS:**

- AS MUCH AS IS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
- SITE PREPARATION:
  - FERTILIZE SEEDED AREAS, PER THE CONTRACT SPECIFICATIONS, OR APPLY 20 LBS OF 5-10-5 (NPK) OR EQUIVALENT PER 1000 SQ. FT.), OR APPLY 1 LBS OF NITROGEN PER 1000 SF.
  - INCORPORATE LIME AND FERTILIZER INTO THE TOP 2" TO 4" OF TOPSOIL. LIME SHALL BE APPLIED SUFFICIENT TO ATTAIN A SOIL ACIDITY pH OF 6.0 TO 7.5.
  - SMOOTH AND FIRM THE SEEDED AREA.
  - SUBSEQUENT TO SEEDED, ALL DISTURBED AREAS SHALL BE STABILIZED BY APPLYING 100 LBS OF STRAW MULCH PER 1000 SF STRAW MULCH SHALL BE ANCHORED BY APPLYING 750 LBS OF WOOD FIBER MULCH PER ACRE WITH A HYDROSEEDER, OR BY TUCKING THE MULCH WITH SMOOTH DISCS OR OTHER MULCH ANCHORING TOOLS TO A DEPTH OF 3". MULCH-ANCHORING TOOLS SHALL BE PULLED ACROSS SLOPES ALONG TOPOGRAPHIC CONTOURS.
- SEEDED:
  - APPLY SEED UNIFORMLY BY CYCLONE SEEDER CULTI-PACKER OR HYDRO-SEEDER AT THE RATE INDICATED IN THE CONTRACT SPECIFICATIONS.
  - MULCH SEEDED AREAS WITH HAY OR STRAW MULCH (RATE = 100 LBS PER 1000 SF)

- IRRIGATE TO FULLY SATURATE SOIL LAYER, BUT DO NOT DISLODGE PLANTING SOIL.
- SEED BETWEEN APRIL 1ST AND MAY 15TH OR AUGUST 15TH AND OCTOBER 15TH. SEEDING MAY OCCUR BETWEEN MAY 15TH AND AUGUST 15TH IF ADEQUATE IRRIGATION IS PROVIDED.

**ALTERNATIVE A (SUNNY SITE)**

- 55% KENTUCKY BLUE GRASS BLEND
- 25% RED FESCUE
- 20% PERENNIAL RYEGRASS

**ALTERNATIVE B (SHADY SITE)**

- 80% SHADE TOLERANT KENTUCKY BLUE GRASS BLEND
- 20% PERENNIAL RYEGRASS

- SEED SHALL BE APPLIED AT A RATE OF 8 LBS PER 1000 SF

- IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITY IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED, AS SOON AS IS PRACTICAL FOLLOWING DISTURBANCE, TO STABILIZE BARE SOIL AND PROMOTE PROMPT RE-ESTABLISHMENT OF VEGETATION.
- WATER SHALL BE APPLIED TO NEWLY SEEDED AREAS AS NEEDED UNTIL GRASS COVER IS WELL ESTABLISHED. WATER SHALL BE APPLIED TO EXPOSED SOILS, AS NECESSARY, TO EFFECTIVELY CONTROL WIND EROSION OF THE PROJECT SITE.

**UNDERGROUND UTILITY NOTES:**

- THE CONTRACTOR SHALL CALL THE UNDERGROUND FACILITIES PROTECTION ORGANIZATION (UFO) AT 1-800-245-2828 PRIOR TO DIGGING OR DRILLING TO MAKE SURE THAT THERE IS NO DANGER OF DAMAGING UNDERGROUND UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES WITHIN THE PROJECT LIMITS PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY UTILITIES DAMAGED DURING THE COURSE OF THE PROJECT RELATED TO FAILURE TO ACCURATELY VERIFY UTILITY LOCATIONS.

**GRADING AND TREE PROTECTION NOTES:**

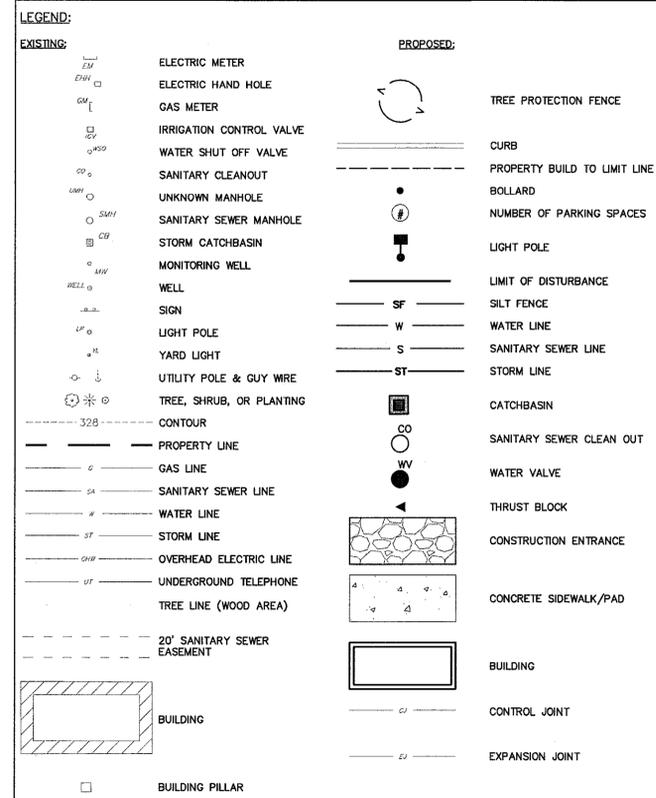
- ALL EARTHWORK GRADING SHALL BE BLENDED SMOOTHLY AND EVENLY INTO EXISTING CONDITIONS.
- ALL SLOPES OF 2 ON 1 OR STEEPER ARE TO BE STABILIZED WITH STONE RIPRAP OR SOIL STABILIZATION FABRIC, WHERE APPLICABLE.
- TEMPORARY PROTECTION: PROVIDE TEMPORARY FENCING, BARRICADES OR OTHER SUITABLE REMAINING GUARDS LOCATED OUTSIDE THE TREE DRIP LINE (OUTER PERIMETER OF BRANCHES) TO PROTECT TREES AND OTHER PLANTS FROM DAMAGE.
- DO NOT STORE CONSTRUCTION MATERIALS, DEBRIS OR EXCAVATED MATERIAL WITHIN THE TREE DRIP LINE OF REMAINING TREES. DO NOT PERMIT VEHICLES OR FOOT TRAFFIC WITHIN THE DRIP LINE, AND PREVENT SOIL COMPACTION OVER ROOT SYSTEMS.
- WHERE EXCAVATION FOR NEW CONSTRUCTION IS REQUIRED WITHIN TREE DRIP LINES, HAND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS. USE NARROW-TINE SPADING FORKS AND COMB SOIL TO EXPOSE ROOTS.
- RELOCATE ROOTS IN BACKFILL AREAS WHEREVER POSSIBLE. IF ENCOUNTERING LARGE, MAIN LATERAL ROOTS, EXPOSE THEM BEYOND EXCAVATION LIMITS, AS REQUIRED, BENDING AND RELOCATING WITHOUT BREAKING. IF ENCOUNTERING IMMEDIATELY ADJACENT TO LOCATION OF NEW CONSTRUCTION, AND RELOCATION IS NOT PRACTICAL, CUT ROOTS APPROXIMATELY 3" BACK FROM NEW CONSTRUCTION LIMITS.
- DO NOT ALLOW EXPOSED ROOTS TO DRY OUT BEFORE PLACING PERMANENT BACKFILL. PROVIDE TEMPORARY EARTH COVER OR PACK WITH PEAT MOSS AND WRAP WITH BURLAP. WATER AND MAINTAIN ROOTS IN A MOIST CONDITION, AND TEMPORARILY SUPPORT AND PROTECT ROOTS FROM DAMAGE UNTIL THEY ARE PERMANENTLY RELOCATED AND COVERED WITH EARTH.
- WHERE UTILITY TRENCHES ARE REQUIRED WITHIN TREE DRIP LINES, TUNNEL UNDER OR AROUND THE ROOTS BY DRILLING, AUGER, BORING PIPE, JACKING OR DIGGING BY HAND AS REQUIRED.
- ROOT PRUNING: DO NOT CUT MAIN LATERAL ROOTS OR TAP ROOTS; CUT ONLY SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK. CUT ROOTS WITH A SHARP PRUNING INSTRUMENT; DO NOT BREAK OR CHOP.
- DO NOT REGRADE MORE THAN 6" ABOVE EXISTING GRADE AROUND TREES. PROVIDE TREE PROTECTION FOR FILL OVER 6".
- PRUNE REMAINING TREES AFFECTED BY TEMPORARY AND NEW CONSTRUCTION. CUT BRANCHES WITH SHARP PRUNING INSTRUMENTS; DO NOT BREAK OR CHOP.
- PRUNE REMAINING TREES TO COMPENSATE FOR ROOT LOSS CAUSED BY DAMAGING OR CUTTING ROOT SYSTEM. PROVIDE SUBSEQUENT MAINTENANCE DURING THE ENTIRE CONTRACT/WARRANTY PERIOD.
- PRUNE TREES ACCORDING TO THE NATIONAL ARBORIST ASSOCIATION'S "PRUNING STANDARDS FOR SHADE TREES."
- CHIP BRANCHES REMOVED FROM TREES. SPREAD MATERIALS WHERE INDICATED, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- ALL UNNECESSARY REMOVAL OF HEALTHY TREES SHALL BE AVOIDED, UNLESS OTHERWISE NOTED ON THE CONTRACT PLANS. MATERIALS SHALL NOT BE STORED, AND MACHINERY SHALL NOT BE OPERATED, WITHIN THE DRIP LINE OF TREES TO REMAIN.

**DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES:**

- STORM DRAIN SEDIMENT FILTERS: PRIOR TO COMMENCEMENT OF CONSTRUCTION, EITHER STORM DRAIN INLET FILTERS OR STRAW BALE WEIRS SHALL BE CONSTRUCTED AT EXISTING STORM DRAINS, AS REQUIRED. THEY SHALL BE MAINTAINED IN GOOD CONDITION UNTIL FINAL VEGETATIVE COVER IS WELL ESTABLISHED ON ALL DISTURBED AREAS UPSTREAM OF THE INLET.
- DRAINAGE DITCH SEDIMENT FILTERS: UNTIL FINAL SITE STABILIZATION IS COMPLETED, DITCHES SHALL RECEIVE TREATMENT WITH STRAW BALE WEIRS TO EFFECTIVELY TRAP SEDIMENT AND MINIMIZE ITS RELEASE OFF SITE. STRAW BALE FILTERS SHALL BE CONSTRUCTED WITHIN EACH DITCH BEGINNING AT ITS DOWNSTREAM TERMINUS AND SHOULD BE PLACED AT INTERVALS OF LESS THAN 100'-0".

**LITTER AND CONSTRUCTION DEBRIS CONTROL MEASURES:**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE FOLLOWING LITTER AND CONSTRUCTION DEBRIS CONTROL MEASURES:
- THE CONTRACTOR SHALL DISPOSE OF ALL CONSTRUCTION DEBRIS AT AN OFF-SITE FACILITY APPROVED FOR THE TYPE OF MATERIAL GENERATED AT THE SITE.
  - NO BURNING OR BURY PITS WILL BE PERMITTED ON SITE.
  - TEMPORARY STORAGE CONTAINERS SHALL BE PROVIDED, AS NECESSARY, TO CONTROL LITTER AND CONSTRUCTION DEBRIS FROM ENTERING ON-SITE STORMWATER DISCHARGES.
  - PRIOR TO LEAVING THE SITE EACH DAY, THE CONTRACTOR SHALL INSPECT THE PROJECT SITE AND PLACE ALL LITTER AND CONSTRUCTION DEBRIS IN APPROPRIATE STORAGE CONTAINERS.



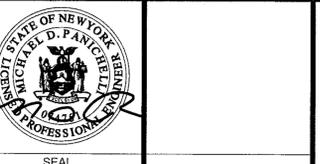
APPROVED BY THE SARATOGA SPRINGS PLANNING BOARD UNDER AUTHORITY OF A RESOLUTION

ADOPTED 4/14/16

CHAIRPERSON Madh R. Vajr DATE 8/12/16

No.	DATE	DESCRIPTION	BY	REVIEWED BY:	DATE	PROJ. MANAGER:
1	-	SARATOGA SPRINGS PLANNING BOARD		JWE	2/17/15	JSH
2	12/23/15	SUBMISSION TO PLANNER	AML	JWE	1/23/15	JWE
3	2/3/16	REVISION TO ARCHITECTURE, LAYOUT AND GRADING	AML	JWE	2/3/16	JMF
4	2/8/16	REVISIONS	AML	JWE	2/8/16	JMF
5	4/22/16	PLANNING BOARD COMMENTS	APY	JWE	4/22/16	JWE
6	7/28/16	FINAL SUBMISSION	APY	JWE	7/27/16	JWE

NO.	DATE	DESCRIPTION	BY	REVIEWED BY:	DATE	PROJ. MANAGER:
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5	4/22/16	PLANNING BOARD COMMENTS	APY	JWE	4/22/16	JWE
6	7/28/16	FINAL SUBMISSION	APY	JWE	7/27/16	JWE



THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL (I.E.) ARCHITECT FOR AN ARCHITECT, ENGINEER FOR AN ENGINEER OR LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS "A" MISDEMEANOR.

**Engineering and Land Surveying, P.C.**

1533 Crescent Road - Clifton Park, NY 12065

NATIONAL RETAIL PROPERTIES

**GENERAL NOTES AND LEGEND**

**SARATOGA RITE AID SITE PLAN**

90 WEST AVENUE

CITY OF SARATOGA SARATOGA COUNTY, NY

SCALE: 1" = 20'

CONTRACT

File Name: F:\mjs4\1054\_4C\_Existing.dwg (Layout: C-4)  
 Date: Wed, Jul 27, 2016 - 5:22 PM (Name: technocgs)

**SOIL TEST PITS:**  
 TEST PERFORMED 5/5/2015  
 WEATHER: SUNNY, 88°  
 MJ ENGINEERING (JAMES EASTON, PE)

TEST PIT 1 329.8  
 0'-0.5" TOPSOIL  
 0.5'-28" FILL/GRAVEL/BOULDERS/ROCK  
 28"-60" LIGHT BROWN SANDY LOAM  
 60"-80" GREY MOIST SAND AND MOTTLING FOUND AT 60"

TEST PIT 2 326.3  
 0'-2" TOPSOIL  
 2"-32" LIGHT BROWN SAND  
 32"-48" GREY MOIST SAND AND MOTTLING FOUND AT 32"

**MAP NOTES:**

- EXISTING CONDITIONS REPRESENTED ON THIS PLAN WERE TAKEN FROM THE PLAN TITLED ALTA/ASCM LAND TITLE SURVEY FOR NATIONAL RETAIL PROPERTIES, INC. BY AUSFELD & WALDRUFF LAND SURVEYORS LLP, LAST DATED JULY 20, 2013.
- NORTH IS ORIENTED TO DEED REFERENCE 1.
- VERTICAL DATUM IS NAVD 1929 ESTABLISHED BY GPS OBSERVATIONS AT THE TIME OF SURVEY
- PARCEL SURVEYED IS FURTHER REFERENCED TO THE CITY OF SARATOGA SPRINGS, SARATOGA COUNTY, NEW YORK TAX MAP PARCEL ID SEC. 165.14 - BLK. 2 - PARCELS 1 & 2.2.
- SUBJECT TO COVENANTS, EASEMENTS, RESTRICTIONS, CONDITIONS AND AGREEMENTS OF RECORD.
- UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND SUBJECT TO VERIFICATION BY OTHERS. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST ON SITE.

**DEED REFERENCES:**

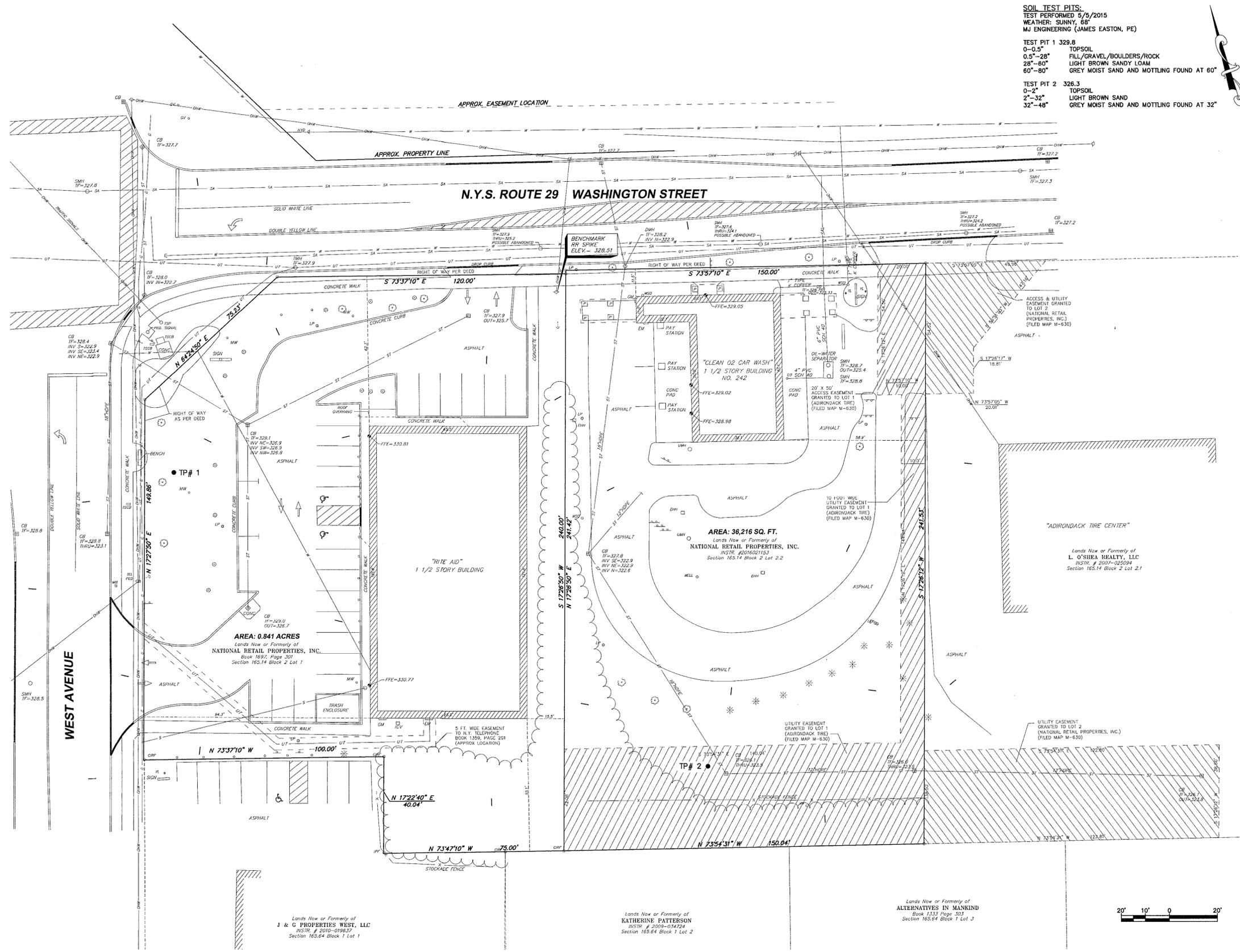
- GARY E. CARSTENS AND BRUCE R. WEDERSPIEL TO COMMERCIAL NET LEASE REALTY, INC., DATED SEPTEMBER 20, 2004 AND RECORDED IN THE SARATOGA COUNTY CLERKS OFFICE IN DEED BOOK 1697 AT PAGE 301. EFFECTIVE MAY 1, 2006, ARTICLES OF AMENDMENT, CHANGED THE NAME OF COMMERCIAL NET LEASE REALTY, INC. TO NATIONAL RETAIL PROPERTIES, INC.
- KNC TOUCHFREE CAR WASH, INC. TO NATIONAL RETAIL PROPERTIES, INC. DATED JULY 1, 2016 AND RECORDED IN THE SARATOGA COUNTY CLERKS OFFICE INSTRUMENT #2016021153.

**MAP REFERENCES:**

- "METROLAND TIRE SUBDIVISION," PREPARED BY MILLER ASSOCIATES, DATED DECEMBER 21, 2001, LAST REVISED FEBRUARY 28, 2002 AND FILED IN THE SARATOGA COUNTY CLERKS OFFICE AS MAP M-630.
- "WESTHAVEN COURTS-UNIT 2," PREPARED BY ANDREW STINE, DATED AUGUST 1963 AND FILED IN THE SARATOGA COUNTY CLERKS OFFICE AS MAP HH-60.
- "AS-BUILT SURVEY FOR POSIE PEDDLER, INC." PREPARED BY SURVEY ASSOCIATES, DATED NOVEMBER 28, 2011.
- "WEST AVENUE" MAP NO. 146, PARCEL NO. 147, SHEET 1 OF 3, PREPARED BY THE NEW YORK STATE DEPARTMENT OF PUBLIC WORKS, ON FILE AT DISTRICT OFFICE NO. 1, COLONIE, N.Y.
- "WEST AVENUE CONSTRUCTION PLAN", PREPARED BY THE SEAR BROWN GROUP, ON FILE AT DISTRICT OFFICE NO. 1, COLONIE, N.Y.

**EASEMENT NOTES:**

- BASED UPON REVIEW OF FIDELITY NATIONAL TITLE INSURANCE COMPANY, TITLE POLICY NO. 13-7406-30468-ALBY EFFECTIVE DATE JUNE 29, 2013, SCHEDULE B, (EXCEPTIONS):
- ITEM NO 7: NOTES AND EASEMENTS AS SHOWN ON MAP NO. M630, ARE SHOWN HEREON.



PB #14.057

APPROVED BY THE SARATOGA SPRINGS PLANNING BOARD UNDER AUTHORITY OF A RESOLUTION

ADOPTED 4/14/16

CHAIRPERSON Madh R. Vajr DATE 8/12/16

No.	DATE	DESCRIPTION	BY	REVIEWED BY:	DATE	PROJ. MANAGER:	JSH
1	-	SARATOGA SPRINGS PLANNING BOARD		JWE	2/17/15	CHIEF DESIGNER:	JWE
2	12/23/15	SUBMISSION TO PLANNER	AML	JWE	1/23/15	DESIGNED BY:	JMF
3	2/3/16	REVISION TO ARCHITECTURE, LAYOUT AND GRADING	AML	JWE	2/3/16	DRAWN BY:	JMF
4	2/8/16	REVISIONS	AML	JWE	2/8/16	CHECKED BY:	JWE
5	4/22/16	PLANNING BOARD COMMENTS	APY	JWE	4/22/16		
6	7/28/16	FINAL SUBMISSION	APY	JWE	7/27/16		

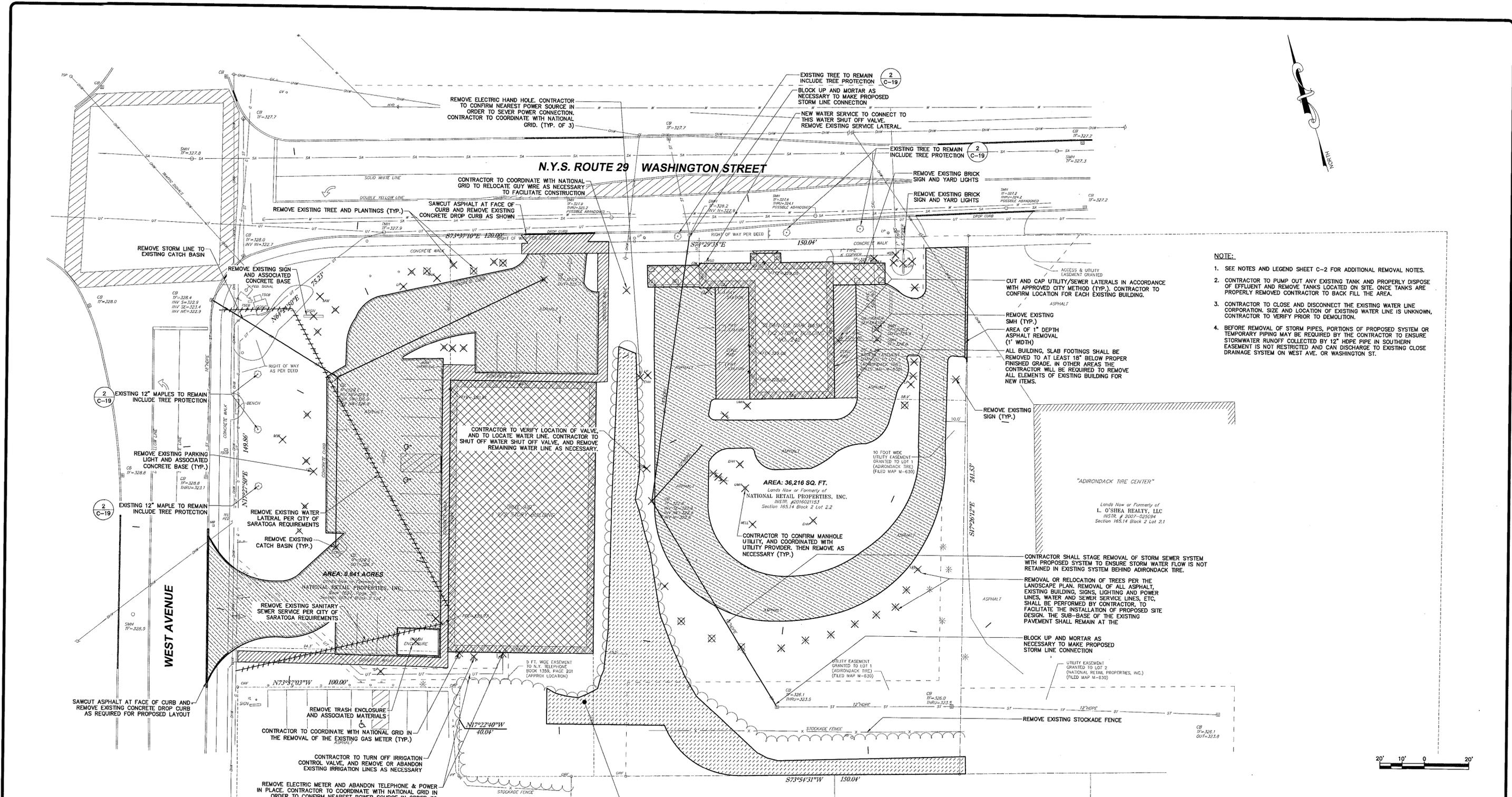


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**Engineering and Land Surveying, P.C.**  
 1533 Crescent Road - Clifton Park, NY 12065

NATIONAL RETAIL PROPERTIES  
**EXISTING CONDITIONS PLAN**  
**SARATOGA RITE AID SITE PLAN**  
 90 WEST AVENUE  
 CITY OF SARATOGA SARATOGA COUNTY, NY

SCALE: 1" = 20'  
 CONTRACT No.: -  
 MJ PROJ. No.: 954.01  
 DATE: 7/28/2016  
**C-4**



- NOTE:**
- SEE NOTES AND LEGEND SHEET C-2 FOR ADDITIONAL REMOVAL NOTES.
  - CONTRACTOR TO PUMP OUT ANY EXISTING TANK AND PROPERLY DISPOSE OF EFFLUENT AND REMOVE TANKS LOCATED ON SITE. ONCE TANKS ARE PROPERLY REMOVED CONTRACTOR TO BACK FILL THE AREA.
  - CONTRACTOR TO CLOSE AND DISCONNECT THE EXISTING WATER LINE. CORPORATION, SIZE AND LOCATION OF EXISTING WATER LINE IS UNKNOWN, CONTRACTOR TO VERIFY PRIOR TO DEMOLITION.
  - BEFORE REMOVAL OF STORM PIPES, PORTIONS OF PROPOSED SYSTEM OR TEMPORARY PIPING MAY BE REQUIRED BY THE CONTRACTOR TO ENSURE STORMWATER RUNOFF COLLECTED BY 12" HDPE PIPE IN SOUTHERN EASEMENT IS NOT RESTRICTED AND CAN DISCHARGE TO EXISTING CLOSE DRAINAGE SYSTEM ON WEST AVE. OR WASHINGTON ST.

- LEGEND:**
- ASPHALT PAVEMENT AND CONCRETE CURB REMOVAL AS REQUIRED FOR PROPOSED LAYOUT
  - CONCRETE SIDEWALK REMOVAL
  - BUILDING REMOVAL
  - VEGETATION REMOVAL
  - MISCELLANEOUS REMOVAL
  - MISCELLANEOUS LINEAR REMOVAL

PB # 14.057

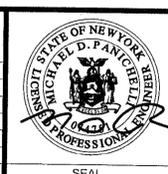
APPROVED BY THE SARATOGA SPRINGS PLANNING BOARD UNDER AUTHORITY OF A RESOLUTION

ADOPTED 4/14/16

CHAIRPERSON Madh R. Verjy DATE 8/12/16

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5	4/22/16	PLANNING BOARD COMMENTS	APY	JWE	4/22/16	JWE
6	7/28/16	FINAL SUBMISSION	APY	JWE	7/27/16	JWE

Lands Now or Formerly of  
**J & G PROPERTIES WEST, LLC**  
 INSTR. # 2010-019637  
 Section 165.64 Block 1 Lot 1



Lands Now or Formerly of  
**KATHERINE PATTERSON**  
 INSTR. # 2009-034724  
 Section 165.64 Block 1 Lot 2

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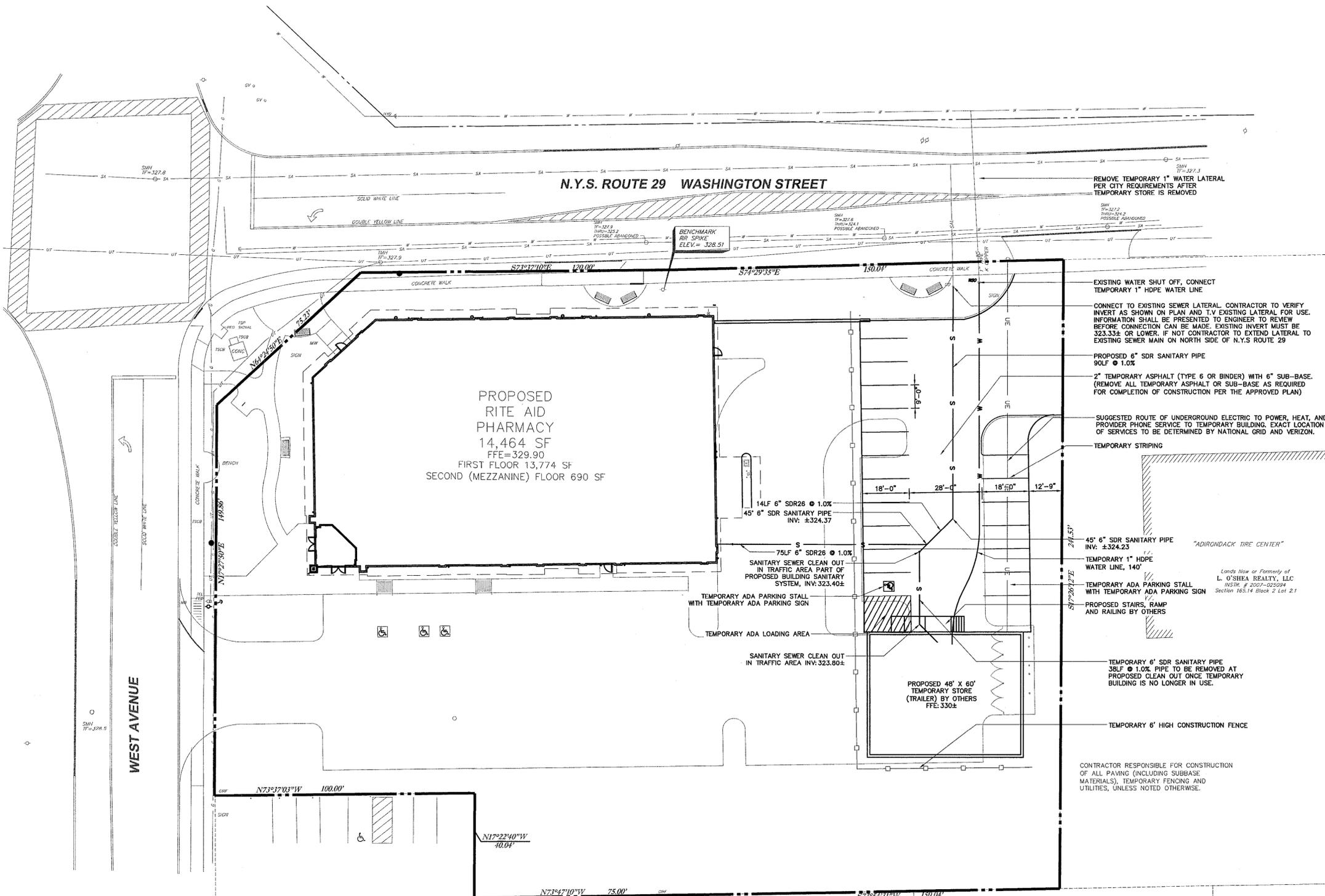
**Engineering and Land Surveying, P.C.**  
 1533 Crescent Road - Clifton Park, NY 12065

NATIONAL RETAIL PROPERTIES  
**REMOVALS PLAN**  
**SARATOGA RITE AID SITE PLAN**  
 90 WEST AVENUE  
 CITY OF SARATOGA SARATOGA COUNTY, NY

SCALE: 1" = 20'  
 CONTRACT No.: -  
 MJ PROJ. No.: 954.01  
 DATE: 7/28/2016  
**C-5**

NOTE: CONTRACTOR RESPONSIBLE FOR CONSTRUCTION OF ALL PAVING (INCLUDING SUBBASE MATERIALS), TEMPORARY FENCING AND UTILITIES, UNLESS NOTED OTHERWISE.

NORTH



REMOVE TEMPORARY 1" WATER LATERAL PER CITY REQUIREMENTS AFTER TEMPORARY STORE IS REMOVED

EXISTING WATER SHUT OFF. CONNECT TEMPORARY 1" HDPE WATER LINE.  
CONNECT TO EXISTING SEWER LATERAL. CONTRACTOR TO VERIFY INVERT AS SHOWN ON PLAN AND T.V. EXISTING LATERAL FOR USE. INFORMATION SHALL BE PRESENTED TO ENGINEER TO REVIEW BEFORE CONNECTION CAN BE MADE. EXISTING INVERT MUST BE 323.33± OR LOWER. IF NOT CONTRACTOR TO EXTEND LATERAL TO EXISTING SEWER MAIN ON NORTH SIDE OF N.Y.S ROUTE 29

PROPOSED 6" SDR SANITARY PIPE 90LF @ 1.0%  
2" TEMPORARY ASPHALT (TYPE 6 OR BINDER) WITH 6" SUB-BASE. (REMOVE ALL TEMPORARY ASPHALT OR SUB-BASE AS REQUIRED FOR COMPLETION OF CONSTRUCTION PER THE APPROVED PLAN)

SUGGESTED ROUTE OF UNDERGROUND ELECTRIC TO POWER, HEAT, AND PROVIDER PHONE SERVICE TO TEMPORARY BUILDING. EXACT LOCATION OF SERVICES TO BE DETERMINED BY NATIONAL GRID AND VERIZON.

TEMPORARY STRIPING

45' 6" SDR SANITARY PIPE INV. ±324.23  
TEMPORARY 1" HDPE WATER LINE, 140'

TEMPORARY ADA PARKING STALL WITH TEMPORARY ADA PARKING SIGN  
PROPOSED STAIRS, RAMP AND RAILING BY OTHERS

TEMPORARY 6" SDR SANITARY PIPE 38LF @ 1.0%. PIPE TO BE REMOVED AT PROPOSED CLEAN OUT ONCE TEMPORARY BUILDING IS NO LONGER IN USE.

TEMPORARY 6' HIGH CONSTRUCTION FENCE

CONTRACTOR RESPONSIBLE FOR CONSTRUCTION OF ALL PAVING (INCLUDING SUBBASE MATERIALS), TEMPORARY FENCING AND UTILITIES, UNLESS NOTED OTHERWISE.

NOTE:  
TEMPORARY PHARMACY SHALL BE PERMITTED TO EXIST FOR A TOTAL OF 11 MONTHS AND 29 DAYS FROM THE DATE OF THE ISSUANCE OF THE PROJECT'S BUILDING PERMIT.

WEST AVENUE

PROPOSED RITE AID PHARMACY  
14,464 SF  
FFE=329.90  
FIRST FLOOR 13,774 SF  
SECOND (MEZZANINE) FLOOR 690 SF

14LF 6" SDR26 @ 1.0%  
45' 6" SDR SANITARY PIPE INV. ±324.37

75LF 6" SDR26 @ 1.0%  
SANITARY SEWER CLEAN OUT IN TRAFFIC AREA PART OF PROPOSED BUILDING SANITARY SYSTEM, INV. 323.40±

TEMPORARY ADA PARKING STALL WITH TEMPORARY ADA PARKING SIGN

TEMPORARY ADA LOADING AREA

SANITARY SEWER CLEAN OUT IN TRAFFIC AREA INV. 323.80±

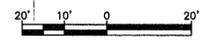
PROPOSED 48' X 60' TEMPORARY STORE (TRAILER) BY OTHERS FFE: 330±

Lands Now or Formerly of J & G PROPERTIES WEST, LLC  
DIST. # 2010-019637  
Section 165.64 Block 1 Lot 1

Lands Now or Formerly of KATHERINE PATTERSON  
DIST. # 2009-024274  
Section 165.64 Block 1 Lot 2

Lands Now or Formerly of ALTERNATIVES IN MANKIND  
Book 1333 Page 303  
Section 165.64 Block 1 Lot 3

PB # 14.057  
APPROVED BY THE SARATOGA SPRINGS PLANNING BOARD UNDER AUTHORITY OF A RESOLUTION  
ADOPTED 4/14/16  
CHAIRPERSON Mark R. Vojt DATE 8/12/16



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**Engineering and Land Surveying, P.C.**  
1533 Crescent Road - Clifton Park, NY 12065

NATIONAL RETAIL PROPERTIES  
**TEMPORARY BUILDING SARATOGA RITE AID SITE PLAN**  
90 WEST AVENUE  
CITY OF SARATOGA SARATOGA COUNTY, NY

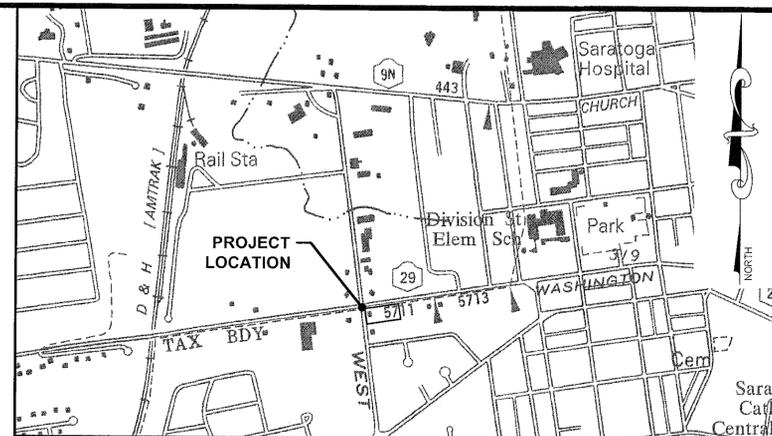
SCALE: 1" = 20'  
CONTRACT No.: -  
MJ PROJ. No.: 954.01  
DATE: 7/28/2016  
**C-6**

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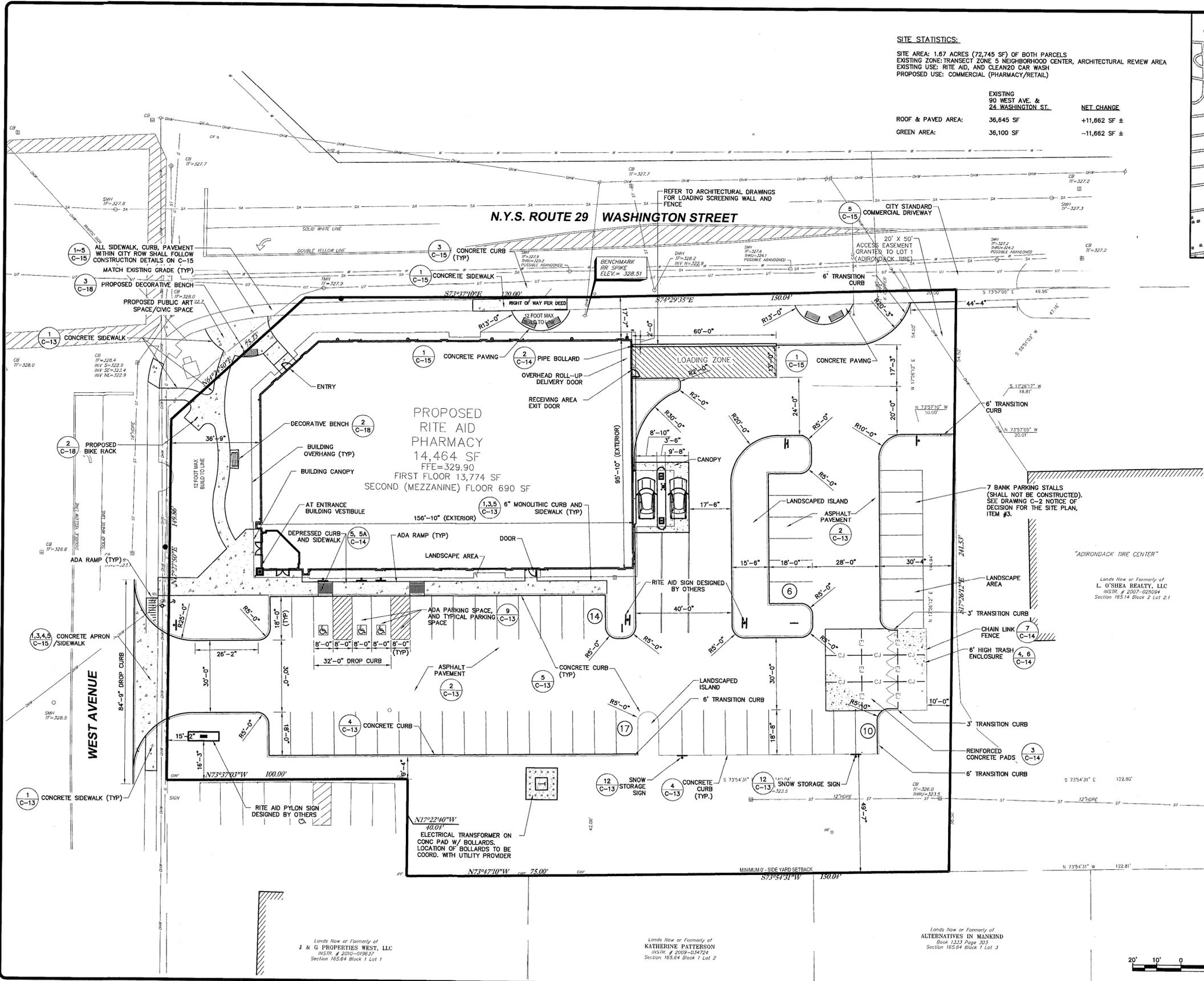
**SITE STATISTICS:**

SITE AREA: 1.67 ACRES (72,745 SF) OF BOTH PARCELS  
 EXISTING ZONE: TRANSECT ZONE 5 NEIGHBORHOOD CENTER, ARCHITECTURAL REVIEW AREA  
 EXISTING USE: RITE AID, AND CLEANO CAR WASH  
 PROPOSED USE: COMMERCIAL (PHARMACY/RETAIL)

EXISTING 90 WEST AVE. & 24 WASHINGTON ST.		NET CHANGE
ROOF & PAVED AREA:	36,645 SF	+11,662 SF ±
GREEN AREA:	36,100 SF	-11,662 SF ±



**SITE LOCATION MAP** SCALE: N.T.S.



ZONING ANALYSIS TABLE			
ZONING DISTRICT	T-5 TRANSECT ZONE 5 - NEIGHBORHOOD CENTER * USE PERMITTED WITH SPECIAL USE PERMIT AND SITE PLAN APPROVAL		
ZONE CRITERIA	REQUIRED	PROPOSED	VARIANCE
MINIMUM LOT AREA	N/A	72,748 SF / 1.68 ACRES	NO
MINIMUM LOT WIDTH	18' to 144'	200'	NO
MAX. BUILDING COVERAGE	N/A	20% +/-	NO
BUILD TO LINE	WEST AVENUE	0' TO 12'	YES; DATE: 2/3/2015
MIN. SIDE SETBACK (WASHINGTON ST)	0' MINIMUM	17.6'	NO
MAX. BUILDING HEIGHT	2 STORY MINIMUM ** 50' MAXIMUM	2 STORY	NO
MIN. BUILD-OUT ALONG LOT FRONTAGE (WEST AVENUE)	70% MINIMUM	52.20%	YES; DATE: 2/3/2015
GREEN SPACE	10%	33%	NO
PARKING SPACES	9'x18'	9'x18'	NO
PARKING CRITERIA (****)	REQUIRED: RETAIL - 1 PER 300 SF OF SALES FLOOR AREA, PLUS 1 PER TWO EMPLOYEES (**) 12,787 SF OF SALES AREA = 12,787/300 = 42.6 PLUS 4 (8 EMPLOYEES) = 46.6. MAX ALLOWED BY CODE 46.6 PLUS 20% = 55.9 PROPOSED: 54 PROPOSED (7 SPACES BANKED PER PLANNING BOARD 4/14/16)		

\* DISTRICT PURPOSE IS TO ACCOMMODATE A WIDE VARIETY OF RESIDENTIAL AND NON RESIDENTIAL USES, BUILDING AND FRONTAGE TYPES. THIS DISTRICT ALSO FOCUSES ON PROVIDING QUALITY STREETSCAPE AMENITIES AND CIVIC SPACES TO ENHANCE PEDESTRIAN ACTIVITY.  
 \*\* THE CUMULATIVE AREA OF ALL NEW AND EXISTING ONE-STORY STRUCTURE(S) ON ANY ONE LOT SHALL NOT EXCEED 3,000 SQUARE FEET.  
 \*\*\* MAX PARKING ALLOWED - NO USE MAY PROVIDE PARKING GREATER THAN 20% OF THE AMOUNT SPECIFIED PER CODE, UNLESS A WAIVER IS GRANTED BY THE PLANNING BOARD.  
 \*\*\*\* AT LEAST 10% OF ANY PARKING LOT CONTAINING 15 PARKING SPACES SHALL CONSIST OF LANDSCAPED GREEN SPACE TO MINIMIZE IMPACT OF EXTENSIVE IMPERMEABLE AREAS.  
 10% OF 21,360 SF = 2,136 SF  
 2,136 SF IS REQUIRED TO LANDSCAPED, 2,637 SF IS PROPOSED WHICH EXCEEDS THE 10% REQUIRED. REFER TO SHEET C-10 FOR AREAS A,B,C,D&E.

SIGNAGE TABLE			
SIGN CRITERIA	REQUIRED	PROPOSED	VARIANCE**
MAX. FREESTANDING SIGN AREA	24 SF	28 SF/SIDE	YES
MAX. NUMBER OF FREESTANDING SIGNS	1	1	NO
MAX. SIGN HEIGHT	12'-0"	12'-0"	NO
MAX. WALL SIGN AREA	ONE WALL SIGN PER FRONTAGE AT 2 SF/LF OF BLDG FRONTAGE	TWO WALL SIGNS PER FRONTAGE TOTALING 71.88 SF	YES
MAX. WALL SIGN FACADE EXTENSION	6"	8"	YES
FREESTANDING SIGN SETBACK	N/A	7.1' (89'-9" FROM CENTER OF INTERSECTION)	YES (*)
DIRECTION SIGN AREA/HEIGHT	4 SF/4'	TWO 17.1 SF AND ONE 15.1 SF SIGNS/12'	YES
MAX. TEMPORARY SIGN AREA	ONE SIGN AT 10 SF	TWO SIGNS AT 32 SF	YES

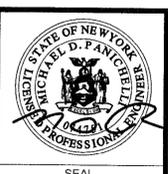
\* NO SIGN SHALL BE PLACED WITHIN 150 FEET OF A SIGNALIZED STREET SO AS TO CAUSE A TRAFFIC HAZARD AT THE INTERSECTION.  
 \*\* VARIANCES HAVE BEEN IDENTIFIED BUT HAVE NOT YET BEEN RECEIVED.

PLAN APPROVAL	
DAVID KELLY SVP SITE DEVELOPMENT	
BOB THOMPSON CITY ENGINEER	
FRANK VITRANO CITY ENGINEER AND SVP	
KEN MARTINDALE PRESIDENT & CEO	
JOHN STANDLEY CHAIRMAN OF THE BOARD & CEO	

PB # 14.057  
 APPROVED BY THE SARATOGA SPRINGS PLANNING BOARD UNDER AUTHORITY OF A RESOLUTION  
 ADOPTED 4/14/16  
 CHAIRPERSON Mark R. Joffe DATE 8/12/16

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PROJ. MANAGER: JSH  
 CHIEF DESIGNER: JWE  
 DESIGNED BY: JMF  
 DRAWN BY: JMF  
 CHECKED BY: JWE



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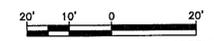
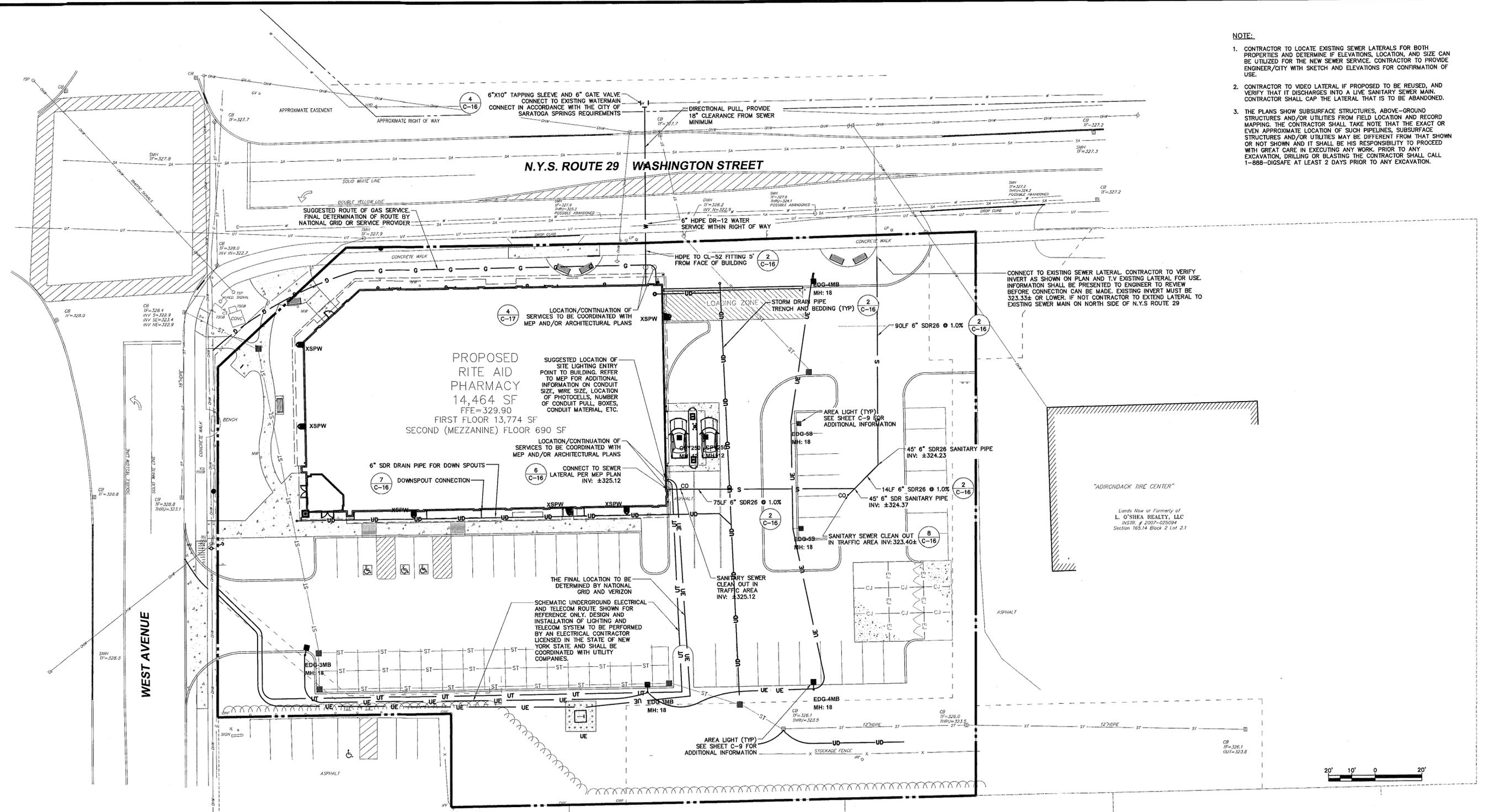
**Engineering and Land Surveying, P.C.**  
 1533 Crescent Road - Clifton Park, NY 12065

NATIONAL RETAIL PROPERTIES  
**LAYOUT PLAN**  
**SARATOGA RITE AID SITE PLAN**  
 90 WEST AVENUE  
 CITY OF SARATOGA SARATOGA COUNTY, NY

SCALE: 1" = 20'  
 CONTRACT No.: -  
 M.J. PROJ. No.: 954.01  
 DATE: 7/28/2016  
**C-7**

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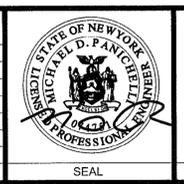
- NOTE:**
- CONTRACTOR TO LOCATE EXISTING SEWER LATERALS FOR BOTH PROPERTIES AND DETERMINE IF ELEVATIONS, LOCATION, AND SIZE CAN BE UTILIZED FOR THE NEW SEWER SERVICE. CONTRACTOR TO PROVIDE ENGINEER/CITY WITH SKETCH AND ELEVATIONS FOR CONFIRMATION OF USE.
  - CONTRACTOR TO VIDEO LATERAL IF PROPOSED TO BE REUSED, AND VERIFY THAT IT DISCHARGES INTO A LIVE SANITARY SEWER MAIN. CONTRACTOR SHALL CAP THE LATERAL THAT IS TO BE ABANDONED.
  - THE PLANS SHOW SUBSURFACE STRUCTURES, ABOVE-GROUND STRUCTURES AND/OR UTILITIES FROM FIELD LOCATION AND RECORD MAPPING. THE CONTRACTOR SHALL TAKE NOTE THAT THE EXACT OR EVEN APPROXIMATE LOCATION OF SUCH PIPELINES, SUBSURFACE STRUCTURES AND/OR UTILITIES MAY BE DIFFERENT FROM THAT SHOWN OR NOT SHOWN AND IT SHALL BE HIS RESPONSIBILITY TO PROCEED WITH GREAT CARE IN EXECUTING ANY WORK. PRIOR TO ANY EXCAVATION, DRILLING OR BLASTING THE CONTRACTOR SHALL CALL 1-888-DIGSAFE AT LEAST 2 DAYS PRIOR TO ANY EXCAVATION.



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Date: Wed, Jul 27, 2016 - 5:24 PM (Name: tschreengost)

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CHIEF DESIGNER: JWE  
DESIGNED BY: JMF  
DRAWN BY: JMF  
CHECKED BY: JWE



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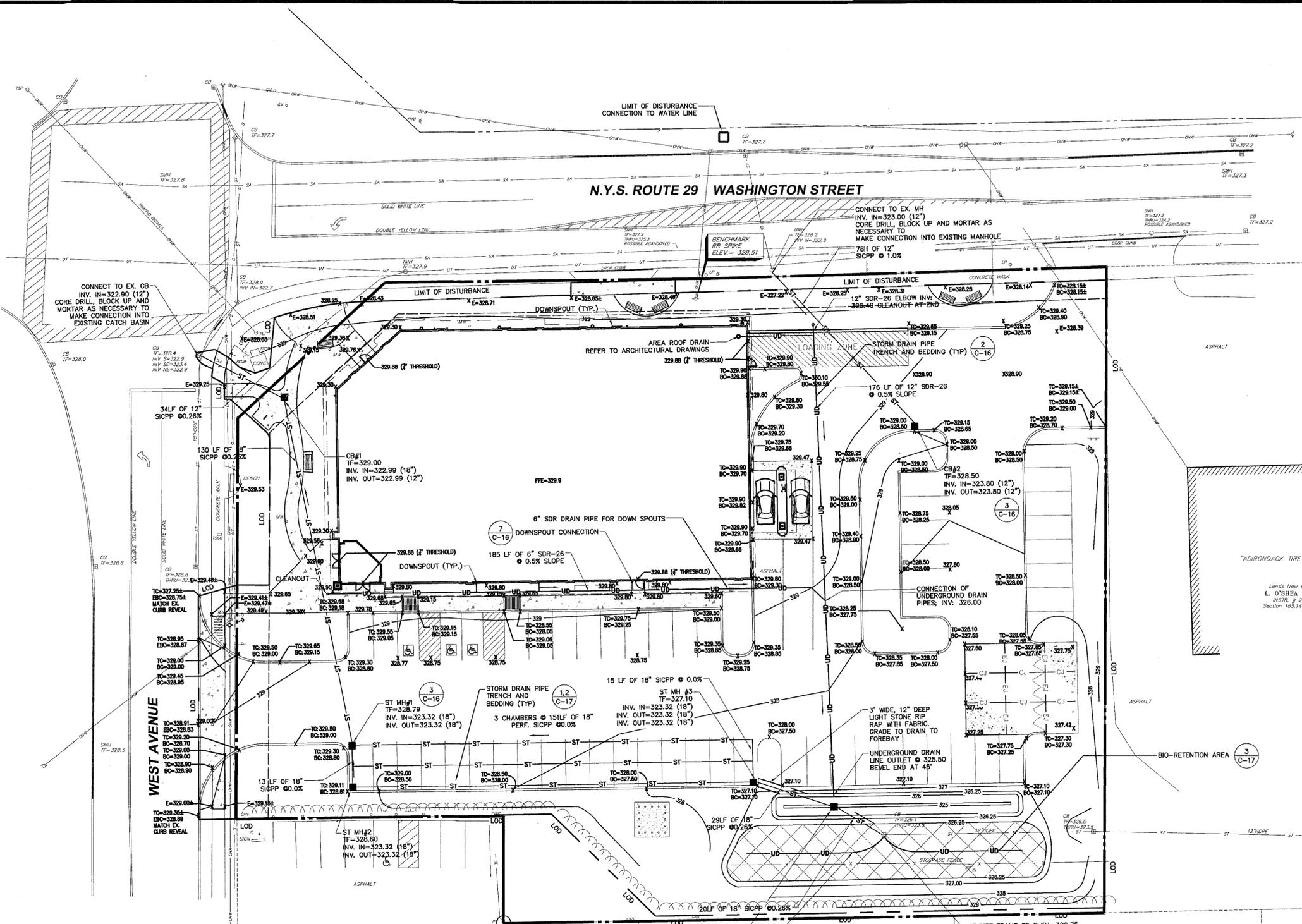
ADOPTED 4/14/16

CHAIRPERSON Mad. R. Vojt DATE 8/12/16

NATIONAL RETAIL PROPERTIES  
**UTILITY PLAN**  
**SARATOGA RITE AID SITE PLAN**  
90 WEST AVENUE  
CITY OF SARATOGA SARATOGA COUNTY, NY

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MJ PROJ. No.: 954.01  
DATE: 7/28/2016

**C-8**



- STORMWATER DRAINAGE NOTES:**
1. ALL STORMWATER PIPES TO BE SICPP AND SHALL CONFORM TO NYS DOT STANDARDS.
  2. SUMPS IN DRAINAGE STRUCTURES TO BE A MINIMUM OF 12".
  3. STORMWATER MANAGEMENT SYSTEM TO BE DESIGNED FOR A 25 YEAR STORM EVENT MINIMUM.
  4. ALL TO HAVE A MINIMUM OF 24" OF COVER OVER THE TOP OF PIPES.
  5. ALL CATCH BASINS AND PIPES FOR THIS PROJECT SHALL BE CLEANED OF SEDIMENT AT THE END OF CONSTRUCTION.
  6. CONTRACTOR TO VERIFY INVERTS, PIPE DIAMETER, AND MATERIAL OF EXISTING PIPE STORM RUN TO ENSURE PROPOSED STRUCTURES CAN BE PROPERLY PLACED/CONNECTED TO EXISTING STORM SYSTEM.
  7. LIMIT OF DISTURBANCE (LOD): AREA=70,828 SF

PB # 14.057

APPROVED BY THE SARATOGA SPRINGS PLANNING BOARD UNDER AUTHORITY OF A RESOLUTION

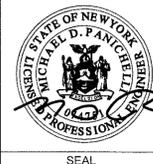
ADOPTED 4/14/16

CHAIRPERSON Madh R. Jorg DATE 8/12/16



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NATIONAL RETAIL PROPERTIES  
**GRADING AND DRAINAGE PLAN**  
**SARATOGA RITE AID SITE PLAN**  
90 WEST AVENUE  
CITY OF SARATOGA SARATOGA COUNTY, NY

SCALE: 1" = 20'  
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DATE: 7/28/2016  
**C-9**

NOTE:  
ALL SIGNAGE AND STRIPING SHALL CONFORM TO THE MUTCD, THE NEW YORK STATE SUPPLEMENT, NYS DOT STANDARD SPECIFICATIONS AND STANDARD SHEETS.

**TOPSOIL AND SEED NOTES**

TOPSOILING - AREAS TO BE STABILIZED WITH PERMANENT VEGETATION SHALL BE PREPARED BY APPLYING TOPSOIL TO A UNIFORM DEPTH OF FOUR INCHES (4"). TOPSOIL SHALL BE FRIABLE AND LOAMY, FREE OF DEBRIS, OBJECTIONABLE WEEDS, STONES, AND CONTAIN NO TOXIC SUBSTANCES THAT MAY BE HARMFUL TO PLANT GROWTH. IMMEDIATELY PRIOR TO TOPSOIL APPLICATION THE SURFACE SHALL BE SCARIFIED TO PROVIDE A GOOD BOND WITH THE TOPSOIL. WHEN TOPSOILING IS DEEMED UNNECESSARY, SEEDBED PREPARATION SHALL BE EMPLOYED. WHEN TOPSOILING IS DEEMED UNNECESSARY PULVERIZED DOLOMITIC LIMESTONE SHALL BE APPLIED AT THE RATE OF 90 LB. PER 1,000 SQ. FT. AND FERTILIZER (5-10-5) AT THE RATE OF 2 LBS. OF NITROGEN PER 1,000 SQ. FT., OR EQUIVALENT. THE "LIME" AND FERTILIZER SHALL THEN BE WORKED INTO THE SOIL TO A DEPTH OF FOUR INCHES (4") WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE AREA SHALL THEN BE ROLLED TO FORM THE SEEDBED. ALL STONES TWO INCHES OR LARGER AND ANY OTHER DEBRIS SHALL BE REMOVED PRIOR TO SEEDING.

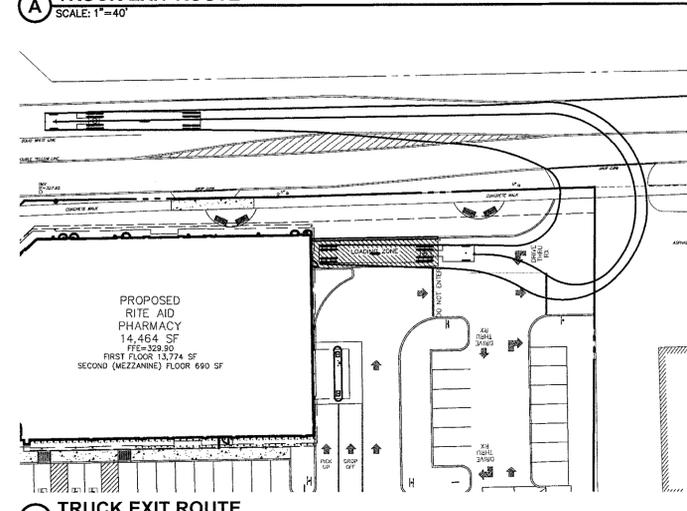
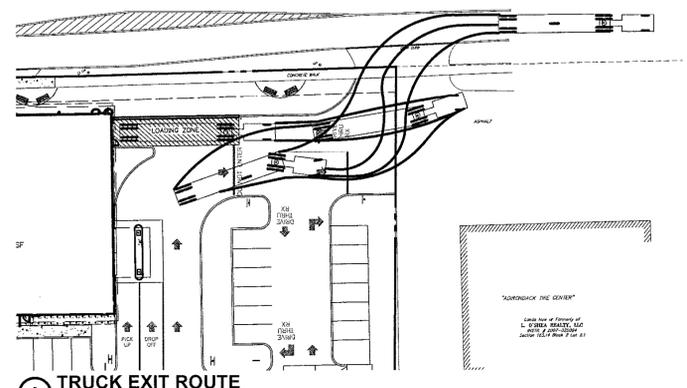
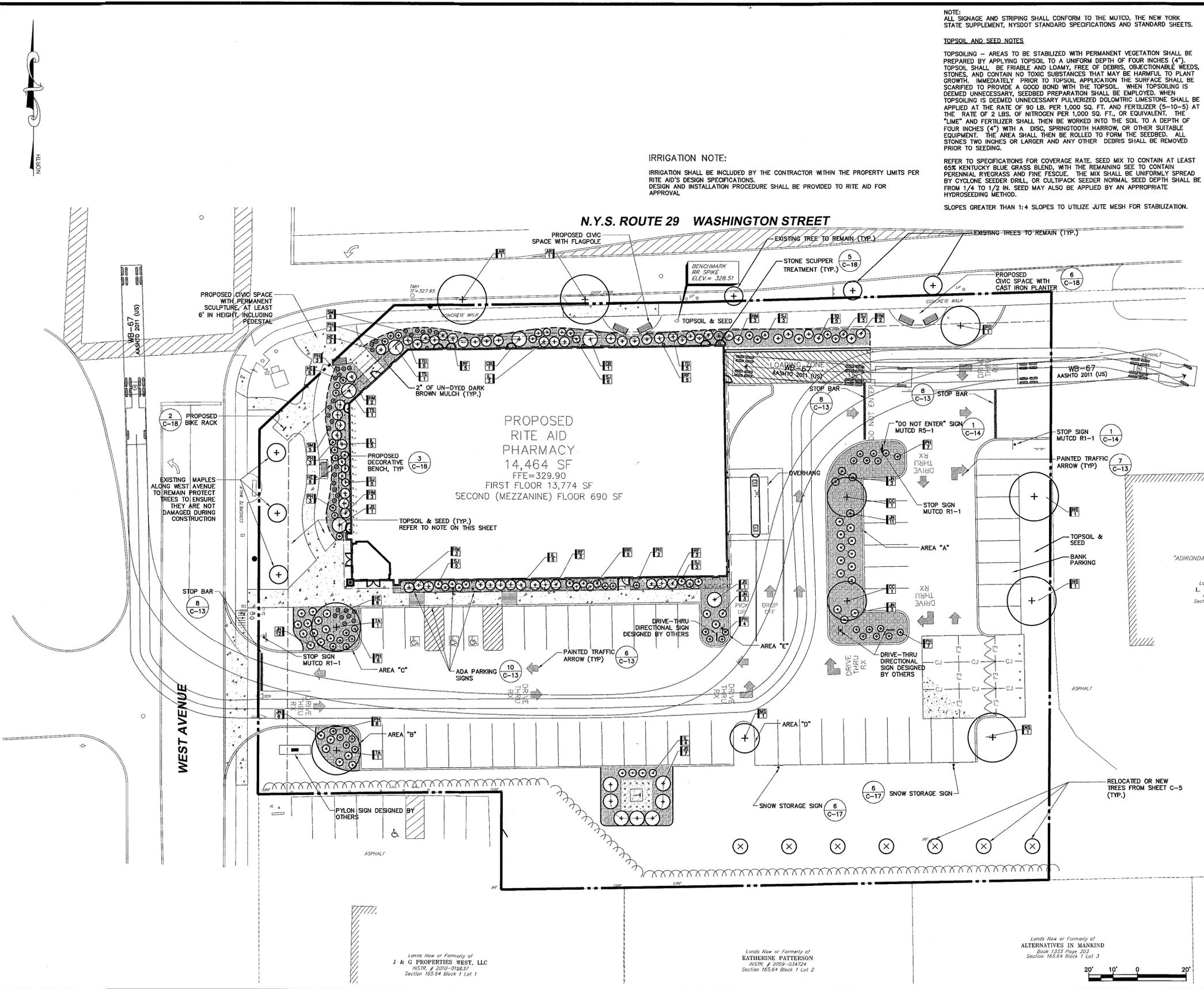
REFER TO SPECIFICATIONS FOR COVERAGE RATE. SEED MIX TO CONTAIN AT LEAST 65% KENTUCKY BLUE GRASS BLEND, WITH THE REMAINING SEE TO CONTAIN PERENNIAL RYEGRASS AND FINE FESCUE. THE MIX SHALL BE UNIFORMLY SPREAD BY CYCLONE SEEDER DRILL, OR CULTIPACK SEEDER NORMAL SEED DEPTH SHALL BE FROM 1/4 TO 1/2 IN. SEED MAY ALSO BE APPLIED BY AN APPROPRIATE HYDROSEEDING METHOD.

SLOPES GREATER THAN 1:4 SLOPES TO UTILIZE JUTE MESH FOR STABILIZATION.

**IRRIGATION NOTE:**

IRRIGATION SHALL BE INCLUDED BY THE CONTRACTOR WITHIN THE PROPERTY LIMITS PER RITE AID'S DESIGN SPECIFICATIONS. DESIGN AND INSTALLATION PROCEDURE SHALL BE PROVIDED TO RITE AID FOR APPROVAL.

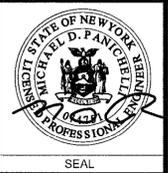
PLANT SCHEDULE					
SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREES					
AR	2	ACER RUBRUM 'OCTOBER GLORY'	RED MAPLE	3" CAL.	
CC	2	CERCIS CANADENSIS	EASTERN REDBUD	2" CAL.	
MS	1	MALUS 'ADIRONDACK'	FLOWERING CRABAPPLE	2" CAL.	
NS	3	NYSSA SYLVATICA	BLACK GUM	2" CAL.	20' O.C.
PG	1	PICEA GLAUCA	WHITE SPRUCE	8-10"	
TA	2	TILIA AMERICANA	AMERICAN LINDEN	3" CAL.	
SHRUBS					
GB	2	CHAMAECYPARIS PISIFERA 'BOULEVARD'	JAPANESE FALSECYPRESS	4'-5'	5' O.C.
HM	13	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	18"-24"	4' O.C.
IL	17	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	24"-30"	4' O.C.
JN	38	JUNIPERUS PROCUMBENS 'NANA'	DWARF GARDEN JUNIPER	3 GAL	5' O.C.
JS	9	JUNIPERUS SCOPULORUM 'WICHITA BLUE'	WICHITA BLUE JUNIPER	3'-4'	5' O.C.
RF	16	RHOODODENDRON 'CUNNINGHAM'S WHITE'	RHOODODENDRON	18"-24"	4' O.C.
RR	5	ROSA 'RADRAZZ'	DOUBLE KNOCKOUT ROSE	3 GAL	3' O.C.
SJ	25	SPIREA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIREA	3 GAL	3' O.C.
TD	15	TAXUS X MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	3 GAL	4' O.C.
TS	2	THUJA OCCIDENTALIS 'SMARGO'	EMERALD GREEN ARBORWITAE	5-6'	5' O.C.
PERENNIALS & GRASSES					
HE	20	HEMEROCALLIS 'HAPPY RETURNS'	DAYLILY	1 GAL	2' O.C.
PH	45	PENNISETUM 'HAEMELN'	DWARF FOUNTAIN GRASS	2 GAL	30" O.C.
SM	11	SALVIA 'MAY NIGHT'	PURPLE SAGE	1 GAL	2' O.C.



PB # 14.057  
APPROVED BY THE SARATOGA SPRINGS PLANNING BOARD UNDER AUTHORITY OF A RESOLUTION  
ADOPTED 4/14/16  
CHAIRPERSON Mark R. Jorg DATE 8/12/16

File Name: F:\m\954\954\_10C\_P\Lnas&Traff.dwg (Layout: C-10)  
Date: Wed, Jul 27, 2016 - 5:26 PM (Name: tschreengost)

SUBMITTAL / REVISIONS					
No.	DATE	DESCRIPTION	BY	REVIEWED BY:	DATE
1	-	SARATOGA SPRINGS PLANNING BOARD		JWE	2/17/15
2	12/23/15	SUBMISSION TO PLANNER	AML	JWE	1/23/15
3	2/3/16	REVISION TO ARCHITECTURE, LAYOUT AND GRADING	AML	JWE	2/3/16
4	2/8/16	REVISIONS	AML	JWE	2/8/16
5	4/22/16	PLANNING BOARD COMMENTS	APY	JWE	4/22/16
6	7/28/16	FINAL SUBMISSION	APY	JWE	7/27/16



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**Engineering and Land Surveying, P.C.**  
1533 Crescent Road - Clifton Park, NY 12065

NATIONAL RETAIL PROPERTIES  
**LANDSCAPING AND SITE TRAFFIC CONTROL**  
**SARATOGA RITE AID SITE PLAN**  
90 WEST AVENUE  
CITY OF SARATOGA SARATOGA COUNTY, NY

SCALE: 1" = 20'  
CONTRACT No.: -  
MJ PROJ. No.: 954.01  
DATE: 7/28/2016  
**C-10**

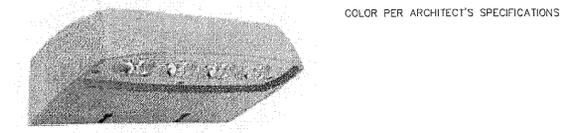
CREE LIGHTING SCHEDULE

Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Total Watts	Description
■	2	CPY250	SINGLE	8000	0.850	164	CPY250-A-DM-F-A-UL-WH
■	2	EDG-3MB	SINGLE	7806	0.850	268	ARE-EDG-3MB-DA-06-E-UL-BZ-700
■	2	EDG-4MB	SINGLE	8481	0.850	268	ARE-EDG-4MB-DA-06-E-UL-BZ-700
■	2	EDG-5S	SINGLE	13160	0.850	268	ARE-EDG-5S-DA-06-E-UL-BZ-700
■	6	XSPW	WALL MOUNT	4440	0.850	42	XSPW-A-0-3-M-C-U-Z

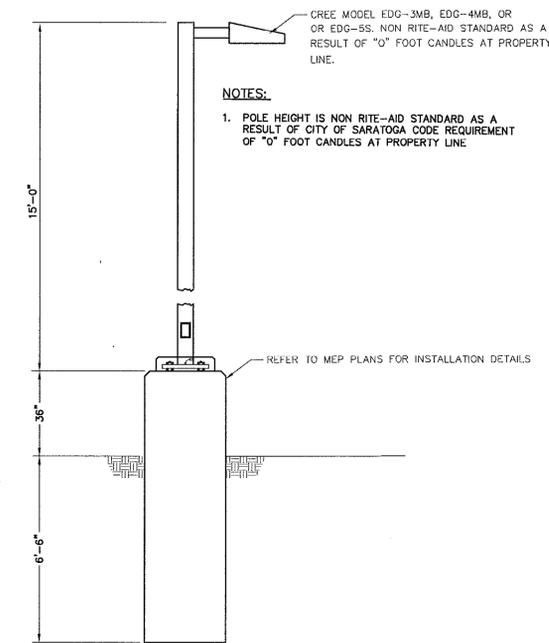
Calculation Summary: LMF = 0.85

Label	Avg	Max	Min	Avg/Min	Max/Min
Grade	1.38	9.5	0.0	N.A.	N.A.
Property Line	0.00	0.0	0.0	N.A.	N.A.
Sidewalk	2.33	4.8	0.2	11.65	24.00
Under canopy	13.63	23	5	2.73	4.60
East entrance	1.22	3.6	0.1	12.20	36.00
West entrance	2.05	3.0	0.9	2.28	3.33

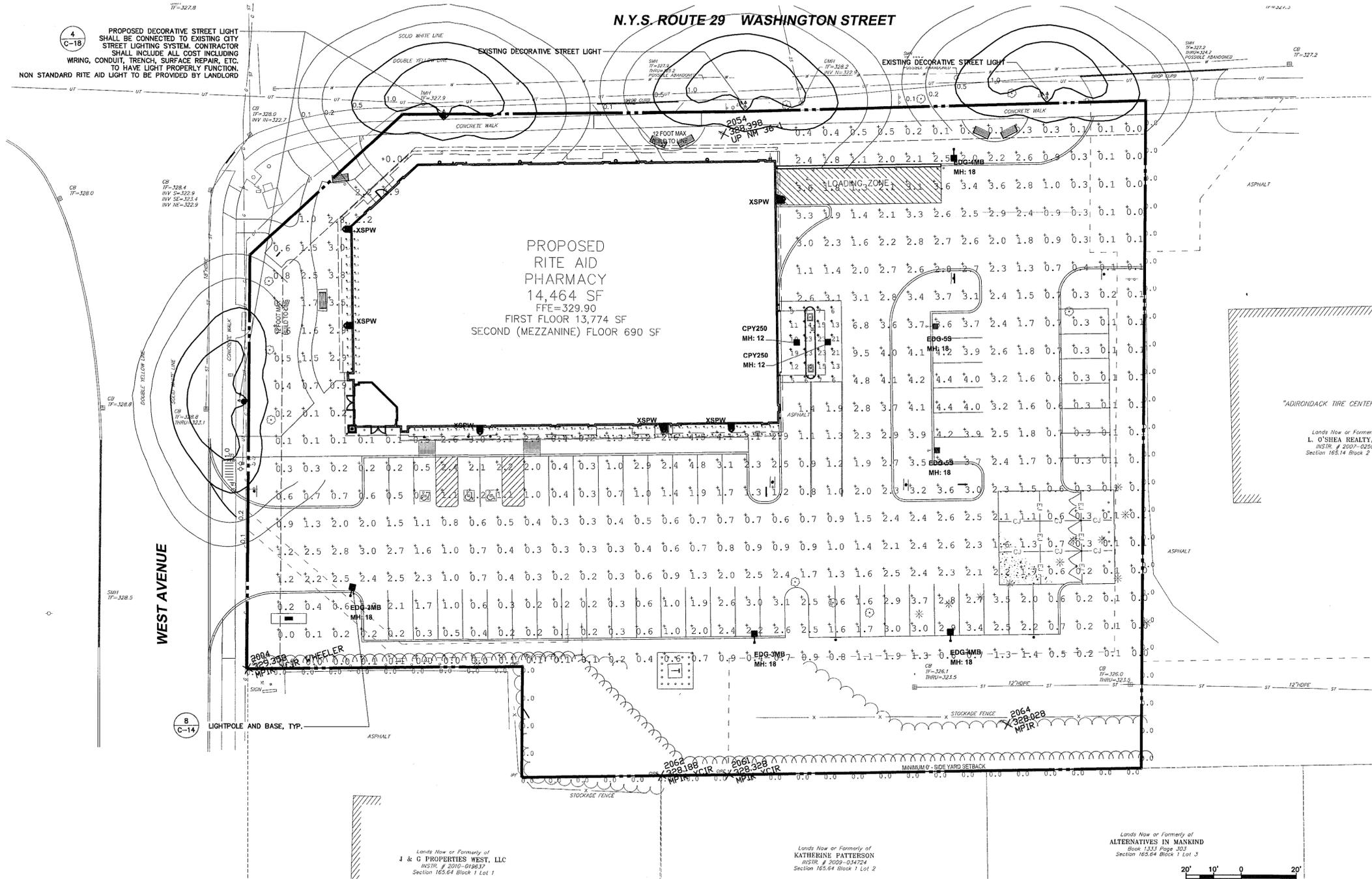
NOTE: 18' MH = 15' POLE + 3' BASE  
 POLE SCHEDULE  
 (6) PS4515C1BZ (15' x 4" x 0.125" STEEL SQUARE POLE, SINGLE MOUNT)  
 POLES MEET 14MPH WIND LOADS



1 WALL MOUNT EXTERIOR LIGHT  
 SCALE: N.T.S.

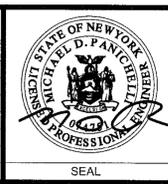


2 LIGHT POLE AND BASE DETAIL  
 SCALE: N.T.S.



PB # 14.057  
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 ADOPTED 4/14/16  
 CHAIRPERSON Mark R. Jorg DATE 8/12/16

No.	DATE	DESCRIPTION	BY	REVIEWED BY:	DATE	PROJ. MANAGER:	JSH
1	-	SARATOGA SPRINGS PLANNING BOARD		JWE	2/17/15	CHIEF DESIGNER:	JWE
2	12/23/15	SUBMISSION TO PLANNER	AML	JWE	1/23/15	DESIGNED BY:	JMF
3	2/3/16	REVISION TO ARCHITECTURE, LAYOUT AND GRADING	AML	JWE	2/3/16	DRAWN BY:	JMF
4	2/8/16	REVISIONS	AML	JWE	2/8/16	CHECKED BY:	JWE
5	4/22/16	PLANNING BOARD COMMENTS	APY	JWE	4/22/16		
6	7/28/16	FINAL SUBMISSION	APY	JWE	7/27/16		

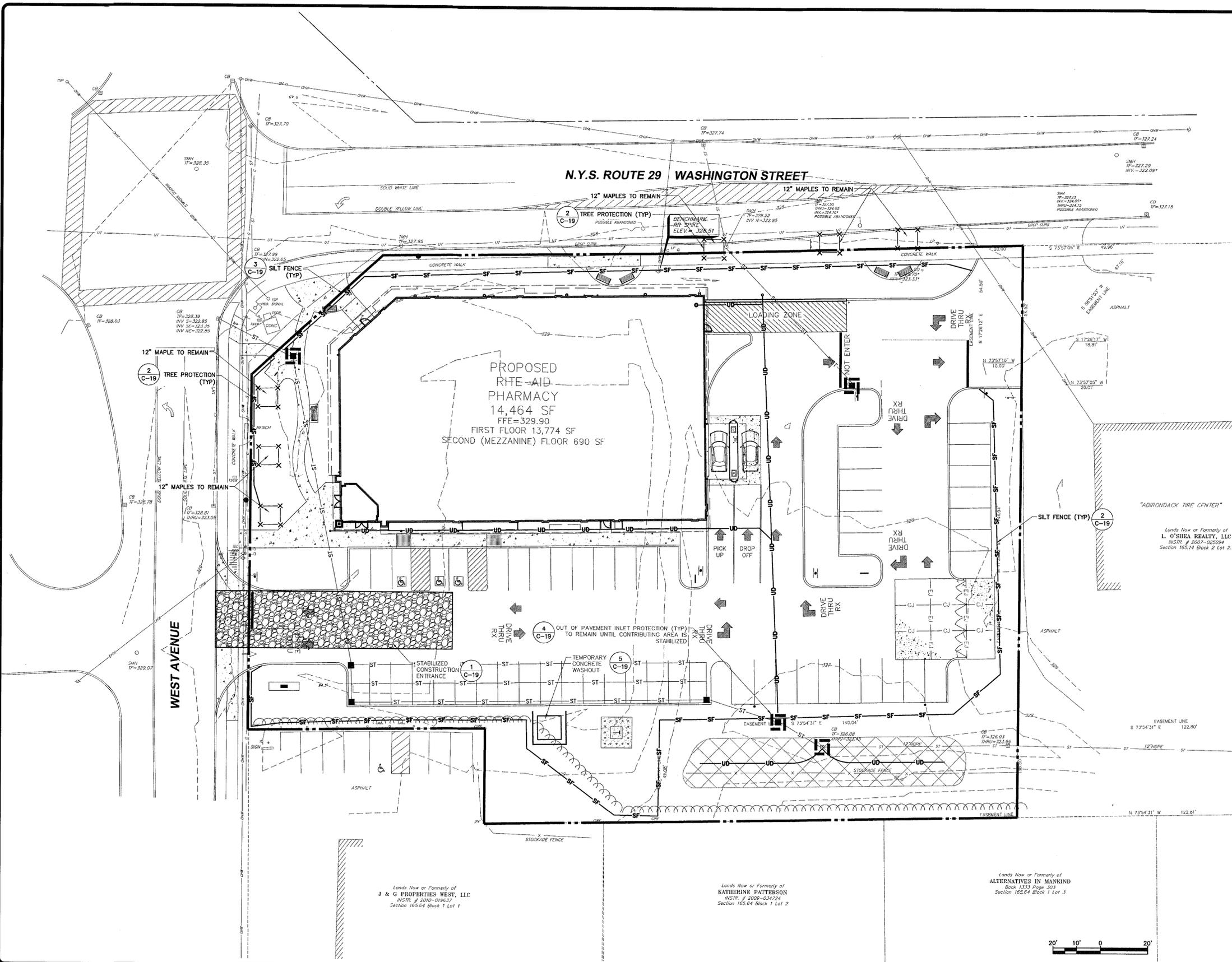


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**Engineering and Land Surveying, P.C.**  
 1533 Crescent Road - Clifton Park, NY 12065

NATIONAL RETAIL PROPERTIES  
**LIGHTING AND PHOTOMETRIC PLAN**  
**SARATOGA RITE AID SITE PLAN**  
 90 WEST AVENUE  
 CITY OF SARATOGA SARATOGA COUNTY, NY

SCALE: 1" = 20'  
 CONTRACT No.: -  
 MJ PROJ. No.: 954.01  
 DATE: 7/28/2016  
**C-11**



**SOIL RESTORATION**

1. APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
2. TILL COMPOST INTO SUBSOIL TO DEPTH OF AT LEAST 12 INCHES USING XCAT-MOUNTED RIPPER, TRACTOR MOUNTED DISC, OR TILLER, MIXING AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
3. ROCK-PICK UNTIL UPLIFT STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE.
4. APPLY TOPSOIL TO DEPTH OF 6 INCHES
5. VEGETATE AS REQUIRED BY APPROVED PLAN.
6. AT THE END OF PROJECT AN INSPECTOR SHOULD BE ABLE TO PUSH A 3/8" METAL BAR 12" INCHES INTO SOIL JUST WITH BODY WEIGHT. TILLING (STEP 2 ABOVE) SHOULD NOT BE PERFORMED WITHIN THE DRIP LINE OF ANY EXISTING TREES OR OVER UTILITY INSTALLATIONS THAT ARE WITHIN 24 INCHES OF THE SURFACE.
7. COMPOST SHALL BE AGED, FROM PLANT DERIVED MATERIALS, FREE OF VIABLE WEEDS SEEDS, HAVE NO VISIBLE FREE WATER OR DUST PRODUCED WHEN HANDLING, PASS THROUGH A HALF INCH SCREEN AND HAVE A PH SUITABLE TO GROW DESIRED PLANTS.
8. TOPSOIL SHALL MEETING THE SPECIFICATIONS OF NYSDOT TYPE "A" TOPSOIL.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION AND SEDIMENT CONTROL TO PROTECT SURROUNDING WATER BODIES

**SUGGESTED CONSTRUCTION SEQUENCE**

1. CONTRACTOR TO INSTALL SILT FENCE
2. INSTALL CONSTRUCTION ENTRANCE IN EXISTING CAR WASH LOT.
3. REMOVE EXISTING CAR WASH BUILDING.
4. INSTALL UTILITIES FOR TEMPORARY STORE
5. ROUGH GRADE AREA AND INSTALL TEMPORARY PAVEMENT AND PAVEMENT MARKINGS FOR TEMPORARY STORE.
6. INSTALL TEMPORARY STORE
7. INSTALL TEMPORARY CONSTRUCTION FENCE AROUND TEMPORARY BUILDING/PARKING AREA.
8. INSTALL SITE FENCE, TREE PROTECTION AND CONSTRUCTION ENTRANCE FOR MAIN PROJECT.
9. REMOVE EXISTING RITE AID BUILDING.
10. ROUGH GRADE AREAS
11. INSTALL BUILDING FOUNDATION/ BUILDING CONSTRUCTION
12. INSTALL STORM SYSTEM UNDERGROUND STORM ARRAY, WATER, SEWER AND LIGHT POLE BASES
13. INSTALL TEMPORARY CATCH BASIN PROTECTION
14. INSTALL SUBBASE/PARKING LOTS/STRIPING
15. INSTALL SIDEWALKS, CURBS, LIGHTNING WITHIN ROW
16. INSTALL BIORETENTION AREA
17. PERFORM SOIL RESTORATION
18. INSTALL LANDSCAPING AND SIGNAGE
19. STABILIZE EXPOSED SOILS

PB # 14.057

APPROVED BY THE SARATOGA SPRINGS PLANNING BOARD UNDER AUTHORITY OF A RESOLUTION

ADOPTED 4/14/16

CHAIRPERSON Mad R. Long DATE 8/12/16

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Lands Now or Formerly of  
**J & G PROPERTIES WEST, LLC**  
NYSR # 2010-019537  
Section 165.64 Block 1 Lot 1



Lands Now or Formerly of  
**KATHERINE PATTERSON**  
NYSR # 2009-044294  
Section 165.64 Block 1 Lot 2

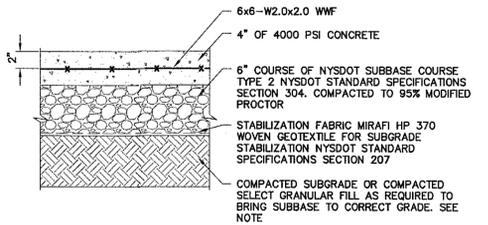
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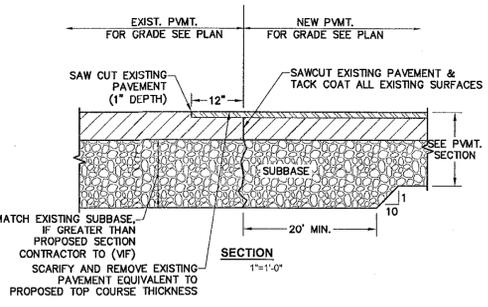
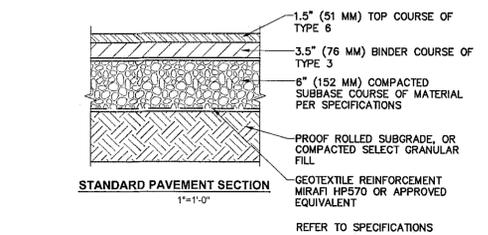
NATIONAL RETAIL PROPERTIES  
**EROSION AND SEDIMENT CONTROL PLAN**  
**SARATOGA RITE AID SITE PLAN**  
90 WEST AVENUE  
CITY OF SARATOGA SARATOGA COUNTY, NY

SCALE: 1" = 20'  
CONTRACT No.: -  
MJ PROJ. No.: 954.01  
DATE: 7/28/2016  
**C-12**

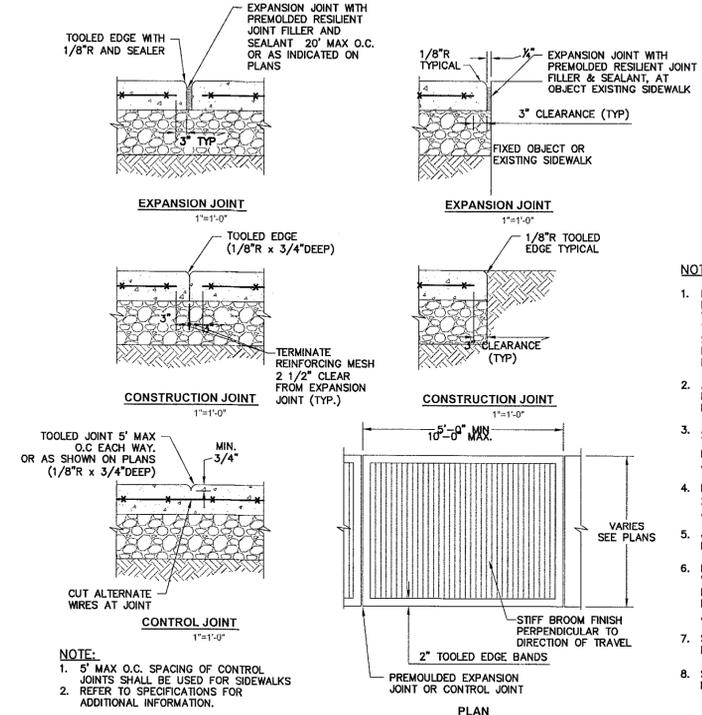
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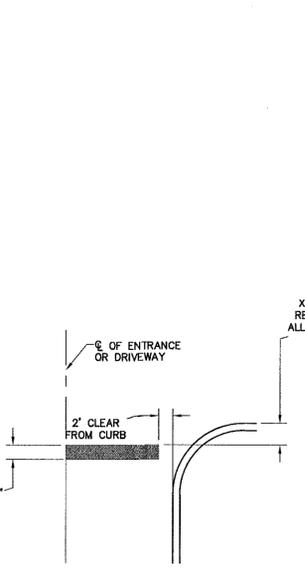
**1 CONCRETE WALK SECTION**  
SCALE: N.T.S.



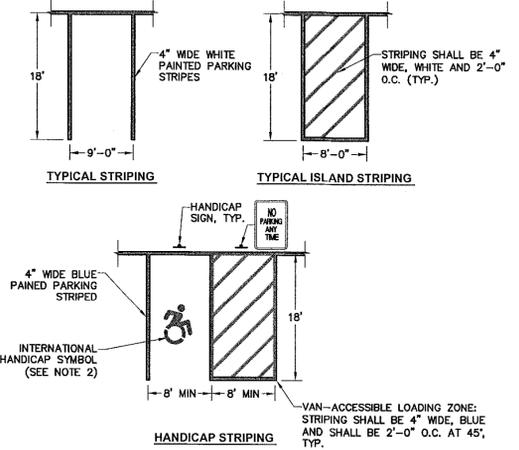
**2 PAVEMENT TRANSITION SECTION**  
SCALE: N.T.S.



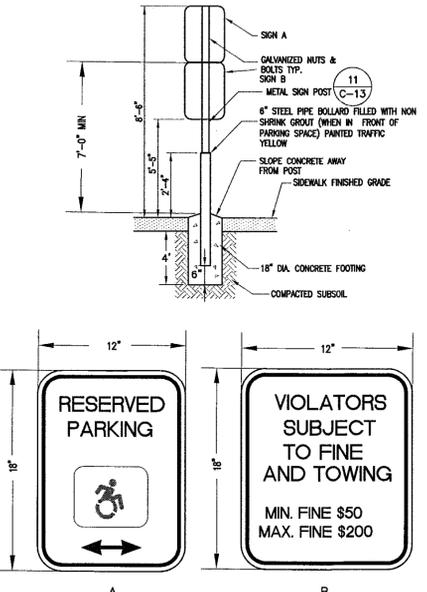
**3 CONCRETE WALK JOINT AND FINISH SURFACE DETAIL**  
SCALE: N.T.S.



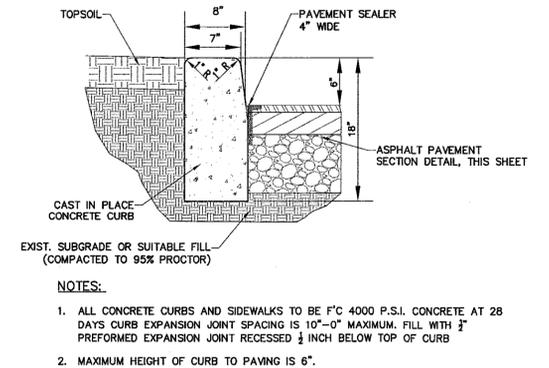
**8 PAVEMENT MARKING DETAIL STOP BAR**  
SCALE: N.T.S.



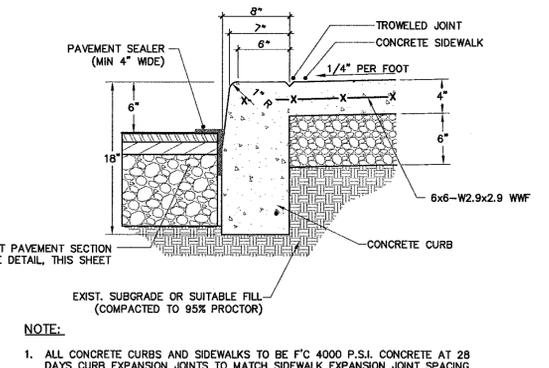
**9 PAVEMENT MARKING DETAIL PAVEMENT STRIPING**  
SCALE: N.T.S.



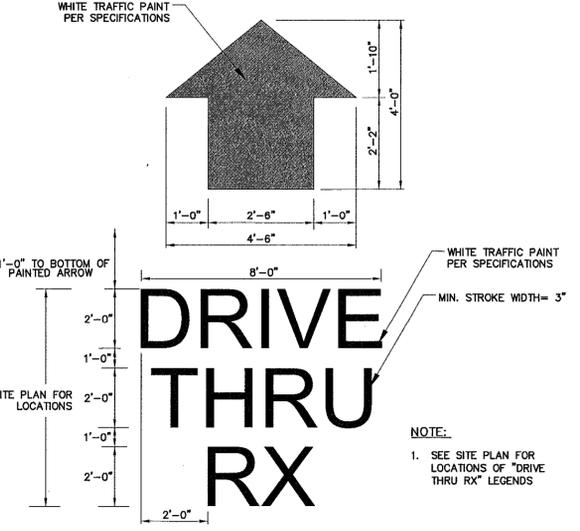
**10 HANDICAPPED PARKING SIGNAGE DETAIL**  
SCALE: N.T.S.



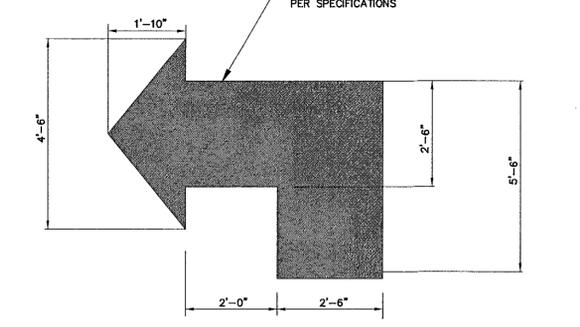
**4 CURB DETAIL - ON SITE**  
SCALE: N.T.S.



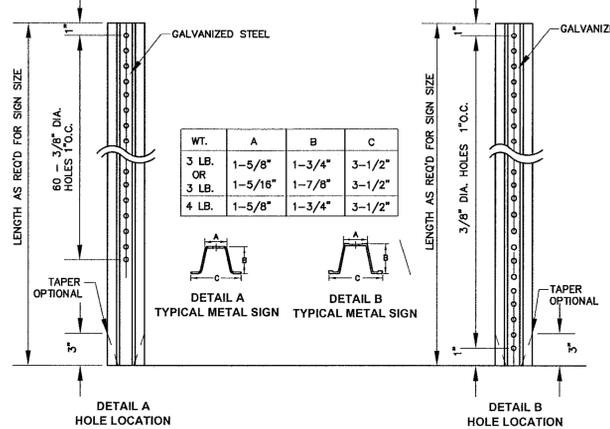
**5 CURB DETAIL WITH MONOLITHIC SIDEWALK ONSITE**  
SCALE: N.T.S.



**6 PAINTED TRAFFIC ARROW AND LEGEND DETAIL**  
SCALE: N.T.S.



**7 PAINTED TRAFFIC ARROW DETAIL**  
SCALE: N.T.S.

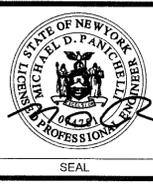


**11 TYPICAL METAL SIGN POSTS**  
SCALE: N.T.S.

PB # 14.057  
APPROVED BY THE SARATOGA SPRINGS PLANNING BOARD UNDER AUTHORITY OF A RESOLUTION  
ADOPTED 4/14/16  
CHAIRPERSON M. R. [Signature] DATE 8/12/16

File Name: F:\img54954\_13C\_F-Details.dwg (Layout: C-13) Date: Wed, Jul 27, 2016 - 5:28 PM (Name: tschecangost)

No.	DATE	DESCRIPTION	BY	REVIEWED BY:	DATE	PROJ. MANAGER:
1		SARATOGA SPRINGS PLANNING BOARD SUBMISSION TO PLANNER		JWE	2/17/15	JSH
2	12/23/15		AML	JWE	1/23/15	JWE
3	2/3/16	REVISION TO ARCHITECTURE, LAYOUT AND GRADING	AML	JWE	2/3/16	JMF
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6	7/28/16	FINAL SUBMISSION	APY	JWE	7/27/16	JWE

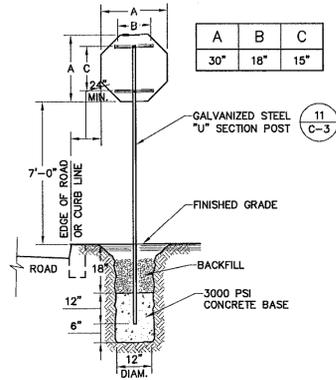


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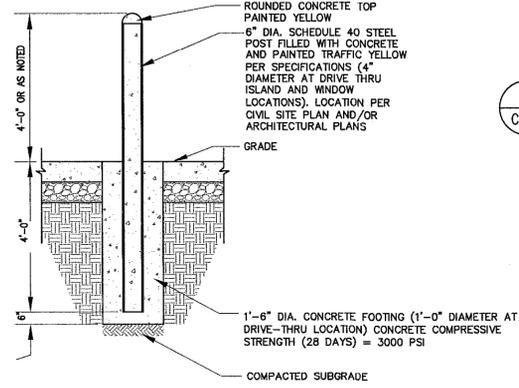
NATIONAL RETAIL PROPERTIES  
**SARATOGA RITE AID SITE PLAN**  
90 WEST AVENUE  
CITY OF SARATOGA SARATOGA COUNTY, NY

SCALE: 1" = 20'  
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**C-13**

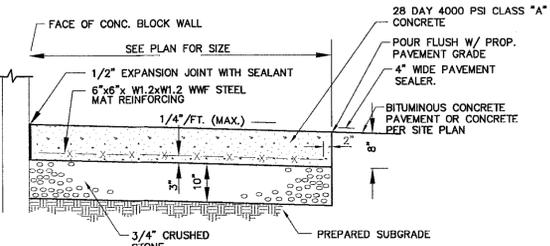


NOTE:  
1. CONTRACTOR TO PROVIDE SIGN IN ACCORDANCE WITH MUTCD SPECIFICATIONS.

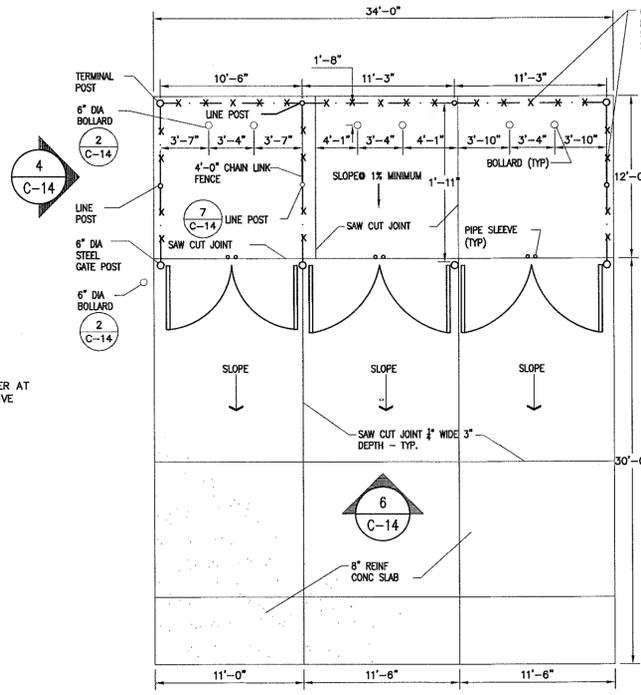
**1 SINGLE POST STOP SIGN MOUNTING DETAIL**  
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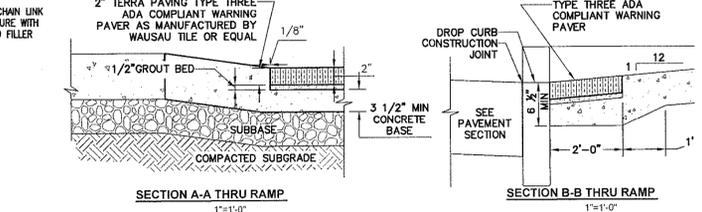
**2 BOLLARD DETAIL**  
SCALE: N.T.S.



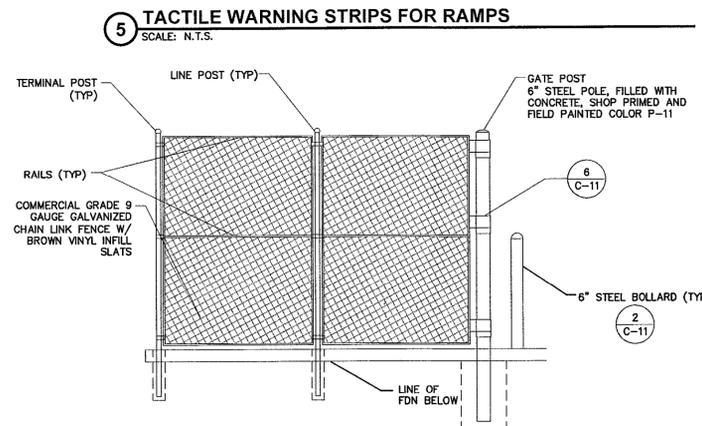
**2A DUMPSTER PAD PAVEMENT**  
SCALE: N.T.S.



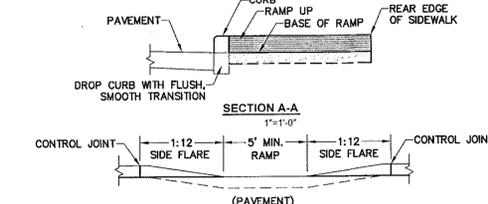
**3 TRASH ENCLOSURE PLAN**  
SCALE: N.T.S.



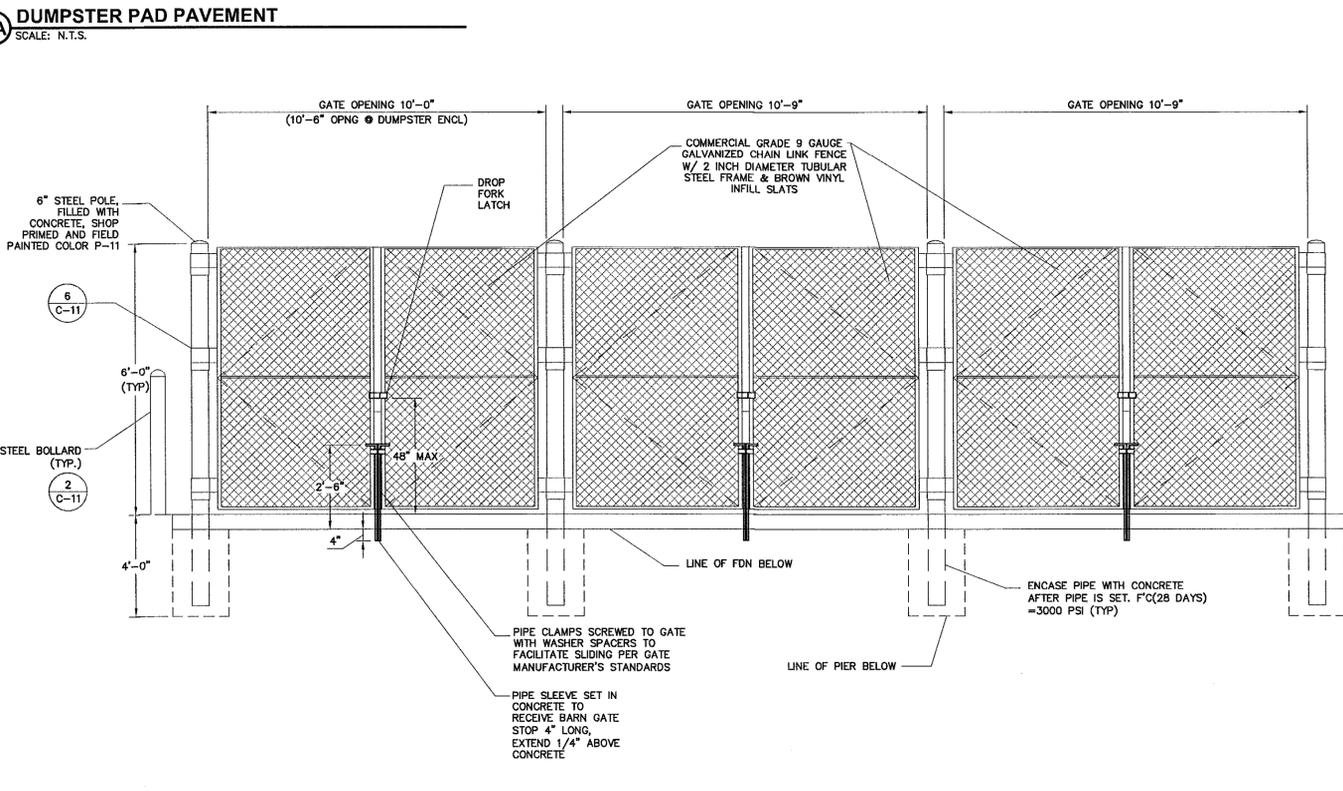
**5 TACTILE WARNING STRIPS FOR RAMPS**  
SCALE: N.T.S.



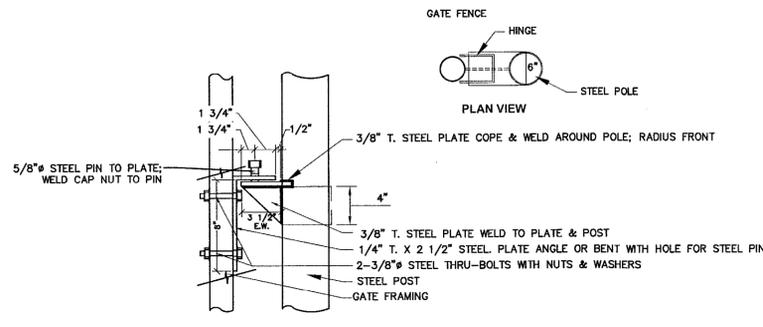
**4 TRASH ENCLOSURE SIDE ELEVATION**  
SCALE: N.T.S.



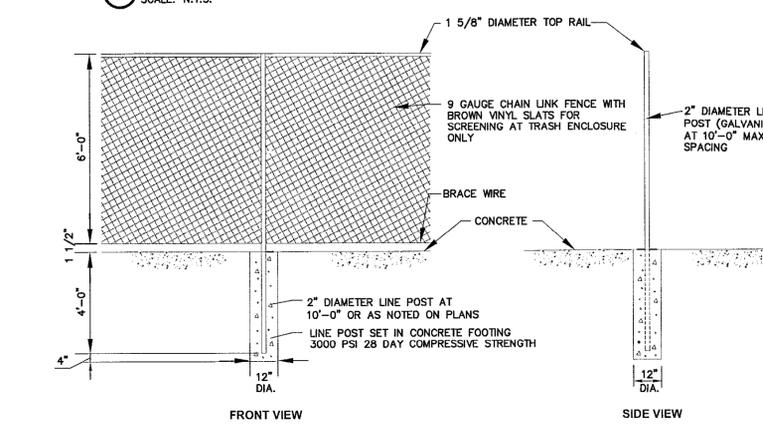
**5A PEDESTRIAN RAMP SECTION - DROP CURB**  
SCALE: N.T.S.



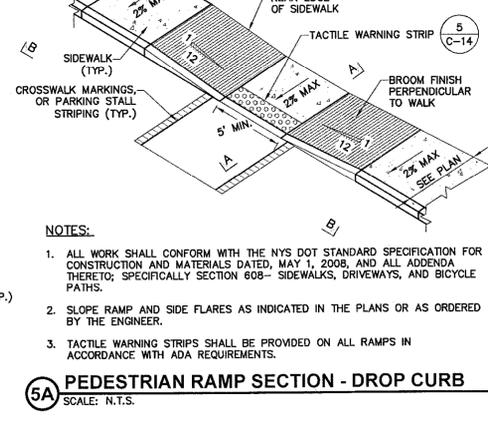
**6 TRASH ENCLOSURE ELEVATION**  
SCALE: N.T.S.



**6 GATE HINGE**  
SCALE: N.T.S.



**7 CHAIN LINK FENCE DETAIL**  
SCALE: N.T.S.



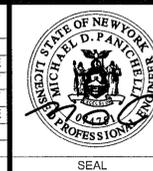
**8 LIGHT POLE AND BASE DETAIL**  
SCALE: N.T.S.

PB # 14.057  
APPROVED BY THE SARATOGA SPRINGS PLANNING BOARD UNDER AUTHORITY OF A RESOLUTION  
ADOPTED 4/14/16  
CHAIRPERSON Madh R. Vajr DATE 8/12/16

File Name: F:\img\94564\_13C\_P\_Details.dwg (Layout: C-14)  
Date: Wed, Jul 27, 2016 - 5:28 PM (Name: tschreengal)

SUBMITTAL / REVISIONS					
No.	DATE	DESCRIPTION	BY	REVIEWED BY:	DATE
1		SARATOGA SPRINGS PLANNING BOARD		JWE	2/17/15
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5	4/22/16	PLANNING BOARD COMMENTS	APY	JWE	4/22/16
6	7/28/16	FINAL SUBMISSION	APY	JWE	7/27/16

PROJ. MANAGER: JSH  
CHIEF DESIGNER: JWE  
DESIGNED BY: JMF  
DRAWN BY: JMF  
CHECKED BY: JWE

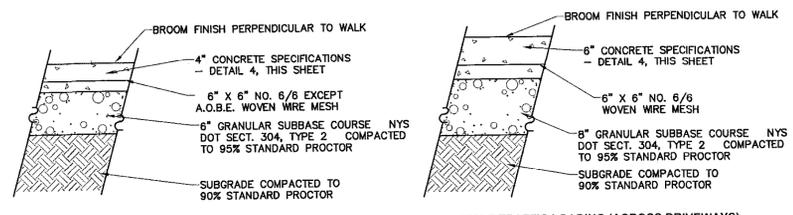


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**Engineering and Land Surveying, P.C.**  
1533 Crescent Road - Clifton Park, NY 12065

NATIONAL RETAIL PROPERTIES  
**SARATOGA RITE AID SITE PLAN**  
90 WEST AVENUE  
CITY OF SARATOGA SARATOGA COUNTY, NY

SCALE: 1" = 20'  
CONTRACT No.: -  
MJ PROJ. No.: 954.01  
DATE: 7/28/2016  
**C-14**

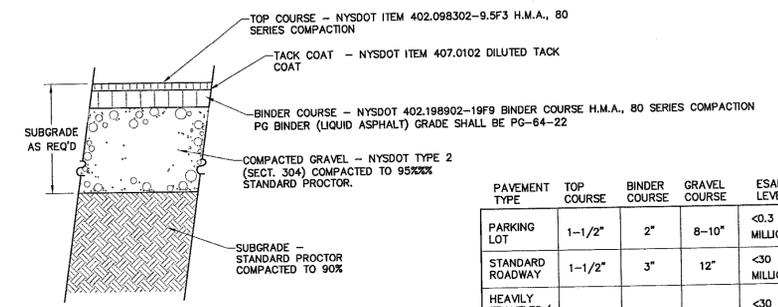


TYPE 1 - TYPE PEDESTRIAN TRAFFIC LOADING  
TYPE 2 - VEHICLE TRAFFIC LOADING (ACROSS DRIVEWAYS)

**NOTES:**

1. EXPANSION JOINT SPACING - 20'-25' O.C.
2. CONTROL JOINT SPACING - 5' O.C. NOMINAL
3. CROSS SLOPE - 1/8" TO 1/4" PER FOOT (MAX. SLOPE 1:50 TYP.) TOWARDS STREET OR A.O.B.E
4. MAX. SLOPE ALONG THE LENGTH OF THE WALK SHOULD NOT EXCEED 1:12
5. CONSTRUCTION JOINT DETAILS TO BE SUBMITTED AND APPROVED BY CITY ENGINEER
6. SIDEWALK WIDTH TO BE 5' MIN. OR AS ORDERED BY CITY ENGINEER.

**1 CITY SIDEWALK STANDARD DETAIL (WITHIN CITY ROW ONLY)**  
SCALE: N.T.S.



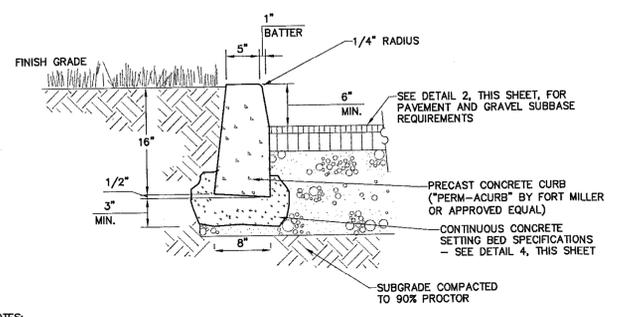
PAVEMENT TYPE	TOP COURSE	BINDER COURSE	GRAVEL COURSE	ESAL LEVEL
PARKING LOT	1-1/2"	2"	8-10"	<0.3 MILLION
STANDARD ROADWAY	1-1/2"	3"	12"	<30 MILLION
HEAVILY TRAVELED/ TRUCK LOADING	2"	* 4"	12"	<30 MILLION

\* SEE NOTE 2

**NOTES:**

1. PAVEMENT SECTIONS SPECIFIED ARE TYPICAL FOR STREET, DRIVEWAY AND PARKING LOT CONSTRUCTION WHERE TRAFFIC VOLUMES AND LOADINGS ARE NOT EXCESSIVE. BASED ON ANTICIPATED VOLUMES AND LOADS, THE CITY ENGINEER MAY REQUIRE STRUCTURAL PAVEMENT SECTION TO BE INCREASED TO CARRY DESIGN LOADING.
2. BINDER TO BE PLACED IN 2 - 2" LIFTS W/ TACK COAT BETWEEN.
3. THE CITY ENGINEER MAY REQUIRE COMPACTION TESTING AND/OR CORE SAMPLES TO VERIFY PAVEMENT THICKNESS. ALL TESTING SHALL BE AS ORDERED BY THE CITY ENGINEER AND SHALL BE PAID FOR BY THE CONTRACTOR.
4. NOTIFY THE CITY ENGINEER 48 HOURS MINIMUM PRIOR TO COMMENCING PAVING OPERATIONS.

**2 ASPHALT PAVEMENT (WITHIN CITY ROW ONLY)**  
SCALE: N.T.S.



**NOTES:**

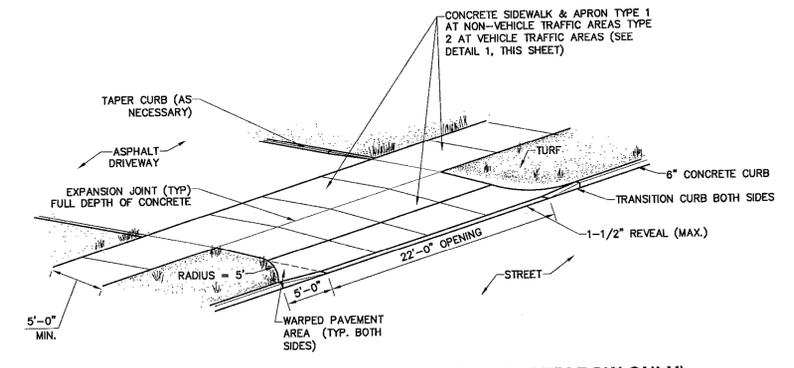
1. CURB PLACEMENT SHALL CONFORM TO N.Y.S. DOT STD. SPECIFICATIONS SECT. 609-306.
2. CONCRETE STRENGTH SHALL BE 5,000 P.S.I. AVG.
3. ENTRAINED AIR SHALL BE 5% - 9%
4. WATER/CEMENT RATIO SHALL BE LESS THAN 0.40
5. AVERAGE FREEZE/THAW LOSS SHALL BE LESS THAN 4%
6. STEEL/FIBERGLASS FORM FINISH
7. MANUFACTURED IN ACCORDANCE WITH N.Y.S.D.O.T. SEC 714-04
8. BUTT UNITS TOGETHER WITHOUT MORTAR

**3 TYPE 2 CURB - PRECAST CONCRETE AT TURF (WITHIN CITY ROW ONLY)**  
SCALE: N.T.S.

**CITY OF SARATOGA SPRINGS CONCRETE SPECIFICATIONS**

1. THE FOLLOWING CONCRETE SPECIFICATIONS SHALL APPLY TO ALL CONCRETE WORK WITHIN THE CITY OF SARATOGA SPRINGS RIGHT OF WAY AND/OR WITHIN THE APPROVAL AUTHORITY OF THE PLANNING BOARD. ALL MATERIALS MUST BE FROM AN APPROVED NYSDOT SOURCE. QUANTITIES MAY VARY DUE TO VARIATIONS IN MATERIALS. PLANT BATCH TICKETS SHALL BE PROVIDED UPON REQUEST BY THE CITY ENGINEER. IF "APPROVED EQUAL" MIXES ARE BEING PROPOSED, PRIOR APPROVAL SHALL BE OBTAINED FROM THE CITY ENGINEER. SUBMITTALS FOR "APPROVED EQUAL" MIXES SHALL BE PROVIDED WITH TEST RESULTS FROM AT LEAST THREE (3) PREVIOUS JOBS.
2. WHEN AIR TEMPERATURES ARE 60 DEGREES FAHRENHEIT AND BELOW, A NON-CHLORINE ACCELERATOR IS REQUIRED PER A.C.I. SECTION 306R-88. WHEN AIR TEMPERATURES ARE 90 DEGREES FAHRENHEIT AND ABOVE, AN INCREASE IN RETARDER IS REQUIRED TO CONTROL SET TIME PER A.C.I. 305R-99.
3. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 P.S.I. AT 28 DAYS AND SHALL CONFORM TO THE NYSDOT 2002 SPECIFICATIONS AS LISTED IN SECTION 501-2 FOR CLASS "A" MIX (OR APPROVED EQUAL).  
NOTE: A SUPERPLASTICIZER MAY BE USED TO INCREASE SLUMP AND WORKABILITY WITHOUT INCREASING THE WATER/CEMENT RATIO. UP TO 20 PERCENT OF THE CEMENT CONTENT MAY BE SUBSTITUTED WITH POZZOLAN. THE INITIAL SLUMP PRIOR TO THE ADDITION OF A SUPERPLASTICIZER IS APPROXIMATELY 2 INCHES TO 3 INCHES.
4. ALL SIDEWALKS CONSTRUCTED FROM NOVEMBER 1 THROUGH APRIL 30 SHALL BE TREATED WITH A PENETRATING TYPE PROTECTIVE SEALER PER NYSDOT ITEM 717-03 TO PROTECT THE FRESH SURFACE AGAINST SPALLING CAUSED BY SALT INFILTRATION.
5. ALL SLIP-FORM CONCRETE CURBING SHALL CONFORM TO THE REQUIREMENTS FOR A CLASS J CONCRETE MIXTURE (OR APPROVED EQUAL).
6. ANY CLARIFICATIONS, REVISIONS, OR MODIFICATIONS THERETO SHALL ONLY BE MADE SUBJECT TO APPROVAL OF THE CITY ENGINEER.

**4 CITY OF SARATOGA CONCRETE SPECS (WITHIN CITY ROW ONLY)**  
SCALE: N.T.S.



**5 DROP CURB AT COMMERCIAL DRIVEWAY (WITHIN CITY ROW ONLY)**  
SCALE: N.T.S.

PB # 14.057

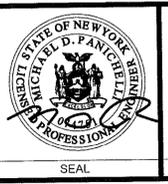
APPROVED BY THE SARATOGA SPRINGS PLANNING BOARD UNDER AUTHORITY OF A RESOLUTION

ADOPTED 4/14/16

CHAIRPERSON Mark R. Voff DATE 8/12/16

File Name: F:\mjb54954\_13C\_P-Details.dwg (Layout: C-15) Date: Wed, Jul 27, 2016 - 5:28 PM (Name: tschreingost)

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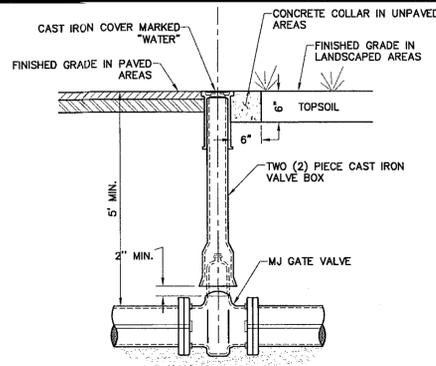


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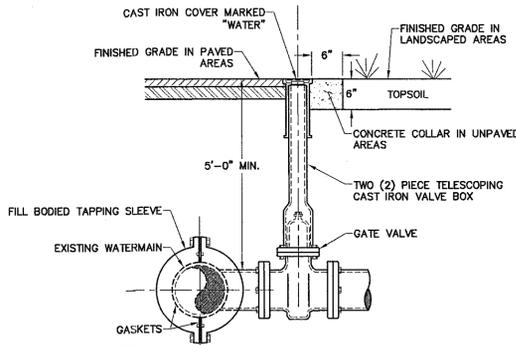
NATIONAL RETAIL PROPERTIES  
**CITY OF SARATOGA**  
**SARATOGA RITE AID SITE PLAN**  
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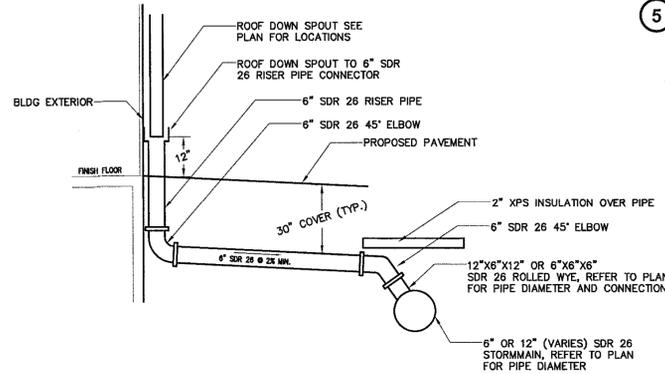
- NOTES:**
1. MINIMUM DISTANCE TO JOINTS, FITTINGS, OR OTHER WET TAPS OR STOPS SHALL BE 3 FEET.
  2. IF VALVE IS TO BE RODDED, PROVIDE VALVE WITH RODDING FLANGES OR EYEBOLTS. TWO (2) 3/4" GALVANIZED STEEL RODS WITH MALLEABLE IRON NUTS AT 180° SPACING SHALL BE USED FOR RODDING VALVES.
  3. MAKE AND MODEL OF GATE VALVE & VALVE BOX SHALL BE IN ACCORDANCE WITH PROJECT SPECIFICATIONS. SEE SECTION 331216.

**1 TYPICAL GATE VALVE DETAIL**  
SCALE: N.T.S.

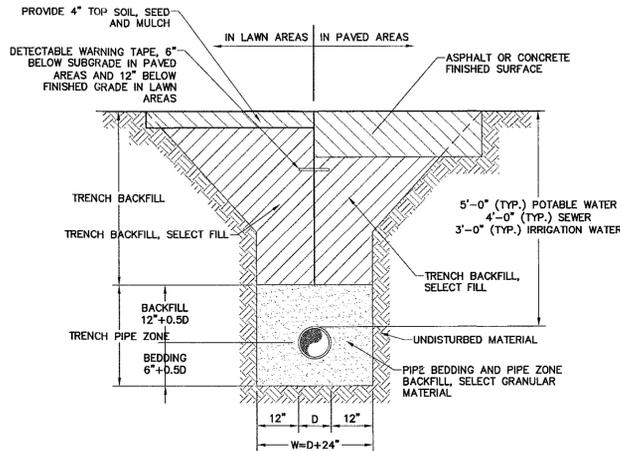


- NOTES:**
1. WET TAP OF WATER MAIN SHALL BE PERFORMED UNDER THE SUPERVISION OF THE ENGINEER, AND THE FACILITY HAVING JURISDICTION.
  2. TAPPING SLEEVE AND VALVE SUPPORT SHALL BE COORDINATED WITH THE ENGINEER TO SUIT FIELD CONDITIONS.
  3. MINIMUM DISTANCE TO JOINTS, FITTINGS, OR OTHER WET TAPS OR STOPS SHALL BE 3 FEET.
  4. TAPPING SLEEVE, VALVE & VALVE BOX SHALL BE IN ACCORDANCE WITH CITY SPECIFICATIONS.

**4 TAPPING SLEEVE AND VALVE DETAIL**  
SCALE: N.T.S.

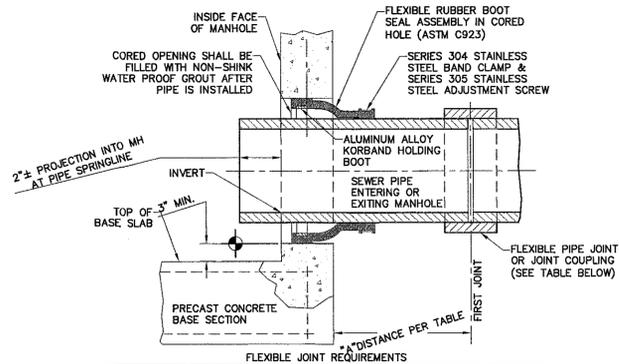


**7 DOWNSPOUT TO STORM CONNECTION**  
SCALE: N.T.S.



- NOTES:**
1. D=OUTSIDE PIPE DIAMETER
  2. TRENCHING SHALL BE IMPLEMENTED IN ACCORDANCE WITH O.S.H.A. STANDARDS.
  3. REFER TO SPECIFICATIONS FOR TRENCH MATERIALS AND REQUIRED COMPACTION

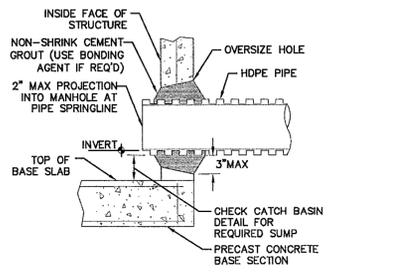
**2 UTILITY/STORM SEWER TYPICAL TRENCH AND BEDDING WITH SITE**  
SCALE: N.T.S.



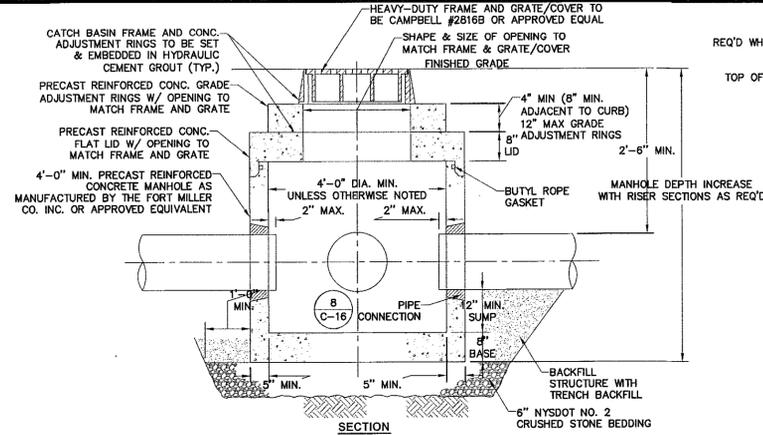
SEWER PIPE TYPE	FLEXIBLE JOINT TYPE IN & OUT	"A" DISTANCE (FEET)
DUCTILE IRON	STD RUBBER GASKET PIPE JOINT ONLY	10' MAX.
PVC	STD RUBBER GASKET PIPE JOINT ONLY	3' MAX.

- NOTE:**
1. REFERENCE MANHOLE DETAIL(S) FOR REQUIRED INVERT CHANNEL CONFIGURATION.

**5 PIPE CONNECTION TO MANHOLE- PRECAST OR CORED HOLE W/ INSERTED FLEXIBLE BOOT**  
SCALE: N.T.S.

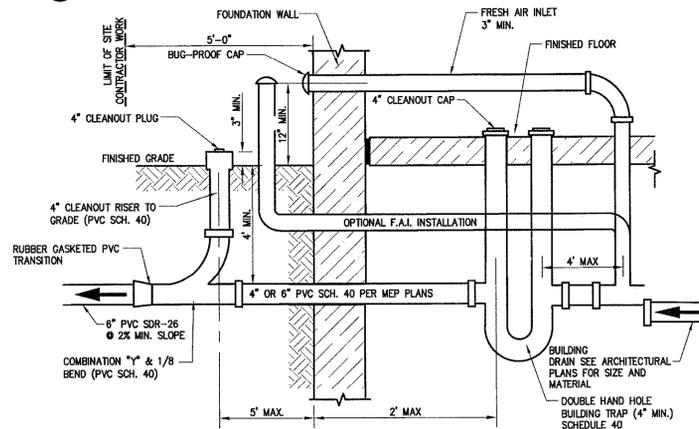


**8 PIPE CONNECTION TO DRAINAGE STRUCTURE- HDPE CEMENT GROUT SEAL JOINT**  
SCALE: N.T.S.

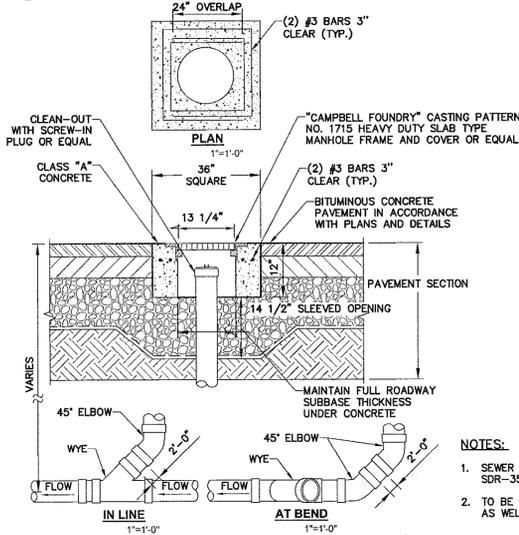


- NOTES:**
1. CONCRETE CATCH BASIN LID CLEAR OPENING DIMENSION MUST MATCH FRAME AND GRATE CLEAR OPENING DIMENSION.
  2. CATCH BASINS HAVING A DEPTH GREATER THAN 48" FROM FINISHED SURFACE TO THE FLOOR OF THE CONCRETE BASE SHALL BE PROVIDED WITH STEPS.
  3. BACKFILL USING TRENCH BACKFILL, COMPACTION IN 6" LIFTS.
  4. SUMPS FOR CATCH BASINS SHALL BE 12".
  5. ECCENTRIC CONE TOP CAN BE USED FOR MANHOLES DEPTH GREATER THAT 7 FEET.

**3 PRECAST CONCRETE CATCH BASIN/MANHOLE DETAIL**  
SCALE: N.T.S.

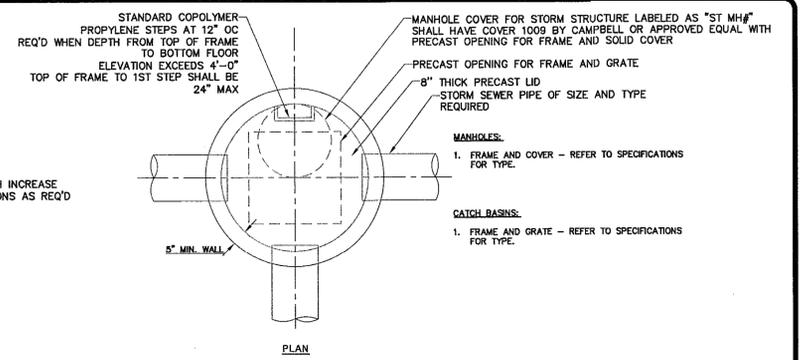


**6 TYPICAL COMMERCIAL BUILDING SEWER SERVICE**  
SCALE: N.T.S.



- NOTES:**
1. SEWER PIPE FITTINGS TO BE ASTM D-3033 OR D-3034 SDR-35 PVC.
  2. TO BE USED FOR GRAVITY PORTION OF SANITARY SYSTEM AS WELL AS THE STORM ROOF DRAINAGE SYSTEM.

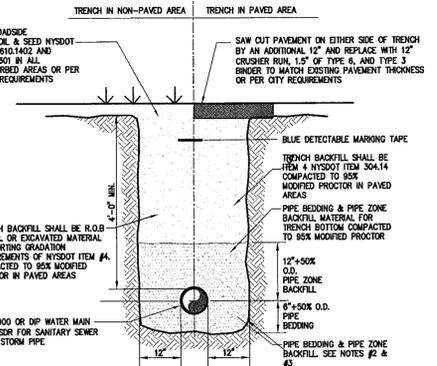
**9 SEWER CLEAN OUT - TRAFFIC AREAS**  
SCALE: N.T.S.



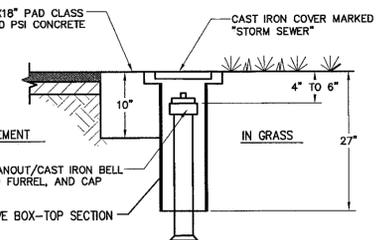
- UTILITY TRENCH NOTES:**
1. CONTROLLED, RELATIVELY CLEAN, GRANULAR FILL SHALL BE SPREAD IN LIFTS NOT EXCEEDING 12 INCHES IN LOOSE THICKNESS. EACH LIFT SHALL BE COMPACTION TO A MINIMUM OF 90% OF THE MAXIMUM ASTM SPECIFICATION D-1557-74 DENSITY, MODIFIED PROCTOR.
  2. PIPE BEDDING SHALL BE FROM AN APPROVED SOURCE, SUBJECT TO THE APPROVAL OF THE DESIGN ENGINEER. THE MATERIAL SPECIFIED SHALL GENERALLY CONSIST OF A MIXTURE OF GRADED CRUSHED STONE, SAND AND GRAVEL TO A MAXIMUM SIZE OF NO.10 SIZE RESIDUATION. IN GENERAL, THE MATERIAL SHALL HAVE A MAXIMUM SIZE OF 3/4 INCH AND BE GRADED FOR CONDITIONS ENCOUNTERED. CRUSHED STONE, CRUSHED GRAVEL, OR SCREENED GRAVEL: CONFORM TO APPLICABLE PORTIONS OF DOT SECTION 703-02.
  3. PIPE ZONE BACKFILL MATERIAL SHALL BE SOUND, ANGULAR, CRUSHED STONE, CRUSHED GRAVEL, OR CRUSHED SLAG, SAND, STONE, OR SLAG SCREENINGS, CLEAN AND GRANULAR, AND WELL GRADED. PIPE ZONE BACKFILL MATERIAL SHALL MEET THE FOLLOWING GRADATION:
 

US STD SIEVE SIZE	% PASSING BY WEIGHT
1-1/2"	100
1/2"	80-100
1/4"	70-90
NO.40	15-75
NO.200	0-7

 FINE PASSING NO.200 SHALL BE NON-PLASTIC.
  4. SATURABLE EXCAVATED MATERIAL: AVAILABLE SITE MATERIALS CONSISTING OF MINERAL SOIL (NONORGANIC), BLASTED OR BROKEN ROCK AND SIMILAR MATERIALS OF NATURAL OR MANMADE ORIGIN, INCLUDING MIXTURES THEREOF, MAXIMUM PARTICLE SIZE SHALL NOT EXCEED SPECIFICATIONS NOTED IN DETAILS. NOTE: MATERIAL CONTAINING CHESTERS, INDUSTRIAL WASTE, SLUDGE, BUILDING RUBBLE, LAND FILL ORGANIC MATTER SUCH AS TOPSOIL, SOO, MUCK, PEAT, AND ORGANIC SILT, SHALL BE CONSIDERED UNSUITABLE FOR FILL AND BACKFILL.



**10 UTILITY PIPE TRENCH WITHIN CITY ROW**  
SCALE: N.T.S.

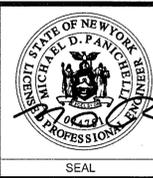


**11 STORM CLEANOUT RISER COVER**  
SCALE: N.T.S.

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CHAIRPERSON Mad. R. Jorg DATE 8/12/16

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PROJ. MANAGER: JSH  
CHIEF DESIGNER: JWE  
DESIGNED BY: JMF  
DRAWN BY: JMF  
CHECKED BY: JWE



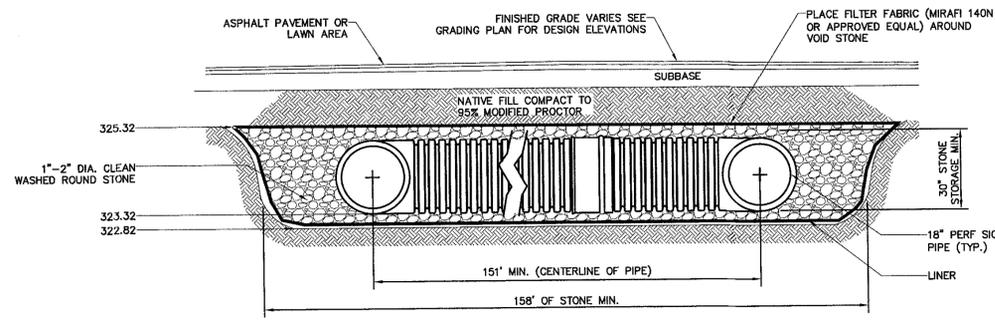
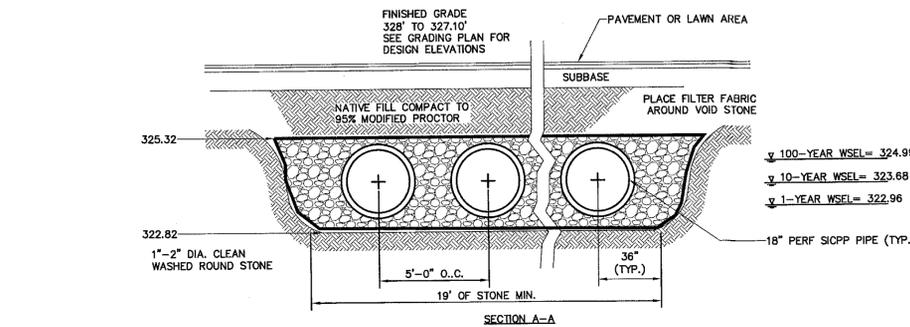
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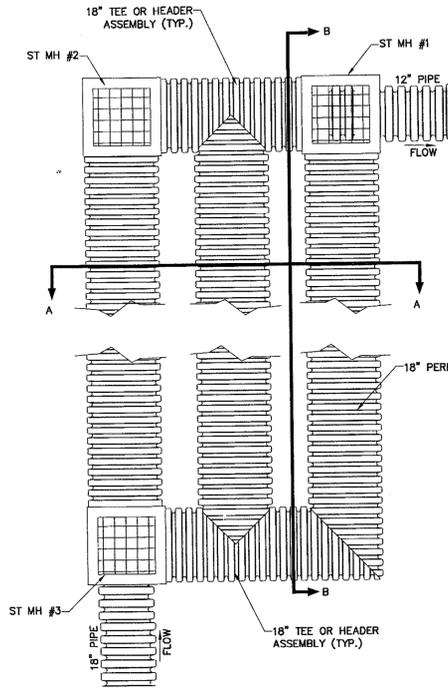
NATIONAL RETAIL PROPERTIES  
**UTILITY AND STORM DRAIN DETAILS**  
**SARATOGA RITE AID SITE PLAN**  
90 WEST AVENUE  
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SCALE: 1" = 20'  
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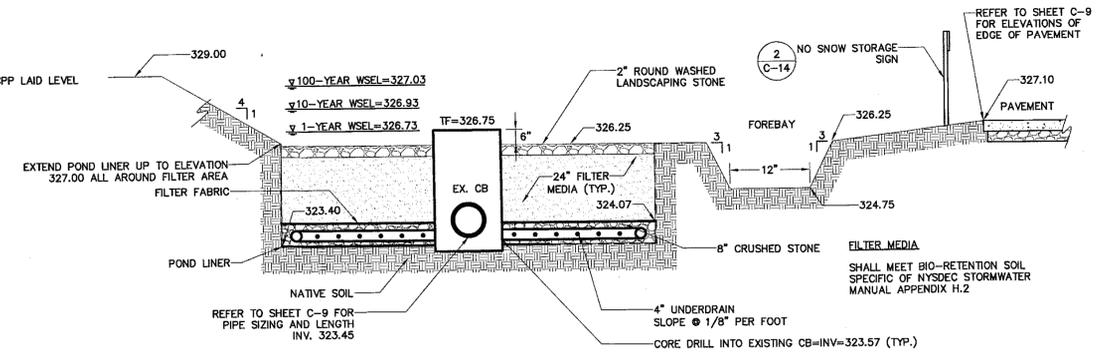


NOTES:  
 1. ALL PIPES TO BE H25 LOADING.  
 2. ALL PIPE JOINTS SHALL BE SILT TIGHT.

**1 UNDERGROUND STORMWATER DETENTION ARRAY LAYOUT**  
 SCALE: N.T.S.



**2 UNDERGROUND STORMWATER DETENTION ARRAY LAYOUT**  
 SCALE: N.T.S.

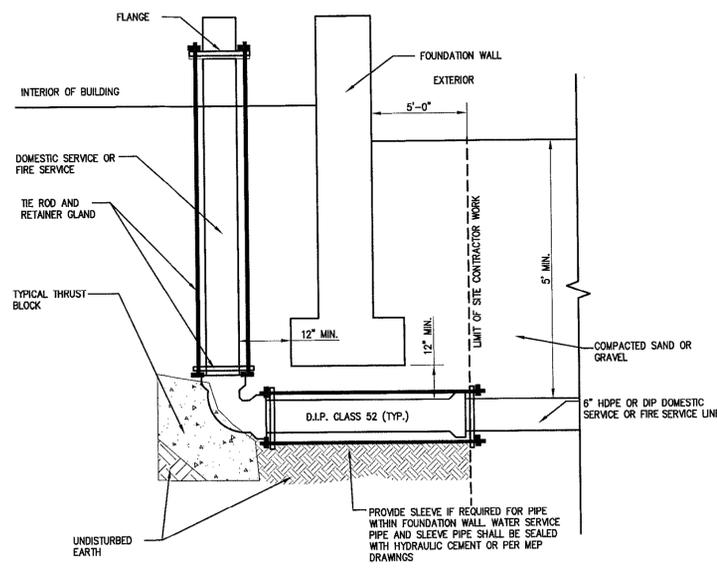


**3 BIORETENTION AREA**  
 SCALE: N.T.S.

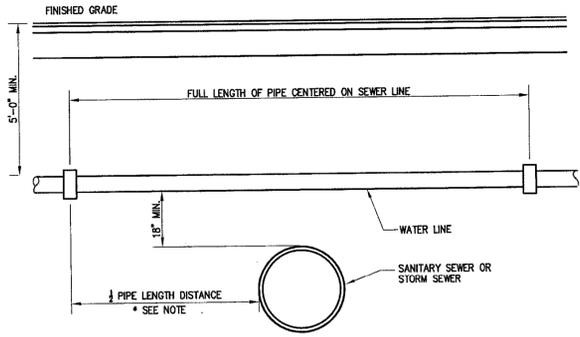
**DISINFECTION PROCEDURE**  
 DISINFECTION: MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARDS FOR DISINFECTING WATER MAINS, C-851-92, WITH THE EXCEPTION OF SECTION 5.1. TABLET METHOD. WATER CONTAINING NOT MORE THAN 50 PARTS PER MILLION OF FREE AVAILABLE CHLORINE SHALL BE ALLOWED TO STAND IN ALL LINES AND SYSTEMS FOR AT LEAST 24 HOURS. AFTER WHICH TIME THERE SHALL BE AT LEAST 25 PARTS PER MILLION RESIDUAL CHLORINE REMAINING IN THE WATER. ALL NEW VALVES AND HYDRANTS SHALL BE OPERATED WHILE THE LINES ARE FILLED WITH HEAVILY CHLORINATED WATER, FOLLOWING CHLORINATION TO THE SATISFACTION OF THE CITY. ALL DISINFECTING WATER SHALL BE FLUSHED FROM THE LINES UNTIL THE CHLORINE RESIDUAL DOES NOT EXCEED 1.0 PART PER MILLION. THE CHLORINE SOLUTION SHALL BE DISPOSED OF IN A MANNER THAT WILL IN NO DETRIMENTAL WAY AFFECT FISH, PLANT, OR ANIMAL LIFE. IF DISCHARGED TO LOCAL STREAMS, THE WATER SHALL NOT HAVE A CHLORINE RESIDUAL EXCEEDING 0.05 MG/L AT POINT OF DISCHARGE. WHEN ALL LINES HAVE BEEN FLUSHED CLEAN TO SATISFACTION, THE OWNER OR HIS REPRESENTATIVE SHALL COLLECT SAMPLES OF THE WATER AT LOCATIONS DIRECTED BY THE CITY AND UNDER HIS SUPERVISION. THE SAMPLES SHALL BE SENT TO AN APPROVED TESTING LABORATORY FOR BACTERIA ANALYSIS AND TWO (2) COPIES OF THE TEST RESULTS SHALL BE SENT TO THE CITY. THE OWNER SHALL BEAR ALL COSTS FOR SUCH SAMPLING AND TESTING.

**PRESSURE TESTING**  
 A. FOR THE PRESSURE TEST, THE SYSTEM SHALL BE PRESSURIZED AND MAINTAINED AT A MINIMUM OF 15 POUNDS PER SQUARE INCH, OR 1.5 TIMES THE WORKING PRESSURE, WHICHEVER IS GREATER, BASED ON THE ELEVATION OF THE LOWEST POINT IN THE SECTION UNDER TEST AND CORRECTED TO THE ELEVATION OF THE GAUGE. PROVISIONS SHALL BE MADE TO RELIEVE AIR TRAPPED AT HIGH POINTS IN THE SYSTEM THROUGH ADJACENT HYDRANTS OR THROUGH TAPS AND COPORATION STOPS INSTALLED FOR THIS PURPOSE BY THE CONTRACTOR. AFTER THIS PRESSURE HAS BEEN MAINTAINED SUCCESSFULLY, WITH FURTHER PUMPING AS REQUIRED, FOR A PERIOD OF AT LEAST TWO HOURS, THE SECTION UNDER TEST SHALL BE CONSIDERED TO HAVE PASSED THE PRESSURE TEST.  
 B. THE LEAKAGE TEST SHALL BE PERFORMED CONCURRENTLY USING A MINIMUM TEST PRESSURE OF 150 POUNDS PER SQUARE INCH, OR 1.5 TIMES THE WORKING PRESSURE, WHICHEVER IS GREATER, BASED ON THE ELEVATION OF THE LOWEST POINT IN THE SECTION UNDER TEST AND CORRECTED TO THE ELEVATION OF THE GAUGE. THE LEAKAGE TEST DURATION SHALL BE A MINIMUM OF TWO HOURS AFTER THE LEAKAGE RATE HAS STABILIZED.

**FLUSHING**  
 C. THE MAXIMUM ALLOWABLE LEAKAGE SHALL BE COMPLIANCE WITH CITY STANDARDS. AT THE CONCLUSION OF THE WORK, THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL NEW PIPES BY FLUSHING WITH WATER OR OTHER MEANS TO REMOVE ALL DIRT, STONES, PIECES OF WOOD, ETC., WHICH MAY HAVE ENTERED DURING THE CONSTRUCTION PERIOD. IF, AFTER THIS CLEANING, ANY OBSTRUCTION STILL REMAINS, THEY SHALL BE REMOVED TO THE SATISFACTION OF THE ENGINEER/ARCHITECT. PIPES SHALL BE FLUSHED AT A RATE OF 2.5 FEET PER SECOND FLUSHING VELOCITY.

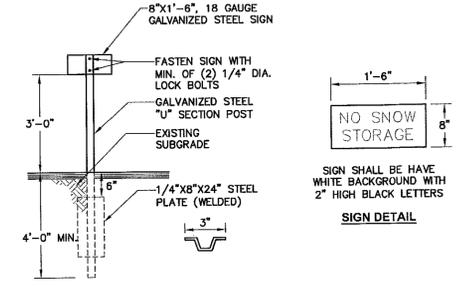


**4 TYPICAL WATER SERVICE BUILDING ENTRY**  
 SCALE: N.T.S.



WHEN INSTALLED PARALLEL, ALL WATER AND SEWER LINES SHALL HAVE A MINIMUM SEPARATION OF 10' EDGE TO EDGE. IF MINIMUM CANNOT BE MAINTAINED, WATER MAIN SHALL BE IN SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF TO ONE SIDE OF SEWER, WITH BOTTOM OF WATER MAIN 18" MINIMUM ABOVE TOP OF SEWER PIPE. WHEN CROSSING, MAINS SHALL BE INSTALLED TO INSURE 18" MINIMUM VERTICAL SEPARATION BETWEEN PIPES, OUTSIDE TO OUTSIDE. WHERE WATER MAIN IS UNDERNEATH SEWER, ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO PREVENT DAMAGE TO WATER MAIN. WHEN IT IS IMPOSSIBLE TO PROVIDE THE ABOVE MINIMUMS, THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO WATER PIPE, AND SHALL BE PRESSURE TESTED TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING.

**5 INSTALLATION OF UTILITIES AT CROSSING**  
 SCALE: N.T.S.



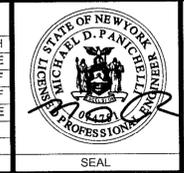
**6 STORMWATER MANAGEMENT PRACTICE SIGN**  
 SCALE: N.T.S.

PB # 14.057  
 APPROVED BY THE SARATOGA SPRINGS PLANNING BOARD UNDER AUTHORITY OF A RESOLUTION  
 ADOPTED 4/14/16  
 CHAIRPERSON Madh R. Varj DATE 8/12/16

File Name: F:\mjs54954\_13C\_P-Details.dwg (Layout: C-17)  
 Date: Wed, Jul 27, 2016 - 5:28 PM (Name: tschecingost)

SUBMITTAL / REVISIONS				
No.	DATE	DESCRIPTION	BY	REVIEWED BY: DATE
1		SARATOGA SPRINGS PLANNING BOARD		JWE 2/17/15
2	12/23/15	SUBMISSION TO PLANNER	AML	JWE 1/23/15
3	2/3/16	REVISION TO ARCHITECTURE, LAYOUT AND GRADING	AML	JWE 2/3/16
4	2/8/16	REVISIONS	AML	JWE 2/8/16
5	4/22/16	PLANNING BOARD COMMENTS	APY	JWE 4/22/16
6	7/28/16	FINAL SUBMISSION	APY	JWE 7/27/16

PROJ. MANAGER: JSH  
 CHIEF DESIGNER: JWE  
 DESIGNED BY: JMF  
 DRAWN BY: JMF  
 CHECKED BY: JWE

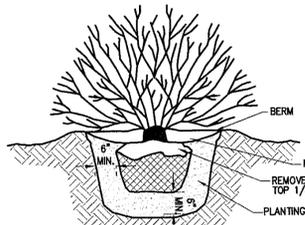


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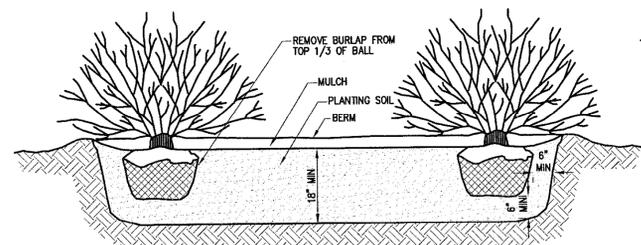
**Engineering and Land Surveying, P.C.**  
 1533 Crescent Road - Clifton Park, NY 12065

NATIONAL RETAIL PROPERTIES  
**UTILITY AND STORM DRAINAGE DETAILS**  
**SARATOGA RITE AID SITE PLAN**  
 90 WEST AVENUE  
 CITY OF SARATOGA SARATOGA COUNTY, NY

SCALE: 1" = 20'  
 CONTRACT No.: -  
 MJ PROJ. No.: 954.01  
 DATE: 7/28/2016  
**C-17**

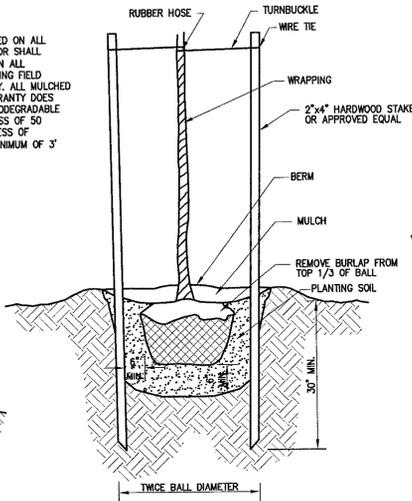


TYPICAL SINGLE SHRUB PLANTING

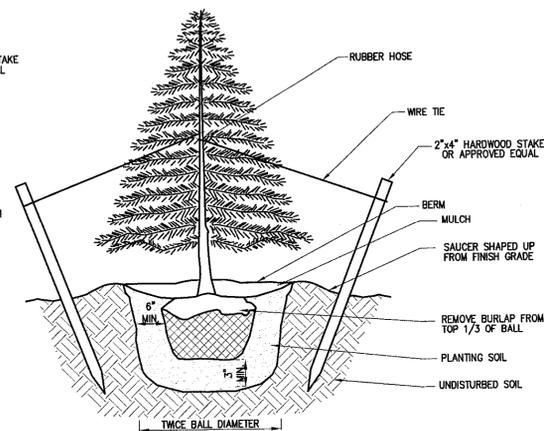


TYPICAL SHRUB BED PLANTING

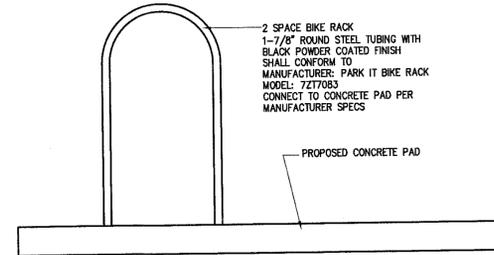
**LANDSCAPING NOTES**  
 LANDSCAPE AND IRRIGATION DESIGN PLANS ARE REQUIRED ON ALL PROJECTS. IF LANDSCAPING IS NOT REQUIRED CONTRACTOR SHALL PROVIDE SITE FINE GRADED W/ HYDROSEEDING OR SOO IN ALL DISTURBED AREAS OUTSIDE OF PARKING FIELD. IN PARKING FIELD ISLANDS, IF ALLOWED USE WEED BARRIER & MULCH ONLY. ALL MULCHED AREAS TO RECEIVE WEED BARRIER, WHERE SEEDING WARRANTY DOES NOT PERMIT HYDROSEED ALONE. PROVIDE STRAW AND BIODEGRADABLE NETTING OVER HYDROSEED. ANY LANDSCAPE IN EXCESS OF 50 PLANTINGS TO RECEIVE IRRIGATION AS NEEDED REGARDLESS OF GEOGRAPHIC LOCATION. IRRIGATION HEADS TO BE A MINIMUM OF 3' FROM EDGE OF CURB LINE.



TYPICAL DECIDUOUS TREE PLANTING



TYPICAL CONIFER PLANTING

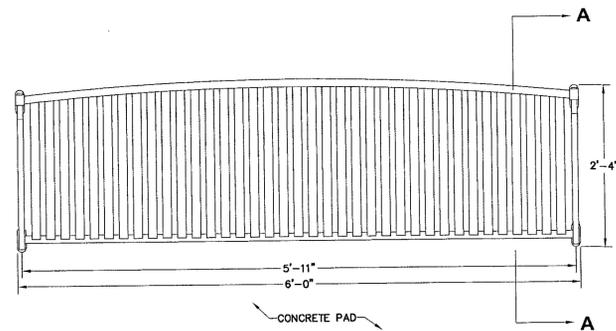


2 TWO SPACE BIKE RACK

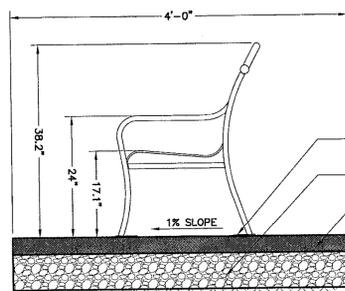
SCALE: N.T.S.

1 INSTALLATION OF VEGETATION

SCALE: N.T.S.



PLAN



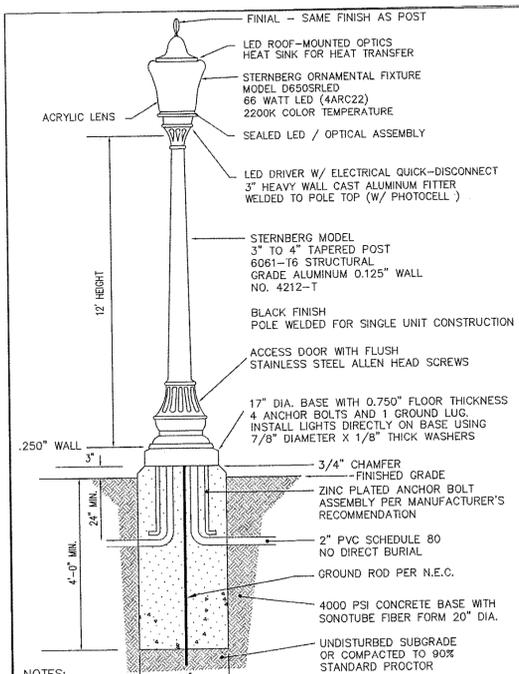
SECTION A-A

PARK BENCH MODEL CVI-1200 BY STESCAPE, INC. OR APPROVED EQUAL COLOR: BLACK

3" LONG 1/2" DIA. SELF TAPPING CONCRETE ANCHOR BOLT (TYP.)  
 TYPE 2 SUBBASE (CRUSHER RUN) 6" THICK  
 CONCRETE

3 PARK BENCH INSTALLATION

SCALE: N.T.S.



NOTES:

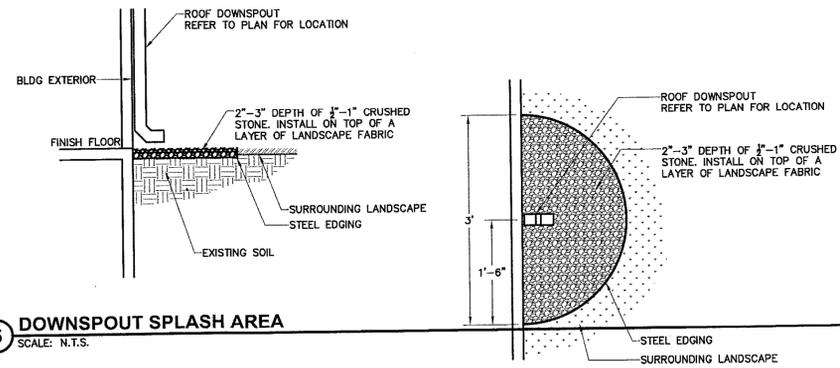
- INSTALLATION OF DECORATIVE LIGHTS SHALL BE COORDINATED WITH THE CITY ELECTRICIAN AND DEPARTMENT OF PUBLIC WORKS. (USE 120V POWER.)
- THE OWNER/DEVELOPER IS RESPONSIBLE FOR ELECTRIFYING THE SYSTEM AND PAYING THE ELECTRIC BILLS UNTIL ACCEPTED AND TAKEN OVER BY THE CITY OF SARATOGA SPRINGS.
- ELECTRIC SERVICES: SWEEPS AT CONCRETE BASES AND BETWEEN BASES USE 2" SCHEDULE 40 PVC NON-METALLIC CONDUIT, UNLESS UNDER DRIVEWAYS WHERE SCHEDULE 80 PVC IS REQUIRED. FOR WIRE: THIN COPPER STRANDED NUMBER 6 COLORED RED, WHITE, AND GREEN. LIGHTS ARE WIRED 120 VOLTS. PROVIDE A SEPARATE HANDHOLE. SYNTECH SW1W1212H02, TO BE OWNED BY THE CITY FOR THE DISCONNECT NEAR THE BASE OF THE ELECTRIC POLE OR BOX AT THE BEGINNING OF SERVICE. PROVIDE AND INSTALL (1) 5/8 INCH COPPER GROUND ROD IN HANDHOLE. WIRE AND CONDUIT FROM HANDHOLE TO POLE OR BOX PER NATIONAL GRID'S STANDARDS. IF CONNECTING ONLY ONE LIGHT PROVIDE WATER TIGHT FUSEHOLDER, FERRAZ SHAYMUT FEB-21-21 1P 600V WITH 5 AMP FUSE WITH INSULATOR BOOTS PART FRZ FSBI IN HANDHOLE FOR FUSING THE POWER WIRE. IF CONNECTING MORE THAN ONE LIGHT PUT A 30 AMP FUSE IN WATER TIGHT FUSEHOLDER IN HANDHOLE AND PROVIDE SEPARATE FUSE HOLDERS, BUSSMAN HEB-AA FUSEHOLDER WITH 5 AMP FUSE, IN BASE OF EACH LAMP. RUN #12 THIN COPPER, (RED, WHITE, AND GREEN) FROM BASE TO TOP OF LIGHT. USE POLARIS CONNECTORS FOR CONNECTIONS IN HANDHOLE AND IN BASE OF LIGHTS. THE LIGHT IS TO BE MOUNTED DIRECTLY ONTO CONCRETE BASE USING FENDER WASHERS, 2 INCH OD 1/2 INCH ID AND 1/8 INCH THICKNESS, AND LOCK WASHERS.

4 DECORATIVE STREET LIGHT (WITHIN CITY ROW)

SCALE: N.T.S.

5 DOWNSPOUT SPLASH AREA

SCALE: N.T.S.



CAST IRON PLANTER APPROXIMATELY 26" HIGH, 20" Wx20" D, BY DESIGN TOSCANO OR EQUAL

6 PUBLIC SPACE PLANTER VISUAL

SCALE: N.T.S.

PB # 14.057

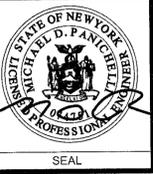
APPROVED BY THE SARATOGA SPRINGS PLANNING BOARD UNDER AUTHORITY OF A RESOLUTION

ADOPTED 4/14/16

CHAIRPERSON Mad R. Vajz DATE 8/12/16

File Name: F:\1636\1636\_130\_P\Details.dwg (Layout: C-18)  
 Date: Wed, Jul 27, 2016 - 5:25 PM (Name: Iscrane05)

SUBMITTAL / REVISIONS				
No.	DATE	DESCRIPTION	BY	REVIEWED BY:
1	-	SARATOGA SPRINGS PLANNING BOARD		JWE
2	12/23/15	SUBMISSION TO PLANNER	AML	JWE
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6	7/28/16	FINAL SUBMISSION	APY	JWE

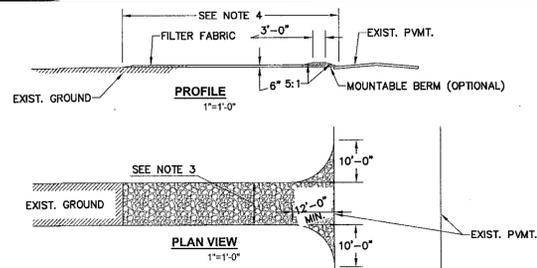


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**Engineering and Land Surveying, P.C.**  
 1533 Crescent Road - Clifton Park, NY 12065

NATIONAL RETAIL PROPERTIES  
**LANDSCAPING DETAILS**  
**SARATOGA RITE AID SITE PLAN**  
 90 WEST AVENUE  
 CITY OF SARATOGA SARATOGA COUNTY, NY

SCALE: 1" = 20'  
 CONTRACT No.: -  
 M.J. PROJ. No.: 954.01  
 DATE: 7/28/2016  
**C-18**

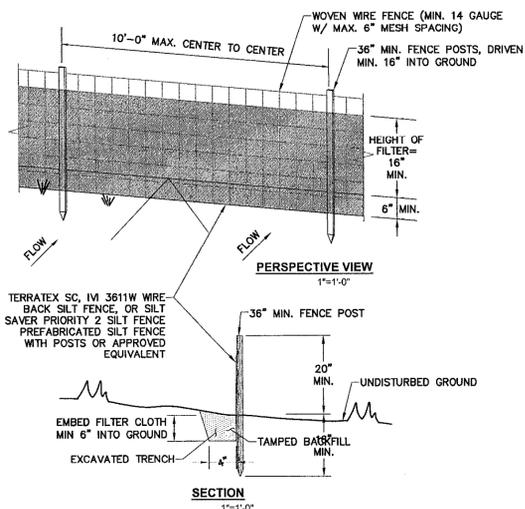


**CONSTRUCTION ENTRANCE SPECIFICATIONS:**

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY FOUR (24) FEET IF SINGLE ENTRANCE TO SITE.
- LENGTH - NOT LESS THAN FIFTY (50) FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A THIRTY (30) FOOT MINIMUM LENGTH WOULD APPLY).
- FILTER FABRIC - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**1 STABILIZED CONSTRUCTION ENTRANCE**

SCALE: N.T.S.



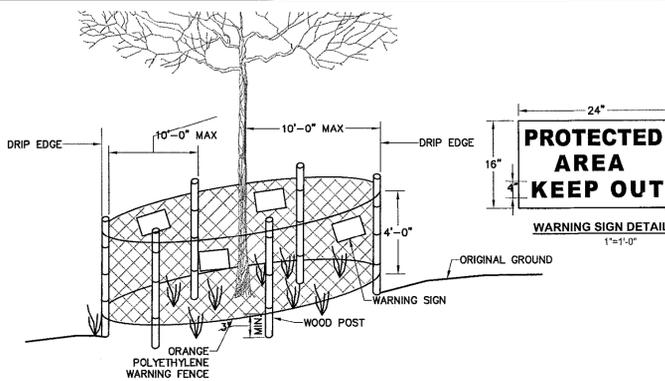
**NOTES:**

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAX. MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIALS REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- MAXIMUM DRAINAGE AREA FOR OVERLAND FLOW TO A SILT FENCE SHALL NOT EXCEED 1/4 ACRE PER 100 FEET OF FENCE.
- SILT FENCE SHALL BE USED WHERE EROSION COULD OCCUR IN THE FORM OF SHEET EROSION.
- SILT FENCE SHALL NOT BE USED WHEN A CONCENTRATION OF WATER IS FLOWING TO THE BARRIER.
- MAXIMUM ALLOWABLE SLOPE LENGTHS CONTRIBUTING RUN-OFF TO A SILT FENCE ARE:

SLOPE STEEPNESS	MAXIMUM SLOPE LENGTH (FT)
2:1	25
3:1	50
4:1	75
5:1 OR FLATTER	100

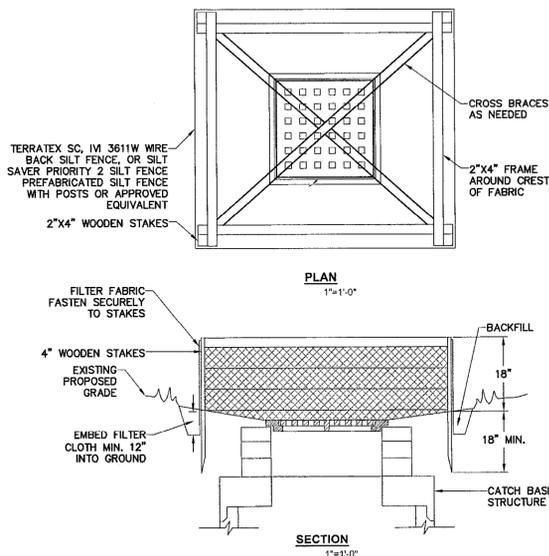
**3 SILT FENCE INSTALLATION DETAIL**

SCALE: N.T.S.



**2 VEGETATION PROTECTION FENCE**

SCALE: N.T.S.

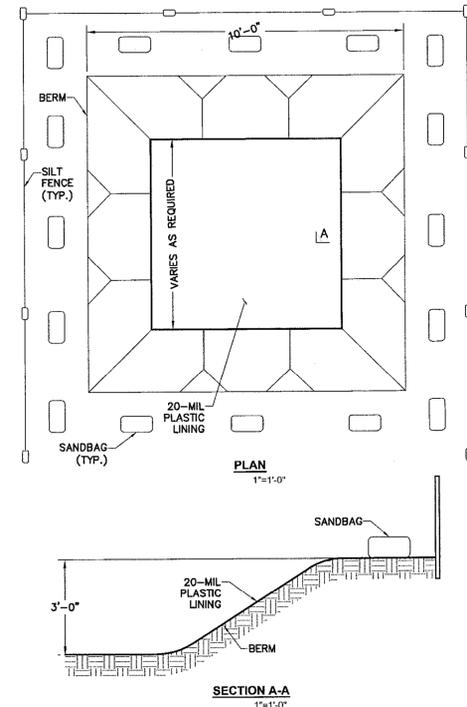


**NOTES:**

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85.
- CUT FABRIC FROM CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED, OVERLAP TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2"x4" WOOD OR EQUIVALENT, WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE MINIMUM 18" DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2"x4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVERFLOW STABILITY.
- MAXIMUM DRAINAGE AREA IS 1 ACRE.
- INLET PROTECTION SHALL REMAIN IN-PLACE UNTIL SITE HAS BEEN STABILIZED.

**4 TEMPORARY OUT-OF-PAVEMENT FILTER FABRIC DROP INLET PROTECTION DETAIL**

SCALE: N.T.S.



**NOTES:**

- TEMPORARY CONCRETE WASHOUT FACILITY (TYPE BELOW GRADE)
  - TEMPORARY WASHOUT FACILITY (TYPE BELOW GRADE) SHOULD BE CONSTRUCTED AS SHOWN IN THE DETAILS ON THIS SHEET, WITH A RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 10FT., BUT WITH SUFFICIENT QUANTITY AND VOLUME TO CONTAIN ALL LIQUID AND CONCRETE WASTE GENERATED BY WASHOUT OPERATIONS. LATH AND FLAGGING SHOULD BE COMMERCIAL TYPE.
  - PLASTIC LINING MATERIAL SHOULD BE A MINIMUM OF 20-MIL POLYETHYLENE SHEET AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

**5 CONCRETE WASH OUT**

SCALE: N.T.S.

**GENERAL REQUIREMENTS**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION AND SEDIMENT CONTROL TO PROTECT SURROUNDING WATER BODIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION CONTROL AND MAINTENANCE OF SOIL EROSION AND SEDIMENT CONTROL FACILITIES TO ENSURE PROPER FUNCTIONING OF SAID FACILITIES DURING CONSTRUCTION.

AFTER THE PROJECT HAS BEEN COMPLETED, THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY FOR ENSURING THAT ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN REMOVED OR REPLACED BY PERMANENT CONTROLS.

ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN FOURTEEN (14) DAYS, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.

PERMANENT VEGETATION TO BE SEEDING OR SODDED ON ALL EXPOSED AREAS WITHIN FIVE (5) DAYS AFTER FINAL GRADING. MULCH AS NECESSARY FOR SEED PROTECTION AND ESTABLISHMENT. LIME AND FERTILIZE SEED BED PRIOR TO PERMANENT SEEDING.

**EROSION & SEDIMENT POLLUTION CONTROL GUIDELINES (SWPPP)**

EROSION AND SEDIMENT POLLUTION CONTROL FACILITIES AND PRACTICES, UTILIZED IN THE CONSTRUCTION OF THE PROJECT, SHALL BE CONSISTENT WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (AUGUST 2005).

NATURAL VEGETATION SHALL BE RETAINED, PROTECTED, AND SUPPLEMENTED, AS FEASIBLE PRIOR TO AND DURING CONSTRUCTION.

CUT AND FILL SLOPES SHALL BE BROUGHT TO FINAL PROPOSED GRADES AS SOON AS POSSIBLE IN THE CONSTRUCTION SEQUENCES, AND SEEDED AND MULCHED IMMEDIATELY.

EROSION AND SEDIMENT POLLUTION CONTROL FACILITIES (STRAW BALES, FILTER FABRIC FENCING, STABILIZED CONSTRUCTION ENTRANCES, SILTATION BASINS, AND OTHER ACCEPTABLE FACILITIES) SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION UNTIL COMPLETE SITE STABILIZATION.

HEAVY CONSTRUCTION EQUIPMENT SHALL BE KEPT AS CLOSE TO THE AREA AS PRACTICAL TO MINIMIZE DISTURBANCE OF SOIL ALREADY STABILIZED OR UNDISTURBED.

TOPSOIL AND OTHER SOIL REMOVED DURING CONSTRUCTION SHALL BE STOCKPILED IN A SUITABLE LOCATION CLEAR FROM ANY STORMWATER DRAINAGE COURSES. STOCKPILES WHICH ARE INACTIVE FOR MORE THAN FOURTEEN (14) DAYS SHALL BE SEEDING.

VEGETATIVE STABILIZATION SHALL BE PERIODICALLY INSPECTED FOR SUFFICIENT GROWTH AND PROGRESS. AREAS NOT RESPONDING SHALL BE PROMPTLY RESEEDED AND REMULCHED AS SOON AS POSSIBLE. AREAS SHOWING SIGNS OF EROSION PRIOR TO STABILIZATION SHALL BE GRADED, RESEED, AND REMULCHED AS SOON AS POSSIBLE. SOD OR EROSION CONTROL FABRIC SHALL BE UTILIZED WHERE ADEQUATE STABILIZATION IS NOT OCCURRING.

ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED BEFORE BEGINNING EARTH MOVING ACTIVITIES, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

A STABILIZED CONSTRUCTION ENTRANCE PAD OF 1-1/2" TO 2" CLEAN STONE WILL BE PLACED AT ALL CONSTRUCTION DRIVEWAYS IMMEDIATELY AFTER SITE DISTURBANCE. (DIMENSIONS: LENGTH-NOT LESS THAN 50 FT., EXCEPT ON SINGLE RESIDENCE LOT WHERE 30 FT. MINIMUM WOULD APPLY; WIDTH-24 FT. MIN., BUT NOT LESS THAN FULL WIDTH OF ENTRANCE OR EXIT DRIVES; DEPTH-NOT LESS THAN 8 IN.) FILTER CLOTH IS REQUIRED PRIOR TO STONE PLACEMENT.

ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED FOR MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY RECEIVE A TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL, AT A RATE OF 2.5-3.0 TONS PER ACRE, ACCORDING TO STATE STANDARDS.

PERMANENT VEGETATION TO BE SEEDING ON ALL EXPOSED AREAS WITHIN FOURTEEN (14) DAYS AFTER FINAL GRADING. MULCH TO BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.

THE APPLICATION OF TOPSOIL, LIMING, FERTILIZING, SEEDING, AND MULCHING FOR DISTURBED AREAS SHALL BE CONSISTENT WITH THE STANDARD GENERAL PRACTICES FOR CONSTRUCTION.

IMMEDIATELY FOLLOWING INITIAL DISTURBANCES OF ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION (I.E., STEEP SLOPES AND ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2.5 - 3.0 TONS PER ACRE.

ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E., SLOPES GREATER THAN 3:1).

AT THE TIME WHEN SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS TO BE ESTABLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER.

IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES UNTIL ALL AREAS HAVE BEEN PERMANENTLY STABILIZED.

EROSION AND SEDIMENT CONTROL MEASURE TO BE REMOVED ONLY AFTER PERMANENT STABILIZATION IS COMPLETED AND THE CITY OF SARATOGA AND SWPPP MONITORING PROFESSIONAL HAS APPROVED THE WORK.

**MAINTENANCE AND REPAIR OF EROSION AND SEDIMENT POLLUTION CONTROL FACILITIES**

PROPER MAINTENANCE AND REPAIR OF EROSION AND SEDIMENT CONTROL FACILITIES ARE NECESSARY TO THE EFFECTIVENESS OF THE EROSION AND SEDIMENT POLLUTION CONTROL FACILITIES.

A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT THE ENTRANCE OF EACH CONSTRUCTION INGRESS ONTO PUBLIC THOROUGHFARES AND STABILIZED ROADWAYS.

DISTURBED GROUND SURFACES SHALL BE SPRINKLED WITH WATER, AS NEEDED, TO LIMIT THE FORMATION AND MIGRATION OF AIRBORNE DUST.

OPERATIONAL MEASURES SHALL BE EMPLOYED DURING CONSTRUCTION TO PREVENT THE SPILLS OF FUELS AND LUBRICANTS. IF A SPILL OCCURS, IT SHALL BE CONTROLLED IMMEDIATELY TO PREVENT ITS ENTRY INTO OFF-SITE AREAS INCLUDING ADJACENT STORM SEWER.

ANY TEMPORARY EROSION CONTROL FACILITY SHALL REMAIN FUNCTIONAL UNTIL VEGETATIVE COVER IS SUFFICIENTLY ESTABLISHED WITHIN THE RESPECTIVE TRIBUTARY DRAINAGE AREA.

ANY DEBRIS ACCUMULATED IN EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE REMOVED AND PROPERLY DISPOSED. THESE FACILITIES SHALL BE CHECKED DAILY AND AFTER RAINFALL EVENTS, AND REALIGNED AS NEEDED. SEDIMENT SHALL BE REMOVED WHEN IT REACHES THE FOLLOWING DEPTHS:  
 SILT FENCING - 6 INCHES  
 SILTATION BASIN - 9 INCHES

NOTE: DISTURBED AREAS SHALL BE CONSIDERED AS PERMANENTLY STABILIZED WHEN A MINIMUM COVER OF 80% HAS BEEN ESTABLISHED.

PB # 14.057

APPROVED BY THE SARATOGA SPRINGS PLANNING BOARD UNDER AUTHORITY OF A RESOLUTION

ADOPTED 4/14/16

CHAIRPERSON Madh R. Singh DATE 8/12/16

File Name: F:\proj\549654\_13C\_P\_Details.dwg (Layout: C-19)  
 Date: Wed, Jun 27, 2016 - 5:26 PM (Name: tsincengust)

No.	DATE	DESCRIPTION	BY	REVIEWED BY:	DATE	PROJ. MANAGER:	JSH
1		SARATOGA SPRINGS PLANNING BOARD		JWE	2/17/15	CHIEF DESIGNER:	JWE
2	12/23/15	SUBMISSION TO PLANNER	AML	JWE	1/23/15	DESIGNED BY:	JMF
3	2/3/16	REVISION TO ARCHITECTURE, LAYOUT AND GRADING	AML	JWE	2/3/16	DRAWN BY:	JMF
4	2/8/16	REVISIONS	AML	JWE	2/8/16	CHECKED BY:	JWE
5	4/22/16	PLANNING BOARD COMMENTS	APY	JWE	4/22/16		
6	7/28/16	FINAL SUBMISSION	APY	JWE	7/27/16		



THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, (I.E.) ARCHITECT FOR AN ARCHITECT, ENGINEER FOR AN ENGINEER OR LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS "A" MISDEMEANOR.



Engineering and Land Surveying, P.C.  
 1533 Crescent Road - Clifton Park, NY 12065

NATIONAL RETAIL PROPERTIES  
**EROSION DETAILS**  
**SARATOGA RITE AID SITE PLAN**  
 90 WEST AVENUE  
 CITY OF SARATOGA SARATOGA COUNTY, NY

SCALE: 1" = 20'  
 CONTRACT No.: -  
 MJ PROJ. No.: 954.01  
 DATE: 7/28/2016

**C-19**

**GENERAL NOTES**

- THE TYPICAL DETAILS DETICED ON THE STANDARD SHEETS AND IN THE MUTCO, REFLECT THE MINIMUM REQUIREMENTS.
- THE CONTRACTOR MUST SUBMIT TO THE ENGINEER, IN WRITING, PROPOSED REVISIONS TO THE TRAFFIC CONTROL PLAN FOR REVIEW AND APPROVAL BY THE REGIONAL DIRECTOR OR HIS/HER DESIGNEE FIVE (5) WORK DAYS PRIOR TO THE PLANNED IMPLEMENTATION OF SUCH PROPOSED REVISIONS. EXCEPT FOR CHANGES THAT ALTER THE SCOPE OF THE TRAFFIC CONTROL PLAN, SUCH CHANGES IN SCOPE MUST BE SUBMITTED TO THE ENGINEER FOR APPROVAL BY THE REGIONAL DIRECTOR OR HIS/HER DESIGNEE THIRTY (30) WORKING DAYS PRIOR TO IMPLEMENTATION OF SUCH REVISIONS.
- THE CONTRACTOR SHALL PROVIDE THE ENGINEER, IN WRITING, WITH THE NAMES, ADDRESSES, AND TELEPHONE NUMBERS OF STAFF WHO ARE AUTHORIZED TO SECURE LABOR, MATERIALS, AND EQUIPMENT FOR EMERGENCY REPAIRS OUTSIDE NORMAL WORKING HOURS. THE ENGINEER WILL PROVIDE THE SUBMITTED INFORMATION TO REGIONAL MANAGEMENT, THE NEW YORK STATE POLICE, THE RESIDENT ENGINEER, AND THE LOCAL POLICE.

- ACTIVITY AREA**
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM 500' LONGITUDINAL DISTANCE BETWEEN CONSTRUCTION OPERATIONS ON ALTERNATE SIDES OF THE ROADWAY, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
  - WHEN TWO OR MORE AREAS ARE ADJACENT, OVERLAP, OR ARE IN CLOSE PROXIMITY, THE CONTRACTOR SHALL ENSURE THERE ARE NO CONFLICTING SIGNS AND THAT LANE CONTINUITY IS MAINTAINED THROUGHOUT ALL WORK AREAS.
- SIGNS**
- THE LOCATIONS OF THE SIGNS SHOWN ON THE WORK ZONE TRAFFIC CONTROL PLANS AND DETAILS MAY BE ADJUSTED BASED ON SIGHT DISTANCE AND OTHER CONSIDERATIONS. THE FINAL LOCATIONS OF SIGNS ARE SUBJECT TO APPROVAL OF THE ENGINEER.
  - ANY EXISTING SIGNS, INCLUDING OVERHEAD SIGNS, WHICH CONFLICT WITH THE TEMPORARY TRAFFIC CONTROL SIGN LAYOUT SHALL BE COVERED, REMOVED, STORED OR RESET, AS APPROVED BY THE ENGINEER. ALL APPROPRIATE EXISTING SIGNS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND/OR LOCATION UNLESS OTHERWISE REPLACED IN THIS CONTRACT.
  - SIGNS AT OR NEAR INTERSECTIONS SHALL BE PLACED SO THAT THEY DO NOT OBSTRUCT A MOTORIST'S LINE OF SIGHT.
  - ALL WARNING AND REGULATORY SIGNS SHALL BE POSTED ON BOTH SIDES OF MULTI-LANE DIVIDED HIGHWAYS, MULTI-LANE RAMP, AND ONE-WAY STREETS. IN CASES WHERE LANE RESTRICTIONS REDUCE THE TRAVEL LANE TO ONE LANE, SIGNS SHALL BE POSTED ON THE RIGHT SIDE OF THE ACTIVE TRAVEL LANE, UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER.
  - SIGNS MOUNTED ON THE MEDIAN OF DIVIDED HIGHWAYS WHERE MEDIAN BARRIER IS IN PLACE MAY BE MOUNTED ON THE BARRIER WITH A HORIZONTAL POSITION IS NOT PERMITTED.
  - THE DIMENSIONS OF WORK ZONE TRAFFIC CONTROL SIGNS ARE DESCRIBED IN THE MUTCO, AND CHANGES TO THE DIMENSIONS SHALL BE APPROVED BY THE REGIONAL DIRECTOR OR BY HIS/HER DESIGNEE.
  - NYR-12 MAY BE USED IN PLACE OF NYR-11.
- CHANNELIZING DEVICES**
- WHERE POSSIBLE ALL CHANNELIZING AND GUIDING DEVICES ARE TO BE PLACED SO AS TO PROVIDE A MINIMUM 2' LATERAL CLEARANCE TO THE TRAVELED WAY.
- PUBLIC ACCESS**
- PROPERTY OWNERS WHOSE DRIVEWAYS WILL BE MADE UNACCESSIBLE SHALL BE NOTIFIED BY THE CONTRACTOR AT LEAST 24 HOURS PRIOR TO RESTRICTING USE OF THE DRIVEWAY. FOR MULTIPLE ACCESS PROPERTIES, AT LEAST ONE DRIVEWAY SHALL BE OPEN AT ALL TIMES. ACCESS SHALL BE RESTORED TO ALL DRIVEWAYS AS SOON AS POSSIBLE.
  - SUITABLE RAMPS SHALL BE INSTALLED TO MAINTAIN SMOOTH TRANSITIONS FROM RESIDENTIAL AND COMMERCIAL DRIVEWAYS TO AND FROM THE WORK AREA.

- LANE CLOSURES**
- THE CONTRACTOR SHALL LOCATE LANE CLOSURES TO PROVIDE OPTIMUM VISIBILITY, I.E. BEFORE CURVES AND CROSSINGS TO THE EXTENT CONDITIONS PERMIT.
  - THE ENGINEER MAY REQUIRE THAT ALL LANES BE RE-OPENED AT ANY TIME IF THE ROUTE IS NEEDED FOR EMERGENCY PURPOSES. THIS COULD INCLUDE INCIDENTS AT LOCATIONS OUTSIDE THE CONTRACT LIMITS.
- LANE WIDTHS**
- UNLESS AUTHORIZED BY THE ENGINEER, THE MINIMUM LANE WIDTHS FOR WORK ZONE TRAVEL LANES SHALL BE AS FOLLOWS: FREEWAYS AND/OR EXPRESSWAYS IS 11'. THE MINIMUM LANE WIDTH FOR ALL OTHER TYPES OF ROADWAYS IS 10'.
  - THE CONTRACTOR SHALL PROVIDE A WRITTEN NOTICE TO THE ENGINEER A MINIMUM OF 21 CALENDAR DAYS IN ADVANCE OF PERFORMING ANY WORK THAT RESULTS IN THE REDUCED WIDTH OF AN EXISTING ROADWAY, SO THAT THE ENGINEER MAY NOTIFY THE REGIONAL ENGINEER IN A TIMELY MANNER.

SIGN	CONVENTIONAL ROAD	EXPRESSWAY	FREEWAY
ES-1	27'x30"	27'x30"	27'x30"
ES-2	36'x18"	48'x24"	48'x24"
ES-3	36'x18"	48'x24"	48'x24"
ES-4	36'x18"	48'x24"	48'x24"
ES-5	36'x18"	48'x24"	48'x24"
ES-6	36'x18"	48'x24"	48'x24"
ES-7	36'x18"	48'x24"	48'x24"
ES-8	36'x18"	48'x24"	48'x24"
ES-9	36'x18"	48'x24"	48'x24"
ES-10	36'x18"	48'x24"	48'x24"
ES-11	36'x18"	48'x24"	48'x24"
ES-12	36'x18"	48'x24"	48'x24"
ES-13	36'x18"	48'x24"	48'x24"
ES-14	36'x18"	48'x24"	48'x24"
ES-15	36'x18"	48'x24"	48'x24"
ES-16	36'x18"	48'x24"	48'x24"
ES-17	36'x18"	48'x24"	48'x24"
ES-18	36'x18"	48'x24"	48'x24"
ES-19	36'x18"	48'x24"	48'x24"
ES-20	36'x18"	48'x24"	48'x24"
ES-21	36'x18"	48'x24"	48'x24"
ES-22	36'x18"	48'x24"	48'x24"
ES-23	36'x18"	48'x24"	48'x24"
ES-24	36'x18"	48'x24"	48'x24"
ES-25	36'x18"	48'x24"	48'x24"
ES-26	36'x18"	48'x24"	48'x24"
ES-27	36'x18"	48'x24"	48'x24"
ES-28	36'x18"	48'x24"	48'x24"
ES-29	36'x18"	48'x24"	48'x24"
ES-30	36'x18"	48'x24"	48'x24"
ES-31	36'x18"	48'x24"	48'x24"
ES-32	36'x18"	48'x24"	48'x24"
ES-33	36'x18"	48'x24"	48'x24"
ES-34	36'x18"	48'x24"	48'x24"
ES-35	36'x18"	48'x24"	48'x24"
ES-36	36'x18"	48'x24"	48'x24"
ES-37	36'x18"	48'x24"	48'x24"
ES-38	36'x18"	48'x24"	48'x24"
ES-39	36'x18"	48'x24"	48'x24"
ES-40	36'x18"	48'x24"	48'x24"
ES-41	36'x18"	48'x24"	48'x24"
ES-42	36'x18"	48'x24"	48'x24"
ES-43	36'x18"	48'x24"	48'x24"
ES-44	36'x18"	48'x24"	48'x24"
ES-45	36'x18"	48'x24"	48'x24"
ES-46	36'x18"	48'x24"	48'x24"
ES-47	36'x18"	48'x24"	48'x24"
ES-48	36'x18"	48'x24"	48'x24"
ES-49	36'x18"	48'x24"	48'x24"
ES-50	36'x18"	48'x24"	48'x24"
ES-51	36'x18"	48'x24"	48'x24"
ES-52	36'x18"	48'x24"	48'x24"
ES-53	36'x18"	48'x24"	48'x24"
ES-54	36'x18"	48'x24"	48'x24"
ES-55	36'x18"	48'x24"	48'x24"
ES-56	36'x18"	48'x24"	48'x24"
ES-57	36'x18"	48'x24"	48'x24"
ES-58	36'x18"	48'x24"	48'x24"
ES-59	36'x18"	48'x24"	48'x24"
ES-60	36'x18"	48'x24"	48'x24"
ES-61	36'x18"	48'x24"	48'x24"
ES-62	36'x18"	48'x24"	48'x24"
ES-63	36'x18"	48'x24"	48'x24"
ES-64	36'x18"	48'x24"	48'x24"
ES-65	36'x18"	48'x24"	48'x24"
ES-66	36'x18"	48'x24"	48'x24"
ES-67	36'x18"	48'x24"	48'x24"
ES-68	36'x18"	48'x24"	48'x24"
ES-69	36'x18"	48'x24"	48'x24"
ES-70	36'x18"	48'x24"	48'x24"
ES-71	36'x18"	48'x24"	48'x24"
ES-72	36'x18"	48'x24"	48'x24"
ES-73	36'x18"	48'x24"	48'x24"
ES-74	36'x18"	48'x24"	48'x24"
ES-75	36'x18"	48'x24"	48'x24"
ES-76	36'x18"	48'x24"	48'x24"
ES-77	36'x18"	48'x24"	48'x24"
ES-78	36'x18"	48'x24"	48'x24"
ES-79	36'x18"	48'x24"	48'x24"
ES-80	36'x18"	48'x24"	48'x24"
ES-81	36'x18"	48'x24"	48'x24"
ES-82	36'x18"	48'x24"	48'x24"
ES-83	36'x18"	48'x24"	48'x24"
ES-84	36'x18"	48'x24"	48'x24"
ES-85	36'x18"	48'x24"	48'x24"
ES-86	36'x18"	48'x24"	48'x24"
ES-87	36'x18"	48'x24"	48'x24"
ES-88	36'x18"	48'x24"	48'x24"
ES-89	36'x18"	48'x24"	48'x24"
ES-90	36'x18"	48'x24"	48'x24"
ES-91	36'x18"	48'x24"	48'x24"
ES-92	36'x18"	48'x24"	48'x24"
ES-93	36'x18"	48'x24"	48'x24"
ES-94	36'x18"	48'x24"	48'x24"
ES-95	36'x18"	48'x24"	48'x24"
ES-96	36'x18"	48'x24"	48'x24"
ES-97	36'x18"	48'x24"	48'x24"
ES-98	36'x18"	48'x24"	48'x24"
ES-99	36'x18"	48'x24"	48'x24"
ES-100	36'x18"	48'x24"	48'x24"

SIGN	CONVENTIONAL ROAD	EXPRESSWAY	FREEWAY
NR-11	24'x30"	36'x36"	48'x48"
NR-12	24'x30"	36'x36"	48'x48"
NR-13	36'x36"	48'x48"	48'x48"
NR-14	36'x36"	48'x48"	48'x48"
NR-15	36'x36"	48'x48"	48'x48"
NR-16	36'x36"	48'x48"	48'x48"
NR-17	36'x36"	48'x48"	48'x48"
NR-18	36'x36"	48'x48"	48'x48"
NR-19	36'x36"	48'x48"	48'x48"
NR-20	36'x36"	48'x48"	48'x48"
NR-21	36'x36"	48'x48"	48'x48"
NR-22	36'x36"	48'x48"	48'x48"
NR-23	36'x36"	48'x48"	48'x48"
NR-24	36'x36"	48'x48"	48'x48"
NR-25	36'x36"	48'x48"	48'x48"
NR-26	36'x36"	48'x48"	48'x48"
NR-27	36'x36"	48'x48"	48'x48"
NR-28	36'x36"	48'x48"	48'x48"
NR-29	36'x36"	48'x48"	48'x48"
NR-30	36'x36"	48'x48"	48'x48"
NR-31	36'x36"	48'x48"	48'x48"
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NR-36	36'x36"	48'x48"	48'x48"
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NR-95	36'x36"	48'x48"	48'x48"
NR-96	36'x36"	48'x48"	48'x48"
NR-97	36'x36"	48'x48"	48'x48"
NR-98	36'x36"	48'x48"	48'x48"
NR-99	36'x36"	48'x48"	48'x48"
NR-100	36'x36"	48'x48"	48'x48"

SIGN	CONVENTIONAL ROAD	EXPRESSWAY	FREEWAY
NR-101	36'x36"	48'x48"	48'x48"
NR-102	36'x36"	48'x48"	48'x48"
NR-103	36'x36"	48'x48"	48'x48"
NR-104	36'x36"	48'x48"	48'x48"
NR-105	36'x36"	48'x48"	48'x48"
NR-106	36'x36"	48'x48"	48'x48"
NR-107	36'x36"	48'x48"	48'x48"
NR-108	36'x36"	48'x48"	48'x48"
NR-109	36'x36"	48'x48"	48'x48"
NR-110	36'x36"	48'x48"</	

SIGN	SIGN DESIGNATION	COLOR CODE	CONVENTIONAL ROAD	EXPRESSWAY	FREEMAY
W01-1	A	30°X30"	48"X48"	48"X48"	
W01-2	A	30°X30"	48"X48"	48"X48"	
W01-3	A	30°X30"	48"X48"	48"X48"	
W01-4	A	30°X30"	48"X48"	48"X48"	
W01-5	A	30°X30"	48"X48"	48"X48"	
W01-6	A	30°X30"	48"X48"	48"X48"	
W01-7	A	30°X30"	48"X48"	48"X48"	
W01-8	A	30°X30"	48"X48"	48"X48"	
W01-9	A	30°X30"	48"X48"	48"X48"	
W01-10	A	30°X30"	48"X48"	48"X48"	
W01-11	A	30°X30"	48"X48"	48"X48"	
W01-12	A	30°X30"	48"X48"	48"X48"	
W01-13	A	30°X30"	48"X48"	48"X48"	
W01-14	A	30°X30"	48"X48"	48"X48"	
W01-15	A	30°X30"	48"X48"	48"X48"	
W01-16	A	30°X30"	48"X48"	48"X48"	
W01-17	A	30°X30"	48"X48"	48"X48"	
W01-18	A	30°X30"	48"X48"	48"X48"	
W01-19	A	30°X30"	48"X48"	48"X48"	
W01-20	A	30°X30"	48"X48"	48"X48"	
W01-21	A	30°X30"	48"X48"	48"X48"	
W01-22	A	30°X30"	48"X48"	48"X48"	
W01-23	A	30°X30"	48"X48"	48"X48"	
W01-24	A	30°X30"	48"X48"	48"X48"	
W01-25	A	30°X30"	48"X48"	48"X48"	
W01-26	A	30°X30"	48"X48"	48"X48"	
W01-27	A	30°X30"	48"X48"	48"X48"	
W01-28	A	30°X30"	48"X48"	48"X48"	
W01-29	A	30°X30"	48"X48"	48"X48"	
W01-30	A	30°X30"	48"X48"	48"X48"	
W01-31	A	30°X30"	48"X48"	48"X48"	
W01-32	A	30°X30"	48"X48"	48"X48"	
W01-33	A	30°X30"	48"X48"	48"X48"	
W01-34	A	30°X30"	48"X48"	48"X48"	
W01-35	A	30°X30"	48"X48"	48"X48"	
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W01-37	A	30°X30"	48"X48"	48"X48"	
W01-38	A	30°X30"	48"X48"	48"X48"	
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W01-40	A	30°X30"	48"X48"	48"X48"	
W01-41	A	30°X30"	48"X48"	48"X48"	
W01-42	A	30°X30"	48"X48"	48"X48"	
W01-43	A	30°X30"	48"X48"	48"X48"	
W01-44	A	30°X30"	48"X48"	48"X48"	
W01-45	A	30°X30"	48"X48"	48"X48"	
W01-46	A	30°X30"	48"X48"	48"X48"	
W01-47	A	30°X30"	48"X48"	48"X48"	
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W01-49	A	30°X30"	48"X48"	48"X48"	
W01-50	A	30°X30"	48"X48"	48"X48"	
W01-51	A	30°X30"	48"X48"	48"X48"	
W01-52	A	30°X30"	48"X48"	48"X48"	
W01-53	A	30°X30"	48"X48"	48"X48"	
W01-54	A	30°X30"	48"X48"	48"X48"	
W01-55	A	30°X30"	48"X48"	48"X48"	
W01-56	A	30°X30"	48"X48"	48"X48"	
W01-57	A	30°X30"	48"X48"	48"X48"	
W01-58	A	30°X30"	48"X48"	48"X48"	
W01-59	A	30°X30"	48"X48"	48"X48"	
W01-60	A	30°X30"	48"X48"	48"X48"	

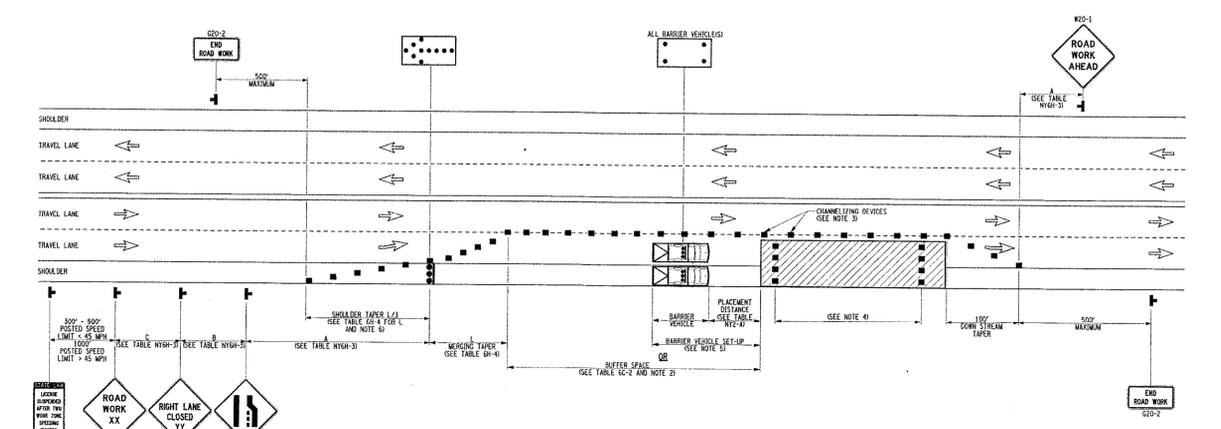
SIGN	SIGN DESIGNATION	COLOR CODE	CONVENTIONAL ROAD	EXPRESSWAY	FREEMAY
W02-1	A	24°X24"	30°X30"	30°X30"	
W02-2	A	24°X24"	30°X30"	30°X30"	
W02-3	A	24°X24"	30°X30"	30°X30"	
W02-4	A	24°X24"	30°X30"	30°X30"	
W02-5	A	24°X24"	30°X30"	30°X30"	
W02-6	A	24°X24"	30°X30"	30°X30"	
W02-7	A	24°X24"	30°X30"	30°X30"	
W02-8	A	24°X24"	30°X30"	30°X30"	
W02-9	A	24°X24"	30°X30"	30°X30"	
W02-10	A	24°X24"	30°X30"	30°X30"	
W02-11	A	24°X24"	30°X30"	30°X30"	
W02-12	A	24°X24"	30°X30"	30°X30"	
W02-13	A	24°X24"	30°X30"	30°X30"	
W02-14	A	24°X24"	30°X30"	30°X30"	
W02-15	A	24°X24"	30°X30"	30°X30"	
W02-16	A	24°X24"	30°X30"	30°X30"	
W02-17	A	24°X24"	30°X30"	30°X30"	
W02-18	A	24°X24"	30°X30"	30°X30"	
W02-19	A	24°X24"	30°X30"	30°X30"	
W02-20	A	24°X24"	30°X30"	30°X30"	
W02-21	A	24°X24"	30°X30"	30°X30"	
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W02-24	A	24°X24"	30°X30"	30°X30"	
W02-25	A	24°X24"	30°X30"	30°X30"	
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W02-35	A	24°X24"	30°X30"	30°X30"	
W02-36	A	24°X24"	30°X30"	30°X30"	
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W02-44	A	24°X24"	30°X30"	30°X30"	
W02-45	A	24°X24"	30°X30"	30°X30"	
W02-46	A	24°X24"	30°X30"	30°X30"	
W02-47	A	24°X24"	30°X30"	30°X30"	
W02-48	A	24°X24"	30°X30"	30°X30"	
W02-49	A	24°X24"	30°X30"	30°X30"	
W02-50	A	24°X24"	30°X30"	30°X30"	
W02-51	A	24°X24"	30°X30"	30°X30"	
W02-52	A	24°X24"	30°X30"	30°X30"	
W02-53	A	24°X24"	30°X30"	30°X30"	
W02-54	A	24°X24"	30°X30"	30°X30"	
W02-55	A	24°X24"	30°X30"	30°X30"	
W02-56	A	24°X24"	30°X30"	30°X30"	
W02-57	A	24°X24"	30°X30"	30°X30"	
W02-58	A	24°X24"	30°X30"	30°X30"	
W02-59	A	24°X24"	30°X30"	30°X30"	
W02-60	A	24°X24"	30°X30"	30°X30"	

SIGN	SIGN DESIGNATION	COLOR CODE	CONVENTIONAL ROAD	EXPRESSWAY	FREEMAY
W03-1	A	30°X30"	48"X48"	48"X48"	
W03-2	A	30°X30"	48"X48"	48"X48"	
W03-3	A	30°X30"	48"X48"	48"X48"	
W03-4	A	30°X30"	48"X48"	48"X48"	
W03-5	A	30°X30"	48"X48"	48"X48"	
W03-6	A	30°X30"	48"X48"	48"X48"	
W03-7	A	30°X30"	48"X48"	48"X48"	
W03-8	A	30°X30"	48"X48"	48"X48"	
W03-9	A	30°X30"	48"X48"	48"X48"	
W03-10	A	30°X30"	48"X48"	48"X48"	
W03-11	A	30°X30"	48"X48"	48"X48"	
W03-12	A	30°X30"	48"X48"	48"X48"	
W03-13	A	30°X30"	48"X48"	48"X48"	
W03-14	A	30°X30"	48"X48"	48"X48"	
W03-15	A	30°X30"	48"X48"	48"X48"	
W03-16	A	30°X30"	48"X48"	48"X48"	
W03-17	A	30°X30"	48"X48"	48"X48"	
W03-18	A	30°X30"	48"X48"	48"X48"	
W03-19	A	30°X30"	48"X48"	48"X48"	
W03-20	A	30°X30"	48"X48"	48"X48"	
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W03-23	A	30°X30"	48"X48"	48"X48"	
W03-24	A	30°X30"	48"X48"	48"X48"	
W03-25	A	30°X30"	48"X48"	48"X48"	
W03-26	A	30°X30"	48"X48"	48"X48"	
W03-27	A	30°X30"	48"X48"	48"X48"	
W03-28	A	30°X30"	48"X48"	48"X48"	
W03-29	A	30°X30"	48"X48"	48"X48"	
W03-30	A	30°X30"	48"X48"	48"X48"	
W03-31	A	30°X30"	48"X48"	48"X48"	
W03-32	A	30°X30"	48"X48"	48"X48"	
W03-33	A	30°X30"	48"X48"	48"X48"	
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W03-44	A	30°X30"	48"X48"	48"X48"	
W03-45	A	30°X30"	48"X48"	48"X48"	
W03-46	A	30°X30"	48"X48"	48"X48"	
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W03-52	A	30°X30"	48"X48"	48"X48"	
W03-53	A	30°X30"	48"X48"	48"X48"	
W03-54	A	30°X30"	48"X48"	48"X48"	
W03-55	A	30°X30"	48"X48"	48"X48"	
W03-56	A	30°X30"	48"X48"	48"X48"	
W03-57	A	30°X30"	48"X48"	48"X48"	
W03-58	A	30°X30"	48"X48"	48"X48"	
W03-59	A	30°X30"	48"X48"	48"X48"	
W03-60	A	30°X30"	48"X48"	48"X48"	

ROADWAY DEFINITIONS:  
 CONVENTIONAL ROAD - A STREET OR HIGHWAY OTHER THAN A FREEWAY OR EXPRESSWAY.  
 EXPRESSWAY - A DIVIDED HIGHWAY WITH PARTIAL CONTROL OF ACCESS.  
 FREEWAY - A DIVIDED HIGHWAY WITH FULL CONTROL OF ACCESS.

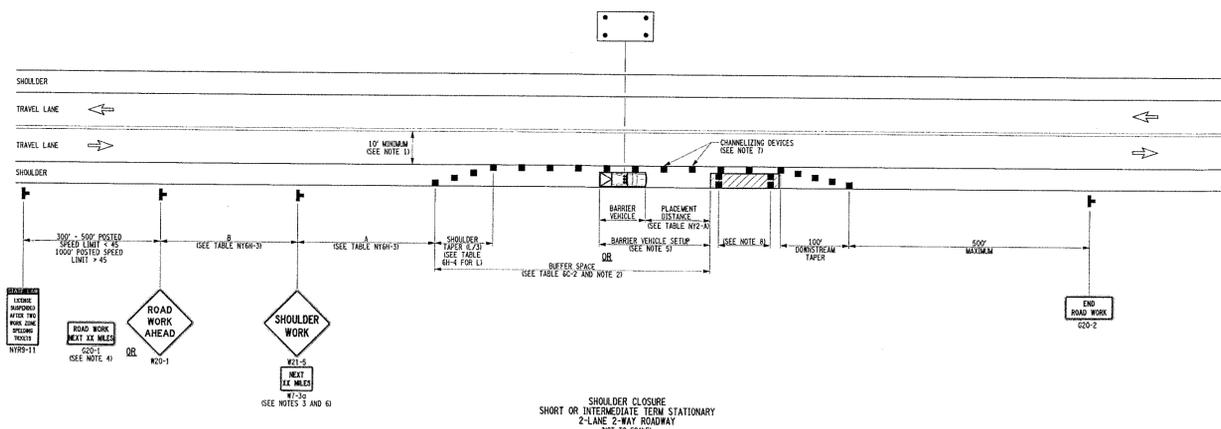
CODE	DESCRIPTION
A	BLACK LEGEND AND BORDER ON AN ORANGE BACKGROUND
B	BLACK LEGEND AND BORDER ON A WHITE BACKGROUND
C	WHITE LEGEND AND BORDER ON A RED BACKGROUND
D	WHITE LEGEND AND BORDER ON A RED BACKGROUND
E	RED LEGEND AND BORDER ON A WHITE BACKGROUND
F	BLACK LEGEND AND BORDER ON A FLUORESCENT YELLOW GREEN BACKGROUND
G	WHITE LEGEND AND BORDER ON A BLUE AND RED BACKGROUND

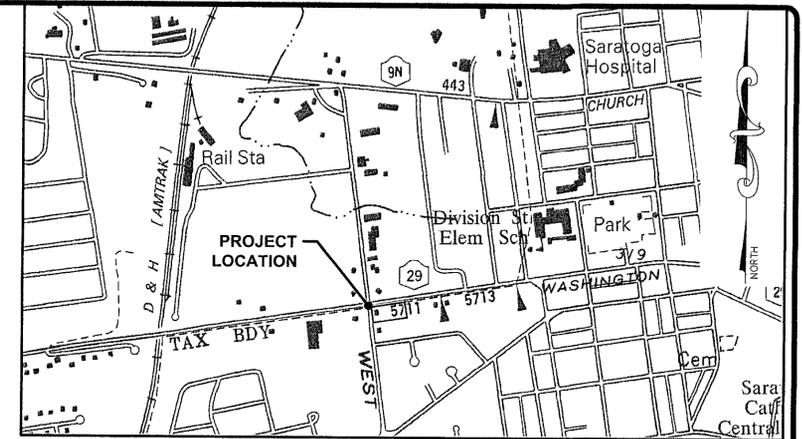
- NOTES:  
 1. DIMENSIONS ARE SHOWN AS WIDTH X HEIGHT.  
 2. FOR SIGNAGE NOT SHOWN ON THESE TABLES REFER TO THE MANUAL.  
 3. WHEN USED IN CONJUNCTION WITH A BICYCLE SIGN (W11-1) OR PEDESTRIAN CROSSING SIGN (W11-2) COLOR CODE SHALL MATCH.



SINGLE LANE CLOSURE  
 SHORT OR INTERMEDIATE TERM STATIONARY  
 MULTI-LANE HIGHWAY (UNDIVIDED)  
 NOT TO SCALE

- NOTES:  
 1. LEFT LANE CLOSURES ARE SYMMETRICAL TO RIGHT LANE CLOSURES. SUBSTITUTE LEFT LANE CLOSED SIGN (W02-5) AND THE CORRESPONDING LANE ENDS SIGN (W04-22).  
 2. NO WORK ACTIVITY, EQUIPMENT, OR STORAGE OF VEHICLES OR MATERIAL SHALL OCCUR WITHIN THE BUFFER SPACE AT ANY TIME.  
 3. CHANNELIZING DEVICE SPACING (CENTER TO CENTER) SHALL NOT EXCEED 40' IN THE ACTIVE WORK SPACE.  
 4. TRANSVERSE DEVICES SHALL BE REQUIRED AS PER A19 STANDARD SPECIFICATIONS WHEN A PAVED SHOULDER HAVING A WIDTH OF 6' OR GREATER IS CLOSED FOR A DISTANCE GREATER THAN 1500'.  
 5. FOR BARRIER VEHICLE USE REQUIREMENTS SEE TABLES W01-4 AND W02-4 ON THE STANDARD SHEET TITLED "WORK ZONE TRAFFIC CONTROL LEGENDS AND NOTES".  
 6. WHEN PAVED SHOULDERS HAVING A WIDTH OF 6' OR MORE ARE CLOSED, CHANNELIZING DEVICES SHALL BE USED TO CLOSE THE SHOULDER IN ADVANCE TO DELINEATE THE BEGINNING OF THE WORK SPACE AND TO DIRECT VEHICULAR TRAFFIC TO REMAIN IN THE TRAVELED WAY.





**SITE LOCATION MAP** SCALE: N.T.S.

ZONING ANALYSIS TABLE			
ZONING DISTRICT	T-5 TRANSECT ZONE 5 - NEIGHBORHOOD CENTER * USE PERMITTED WITH SPECIAL USE PERMIT AND SITE PLAN APPROVAL		
ZONE CRITERIA	REQUIRED	PROPOSED	VARIANCE
MINIMUM LOT AREA	N/A	72,748 SF / 1.68 ACRES	NO
MINIMUM LOT WIDTH	18' TO 144'	200'	NO
MAX. BUILDING COVERAGE	N/A	20% +/-	NO
BUILD TO LINE	WEST AVENUE	0' TO 12'	32.8' YES; DATE: 2/3/2015
MIN. SIDE SETBACK (WASHINGTON ST)	0' MINIMUM	17.6'	NO
MAX. BUILDING HEIGHT	2 STORY MINIMUM ** 50' MAXIMUM	2 STORY	NO
MIN. BUILD-OUT ALONG LOT FRONTAGE (WEST AVENUE)	70% MINIMUM	52.20%	YES; DATE: 2/3/2015
GREEN SPACE	10%	33%	NO
PARKING SPACES	9'X18'	9'X18'	NO
PARKING CRITERIA (****)	REQUIRED: RETAIL - 1 PER 300 SF OF SALES FLOOR AREA, PLUS 1 PER TWO EMPLOYEES (****) 12,787 SF OF SALES AREA = 12,787/300 = 42.6 PLUS 4 (8 EMPLOYEE) = 46.6. MAX ALLOWED BY CODE 46.6 PLUS 20% = 55.9 PROPOSED: 54 PROPOSED (7 SPACES BANKED PER PLANNING BOARD 4/14/16)		

**NOTES**

- PURPOSE OF THE LOT LINE ADJUSTMENT IS TO CONSOLIDATE TAX PARCEL 165.14-2-1 AND 165.14-2-2.

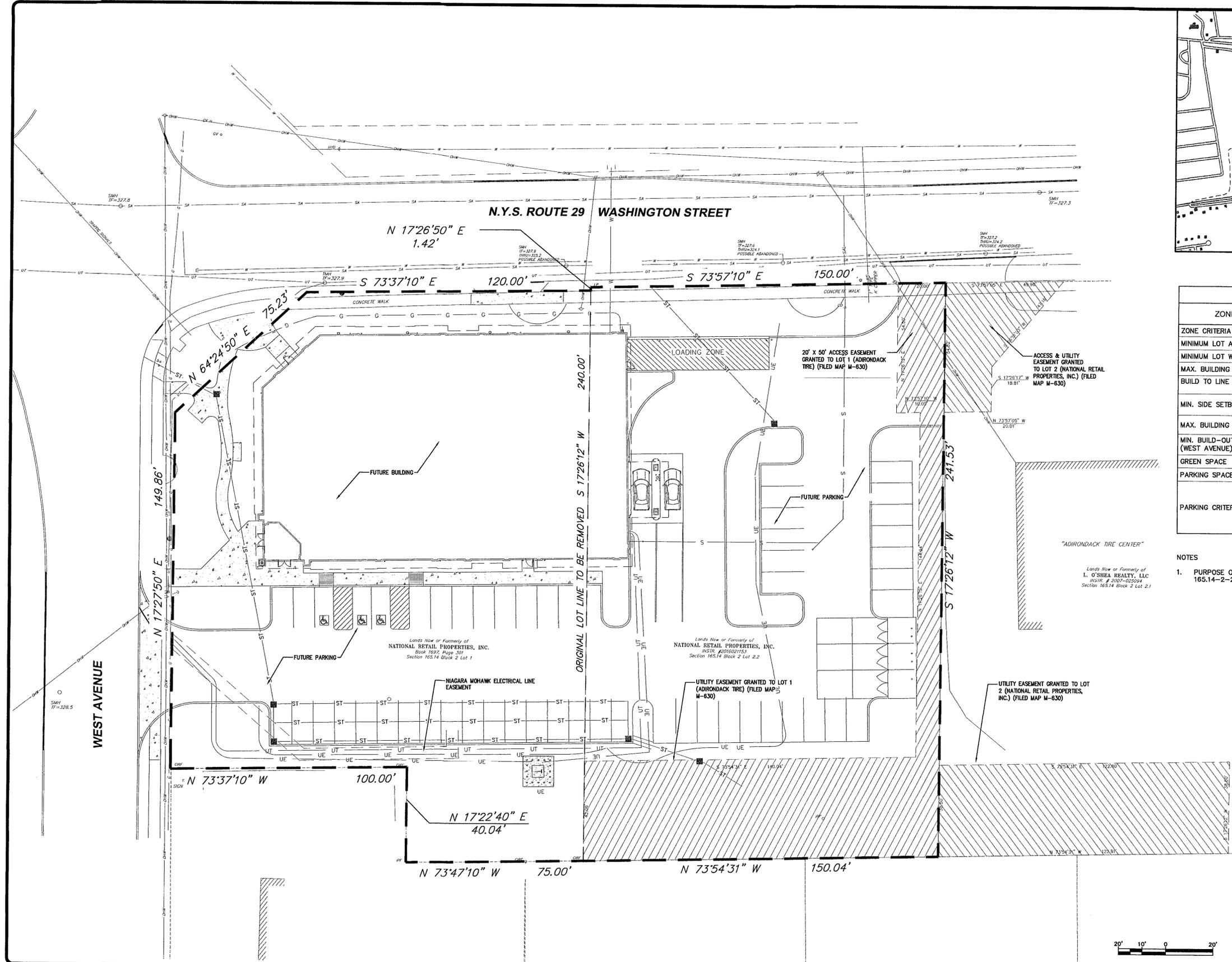
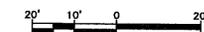
**GENERAL INFORMATION NOTES:**

- PROPERTY OWNER: NATIONAL RETAIL PROPERTIES, INC.  
450 SOUTH ORANGE AVENUE, SUITE 900  
ORLANDO, FLORIDA 32801  
(407) 265-7348
- ENGINEER: JAMES W. EASTON  
M.J. ENGINEERING AND LAND SURVEYING, P.C.  
1533 CRESCENT ROAD  
CLIFTON PARK, NY 12065  
PH: 518-371-0799

PB# 14.057

APPROVED UNDER THE AUTHORITY OF THE CHAIRMAN OF THE PLANNING BOARD OF THE CITY OF SARATOGA SPRINGS PER THE SUBDIVISION REGULATIONS, ARTICLE V.

CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_



SUBMITTAL / REVISIONS			
No.	DATE	DESCRIPTION	BY
1		SARATOGA SPRINGS PLANNING BOARD	
2	7/27/2016	REVISIONS	APY

REVIEWED BY:	DATE
JWE	4/15/16
JWE	7/27/16

PROJ. MANAGER: JSH  
 CHIEF DESIGNER: JWE  
 DESIGNED BY: JMF  
 DRAWN BY: JMF  
 CHECKED BY: JWE

7/27/16

THE ALTERATION OF THIS MATERIAL IN ANY WAY, UNLESS DONE UNDER THE DIRECTION OF A COMPARABLE PROFESSIONAL, (I.E.) ARCHITECT FOR AN ARCHITECT, ENGINEER FOR AN ENGINEER OR LANDSCAPE ARCHITECT FOR A LANDSCAPE ARCHITECT, IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND/OR REGULATIONS AND IS A CLASS "A" MISDEMEANOR.

**Engineering and Land Surveying, P.C.**  
 1533 Crescent Road - Clifton Park, NY 12065

NATIONAL RETAIL PROPERTIES  
**LOT LINE ADJUSTMENT**  
**SARATOGA RITE AID SITE PLAN**  
 90 WEST AVE. & 242 WASHINGTON AVE.  
 CITY OF SARATOGA SPRINGS SARATOGA COUNTY, NY

SCALE: 1" = 20'  
 CONTRACT No.: -  
 MJ PROJ. No.: 954.01  
 DATE: 7/27/2016

**PL-1**